



AGENDA

REGULAR MEETING

AUGUST 6, 2026

Government Office Building
Route 50 & N. Division Street
Council Chambers, Room 301, Third Floor

6:00 P.M. - Call to Order – William Hill

Board Members: Maurice Ngwaba, Miya Horsey, and Michael Lankford.

MINUTES – February 5, 2026 and June 4, 2026.

ZONING PUBLIC HEARINGS: Case #202601049 – Lucio Manrique Parra – 4.4-ft. Rear Yard Setback Variance to Construct a New Single-Family Dwelling – 919 Hanover Street – R-10 Residential District.

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****PUBLIC INPUT** – Public comments as part of the public hearings for each case are welcome but are subject to a time allotment of two (2) minutes per person.

The Board of Appeals reserves the right to convene in Closed Session as permitted under the Annotated Code of Maryland, General Provisions Article, Section 3-305(b).



MINUTES

The Salisbury Board of Appeals met in regular session on February 5, 2026, in Room 301, Government Office Building at 6:00 p.m. with attendance as follows:

BOARD MEMBERS:

Shawn Jester, Chair
Maurice Ngwaba
Edward Torbert

ABSENT MEMBERS:

William Hill, Vice Chair
Miya Horsey
Sandeep Gopalan

CITY STAFF:

Henry Pearson, Associate Planner
Beverly Tull, Recording Secretary
Heather Konyar, City Solicitor

* * * * *

Mr. Jester called the meeting to order at 6:03 p.m.

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MINUTES:

Upon a motion by Mr. Torbert, seconded by Mr. Ngwaba, and duly carried, the Board **APPROVED** the minutes of the November 6, 2025 meeting as submitted.

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Mrs. Tull administered the oath to anyone wishing to speak before the case heard by the Salisbury Board of Appeals.



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RE: Case #202600012 – Parker & Associates, on behalf of Tidal Health – Case #202600012– Parker & Associates, representing Tidal Health – 26 ft. Height Variance in the Hospital District and 16 ft. Height Variance in the General Commercial District to Construct a 66 ft. Tall Parking Garage – Tidal Health Hospital Campus along Vine Street; Newton Street; Mitchell Street, and Route 13 – General Commercial and Hospital District.

Mr. Brock Parker came forward. Mr. Pearson presented and entered the Staff Report and all accompanying documentation into the record. The applicant is requesting a variance to allow the construction of a 66 ft. tall, five-story parking garage on the Tidal Health Hospital Campus. The garage will span both the Hospital and General Commercial zones. These zones have different height limitations requiring two (2) variances – one (1) of 26 ft. and one (1) of 16 ft.

Mr. Jester moved the Staff Report into the record.

Mr. Parker agreed with the Staff Report findings. He submitted **Applicant's Exhibit #1** as an aerial photograph of the proposed location of the parking garage and **Applicant's Exhibit #2** as the proposed parking garage elevation. Mr. Parker discussed the layout of the parking garage and surrounding roads. The first floor will be underground approximately 9 ft. The height variance request is due to the parking garage being 66 ft. and the need to get to the top of the elevator tower. The proposed parking garage is a better way to provide parking on site for the Hospital.

Mr. Ngwaba questioned how many parking spaces were being displaced to accommodate the parking garage. Mr. Parker responded that the proposed location of the parking garage is already parking for the hospital. The parking garage will allow for the future growth of the hospital and is designed to handle that growth. He discussed the layout of the parking garage and location of the entrances/exits. Extensive discussion followed regarding the need for a Traffic Study for future growth of the Hospital.

Mr. Torbert questioned if the parking garage would be for the employees or the public. Mr. Parker responded that the parking garage would be used for both employees and the public visiting the hospital.

Mr. Jester questioned the height of the existing parking garage. Mr. Parker responded that the existing garage is four (4) levels.

Mr. Ngwaba questioned the actual number of spaces in the parking garage. Mr. Parker responded there will be 831 spaces.



Upon a motion by Mr. Torbert, seconded by Mr. Ngwaba, and duly carried, the Board **APPROVED** the 26 ft. and 16 ft. height variances, based on the criteria listed in Section V(c) of the Staff Report.

The Board vote was as follows:

Maurice Ngwaba	Aye
Ed Torbert	Aye
Shawn Jester	Aye

* * * * *

RE: Case #202600014– Bacilio Caceres – Special Exception to Operate an Outdoor Storage Yard and 2 ft. Fence Height Variance to Construct a 6 ft. Fence in the Front Yard Setback – 2111-2117 Northwood Drive – Light Industrial District.

Mr. Bacilio Caceres and Mr. Jaime Cortes came forward. Mr. Pearson presented and entered the Staff Report and all accompanying documentation into the record. The applicant is requesting a special exception to allow the operation of an outdoor storage yard in the Light Industrial district. Outdoor storage lots are required to be screened by a 6 ft. fence, so the applicant is also requesting a 2 ft. fence height variance to allow a 6 ft. fence in the front yard setback along Northwood Drive.

While introducing himself Mr. Caceres explained that he would only be using the site for storage. He currently leases lots on Upshur Street and the purchase of these lots would allow him to save money.

Mr. Torbert questioned how far back the fence would be constructed from the street as he had concerns about visibility. Mr. Caceres said he didn't know how far back he had to install the fence. Mrs. Tull stated that the fence would have to meet Code required setbacks and provide for the visibility triangle. Mr. Ngwaba questioned the setback requirement of the fence. There was extensive discussion and Mr. Jester clarified that the fence would have to meet the setback requirement and that the Board was only providing a decision on the height of the fence.

Mr. Jester questioned Mr. Caceres if he had purchased the property. Mr. Caceres responded that he had not purchased the property. Mr. Jester questioned if he was ready to follow the conditions of approval listed in the Staff Report. Mr. Jester also questioned how the applicant would know how much of the site had to be paved. Mr. Pearson responded that Mr. Caceres would have to work with the City Staff about the paving of the site. Extensive discussion followed in regards to impervious surface and stormwater management.

Mr. Torbert stated that the applicant needed to work out the issues in regards to paving and the fence location before the Board could make a decision on this case. Mr. Ngwaba agreed



and stated that a detailed Site Plan needed to be submitted showing the portion of the lot to be paved for storage and the fence location.

Upon a motion by Mr. Torbert, seconded by Mr. Ngwaba, and duly carried, the Board, **TABLED** the special exception request and fence height variance request to allow the applicant time to provide a detailed Site Plan laying out the entire area to be used for vehicle storage and the location of the fence.

The Board vote was as follows:

Maurice Ngwaba	Aye
Ed Torbert	Aye
Shawn Jester	Aye

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ADJOURNMENT

With no further business, the meeting was adjourned at 7:08 p.m.

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This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the City of Salisbury Department of Infrastructure and Development Department.

Shawn Jester, Chair

Nick Voitiuc, Secretary to the Board

Beverly R. Tull, Recording Secretary



MINUTES

The Salisbury Board of Appeals met in regular session on June 4, 2026, in Room 301, Government Office Building at 6:00 p.m. with attendance as follows:

BOARD MEMBERS:

Shawn Jester, Chair
William Hill, Vice Chair
Maurice Ngwaba
Miya Horsey
Michael Lankford

ABSENT MEMBERS:

Edward Torbert

CITY STAFF:

Henry Pearson, Associate Planner
Zack White, Associate Planner
Betsy Jackson, City Planner
Beverly Tull, Recording Secretary
Laura Ryan, City Solicitor

* * * * *

Mr. Jester called the meeting to order at 6:00 p.m.

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MINUTES:

Due to lack of a quorum, the February 5, 2026 were postponed until the next meeting.

Upon a motion by Mr. Hill, seconded by Mr. Ngwaba, and duly carried the Board **APPROVED** the minutes of the March 5, 2026 as submitted.

Upon a motion by Mr. Hill, seconded by Mr. Lankford, and duly carried the Board **APPROVED** the minutes of the April 2, 2026 as submitted.

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Mrs. Tull administered the oath to anyone wishing to speak before the case heard by the Salisbury Board of Appeals.

* * * * *

RE: Case #202600789 – Octavio Perez Ramirez – 16-ft. Front Yard Setback Variance on Monticello Avenue and a 13.4-ft Front Yard Setback Variance on Hanson Street – 900 Hanson Street – R-10 Residential District.

Mr. Doug Jones, Mr. Giovanni Perez Crarmona, Ms. Dany Orellana, and Mr. Doug Stephens came forward. Mr. White presented and entered the Staff Report and all accompanying documentation into the record. The applicant is requesting two (2) setback variances to allow the construction of a 1,377 sq. ft. house on a corner lot at 900 Hanson Street.

Mr. Jester moved the Staff Report into the record.

Mr. Hill questioned if the driveway on the south side ran down the middle. Mr. Jones responded in the affirmative. He added that this lot was created in 1900 and discussed the history of the property to include a single house with a yard. It was later subdivided into four (4) lots. Shared driveways are common in the city limits.

Mr. Stephens added that this City wants construction on infill lots in the city limits.

Mr. Jester questioned if the houses were similar in size to the other lots. Mr. Jones responded in the affirmative. Mr. Jester questioned if the requested variances were similar to the other lots. Mr. White advised that this was a corner lot so it has two (2) front yard setbacks so the variances would be slightly different.

Mr. Lankford questioned if the driveway was already in existence. Mr. Jones responded in the affirmative. The survey plat shows everything that is in existence. Mr. Lankford questioned if the residence at 902 Hanson Street has an existing driveway. Mr. Jones responded in the affirmative.

Upon a motion by Mr. Lankford, seconded by Mr. Hill, and duly carried, the Board **APPROVED** a 16-ft front yard setback variance on Monticello Avenue and a 13.4-ft. front yard setback variance on Hanson Street to construct a new single-family dwelling, based on the criteria listed in Section V(c) of the Staff Report.

The Board vote was as follows:



Shawn Jester	Aye
Maurice Ngwaba	Aye
Michael Lankford	Aye
William Hill	Aye
Miya Horsey	Aye

* * * * *

RE: Case #202500588 – Hilda Escobar – 14.5 ft Front Yard Setback Variance; Two (2) 6 ft. 8.5-inch Side Yard Setback Variances – 16 ft. 2.5-inch Rear Yard Setback Variance to Construct at New Single Family Dwelling – 338 Delaware Avenue – R-5 Residential District.

Mr. Fernando Fernandez Calderon and Mr. Eduardo Wolf came forward. Mr. Pearson presented the Staff memo explaining the applicant's request. The applicant is requesting a two (2) year extension for the setback variances granted at the June 12, 2025 meeting for 338 Delaware Avenue.

Mr. Ngwaba questioned Mr. Calderon if he was agreeable to the City's recommendation of a 12-month extension of time to execute the setback variances. Mr. Calderon responded in the affirmative.

Mr. Jester questioned why a two-year extension request had been requested. Mr. Wolf responded that they were looking for time to work with executing the variances. Mr. Jester confirmed that they were okay with a 12-month extension and that they could request another extension if needed. Mr. Wolf responded in the affirmative.

Upon a motion by Mr. Hill, seconded by Mr. Ngwaba, and duly carried, the Board **APPROVED** a 12-month extension to execute the approved 14 ft. 5-inch front yard setback variance, two (2) 6 ft. 8.5-inch side yard setback variances, and a 16 ft. 2.5-inch rear yard setback variance to construct a new 24 ft. by 33 ft. residential home.

The Board vote was as follows:

Shawn Jester	Aye
Maurice Ngwaba	Aye
Michael Lankford	Aye
William Hill	Aye
Miya Horsey	Aye

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ADJOURNMENT

With no further business, the meeting was adjourned at 6:26 p.m.

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This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the City of Salisbury Department of Infrastructure and Development Department.

Shawn Jester, Chair

Judy Kuntz, Secretary to the Board

Beverly R. Tull, Recording Secretary



STAFF REPORT

MEETING OF August 6, 2026

Case No. 202601049

Applicant: Lucio Manrique Parra

Property Owner: Lucio Manrique Parra

Location: 919 Hanover St

Zoning: Residential R-10

Request: 4.4 ft. Rear Setback Variance

- I. **SUMMARY OF REQUEST:** The applicant is requesting a setback variance to allow the construction of a 1,297 sq. ft. home on a lot on 919 Hanover Street.
- II. **ACCESS TO THE SITE AREA:** The site will have access from Hanover Street.
- III. **DESCRIPTION OF PROPERTY:** The property in question is fronted by Hanover Street to the east. The nearest street to the south would be Pinehurst Avenue; the nearest to the north is Cynthia Place.
- IV. **DESCRIPTION OF SURROUNDING AREA/NEIGHBORHOOD:** The area generally consists of single-family homes, however the Cynthia Place student apartment complex is directly behind the property.
- V. **EVALUATION:**
 - (a) **Discussion:** The applicant is seeking to construct a 1,297 sq. ft. single family house on a 4,058 sq. ft. undeveloped lot. The lot is rectangular in shape and has a width of 50 ft. and a depth of 81 ft. The lot is located in an R-10 zone, which requires a minimum lot size of 10,000 sq. ft., making this a non-conforming lot. The setback requirements for lots in R-10 are 25 ft for the front, and 30ft for the rear. This requirement makes development of the lot infeasible without a variance. The property contains a shed from the neighboring property that crosses over the property line into this one.
 - (b) **Impact:** Staff believes the setback variances will have minimal impact on the neighboring properties. The construction of a home within the 30 ft. rear setback along Hanover Street would match the setback of the neighboring properties at 915 and 913 Hanover Street.
 - (c) **Relationship to Criteria:** Section 17.236.020 of the Salisbury Municipal Code contains the criteria the Board should consider when approving Variances. Staff has noted how this request complies with the Variance criteria as follows:

- [1] **Because of the particular physical surroundings, shape or topographical conditions of the specific structure or land involved, a practical difficulty or unnecessary hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.**

An unnecessary hardship results from the fact that this lot is a non-conforming lot. It is under the minimum required 10,000 square feet and 70-foot lot width required for a lot in the R-10 Residential District.

- [2] **The conditions upon which an application for a variance is based are unique to the property for which the variance is sought and are not applicable, generally, to the property within the same zoning classification.**

The conditions are unique to this property and are not generally applicable to properties within the same zoning classification. The lot is substantially smaller than required by the zoning district.

- [3] **The practical difficulty or unnecessary hardship is caused by this Title and has not been created by intentional action of any person presently having an interest in the property.**

The difficulty arises from the front and rear setback requirements in the Code being applied to a non-conforming lot.

- [4] **The granting of the variance will not be detrimental to or endanger the public health, security, or general welfare or morals.**

The granting of this variance will not be detrimental to or endanger the public health, security, or general welfare or morals. The proposal is for a single-family dwelling which is a permitted use in the R-10 Residential District.

- [5] **The granting of the variance is not based exclusively upon a desire to increase the value or income potential of the property.**

This variance would not be based on the value or income potential of the property. The purpose of the variances is to allow the lot to be developed as intended by the zoning district.

- [6] **The variance will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values in the neighborhood.**

This variance will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values in the neighborhood.

- [7] **The granting of the variance will not impair an adequate supply of light and air to adjacent property or overcrowd the land or create an undue concentration of population or substantially increase any congestion of the streets or create**

hazardous traffic conditions or increase the danger of fire or otherwise endanger the public safety.

This variance would have little impact on the surrounding properties or population of the area. There are already numerous properties with less than the 30 ft. setback along Hanover Street.

- [8] The variance will not adversely affect transportation or unduly burden water, sewer, school, park, or other public facilities.**

The requested variance will not unduly burden water, sewer, school, park or other public facilities, nor will this request adversely affect transportation.

- [9] The granting of the variance will not adversely affect the implementation of the Comprehensive Plan for the City of Salisbury approved by the Planning Commission and the City Council or any other plan approved by the Planning Commission or City Council for development of the area in which the variance is requested.**

The variance will not have an impact on the City's Comprehensive Plan. Appropriate infill development is consistent with the plan.

- [10] Within the intent and purpose of this Title, the variance, if granted, is the minimum necessary to afford relief. (To this end, the Board may permit a lesser variance than that applied for.)**

The requested variance is the minimum needed to afford relief while aligning with the other structures along Hanover Street.

VI. STAFF COMMENTS:

The need for this variance arises from the fact that this is a non-conforming lot. Without the variance, this lot would likely remain empty. The granting of the variance enables the productive use of the space without unduly burdening or altering the character of the neighborhood. The use of the lot as a single-family residential home is congruent with the surrounding area.

VII. RECOMMENDATION:

Based on criteria for approval as outlined in Section V (c) of the Staff Report, **APPROVAL** of the 4.4 ft. rear yard setback variance request is recommended.

City of Salisbury
Department of Infrastructure & Development
125 N. Division Street, Room 202
Salisbury, MD 21801
(410) 548-3130

TO: Nicholas Viotiuc, Director
Secretary to the Board of Appeals

SUBJECT:

☐ Special Exception

☒ Variance

☐
Administrative
Appeal

☐ Nonconforming (___ Use ___ Lot ___ Structure)

☐ Other

A. **APPLICANT:** LUCIO Manrique Parra
609 S. Camden Ave Fruitland, MD 21826

PHONE: (410) 735-0891

FEE PAID: \$150 - City

B. **LOCATION OF PROPERTY INVOLVED:**

919 Hanover St. Salisbury, MD

C. **PROPERTY OWNER:**

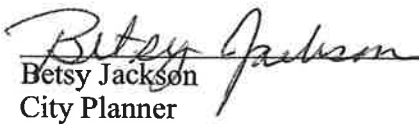
LUCIO Manrique Parra

D. **EXPLANATION OF REQUEST:**

1. **Code Requires:** 30' rear setback
2. **Proposed:** 25.6' rear Setback
3. **Action Required:** Variance of 4.4'

E. **APPLICABLE SECTIONS OF ZONING CODE:** 17.156.060

F. **CERTIFICATION:** I hereby certify I denied issuance of a Building Permit on
919 Hanover St based upon the above information, and that the applicant
desires to have his case heard by the Salisbury Board of Appeals.


Betsy Jackson
City Planner

City of Salisbury
Department of Infrastructure & Development
125 N. Division Street, Room 202
Salisbury, MD 21801
(410) 548-3130

**NOTICE TO SALISBURY BOARD
OF APPEALS APPLICANTS**

Effective May 1, 2010, applicants submitting requests to be heard by the Salisbury Board of Appeals will be billed for the advertising charges for the public hearing notice that is run in The Daily Times. This notice is required by Section 17.04.150.B.1 which states:

B. Newspaper Advertising. All proceedings under the terms of this title requiring a public hearing shall be advertised at least once in a newspaper of general circulation, as follows:

1. A variance, special exception, change in nonconforming use, ordinance permit or other such appeal shall be advertised ten days prior to the scheduled hearing;

The billing notice will be provided at the time the hearing notification letter is sent out and is due prior to the public hearing date.

I have read the above notice and understand that I will be billed for The Daily Times charges for my Salisbury Board of Appeals application.



(signature of applicant)

6/09/26
(date)

PLAT 71/354

HANOVER STREET

P. 620

LOT 7



P. 618

P. 1138
LOT 8
±4058.911 SQ.FT.

20' WIDE STRIP

P. 618

P. 619
(LOTS 9, 10
& 20' WIDE STRIP)

LEGEND:

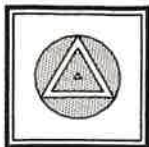
● DENOTES REBAR W/ CAP SET

NOTES:

- ASSESSMENT MAP NO. 115, PARCEL 1138
- PLAT REF: EAT 71/354, MSB 6/85-377
- DEED REF: 5621/209
- ZONED: R-10 RESIDENTIAL
SETBACKS: FRONT = 25', REAR = 30', SIDE=10'
- A LICENSED SURVEYOR EITHER PERSONALLY PREPARED THIS BOUNDARY SURVEY OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT. ALL RELATED SURVEY WORK WAS PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE "MINIMUM STANDARDS OF PRACTICE" ESTABLISHED BY THE STATE OF MD.
- NO TITLE SEARCH WAS PERFORMED OR REQUESTED DURING THE COURSE OF THIS SURVEY AND ANY EASEMENTS, RIGHTS OF WAY, OR OTHER ENCUMBRANCES WHICH A TITLE SEARCH WOULD IDENTIFY MAY NOT BE SHOWN HEREON.

FLOOD INSURANCE NOTE:

BY GRAPHICS PLOTTING ONLY THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP. EXACT DESIGNATIONS CAN ONLY BE DETERMINED BY AN ELEVATION CERTIFICATE. BASED ON THE ABOVE INFORMATION, THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.



Surveying
Services
For the
21st Century

F. Douglas Jones
Surveying Associates

5849 Penny Lane
Salisbury, Maryland 21801
Phone: 410-543-2615
Email: fjones@jonessurveying.com

SITE PLAN SURVEY

FOR
LUCIO MANRIQUE PARRA
919 HANOVER STREET
CITY OF SALISBURY
CAMDEN ELECTION DISTRICT
WICOMICO COUNTY, MARYLAND

SCALE: 1"=40'	DATE: 06/08/2026	FB#IN	PG#FILE
DRAWN: FDJ	SURVEYED: TGJ/FDJ	JOB# 26-5746	

City of Salisbury
Department of Infrastructure & Development
125 N. Division Street, Room 202
Salisbury, MD 21801
(410) 548-3130

TO: Nicholas Voitiuc, Director
Secretary to the Board of Appeals

SUBJECT:

DATE:

CERTIFICATION OF APPLICANT

In accordance with Section 17.236.010, of the City's Zoning Code, I hereby request a hearing before the Salisbury Board of Appeals to:

I certify that I have paid all advertising fees necessary for the public hearing in this matter to a representative of the City of Salisbury Department of Infrastructure & Development. I also acknowledge that additional application fees will be assessed by the City of Salisbury Department of Infrastructure & Development prior to my case being scheduled for official action by the Board.

I certify that my interest in the property is as follows: I am the
Owner.

It is my understanding that the property involved will be posted with a Public Notice and I agree to allow the posting and property inspection, if applicable.

Very Truly Yours,



WITHDRAWAL NOTICE

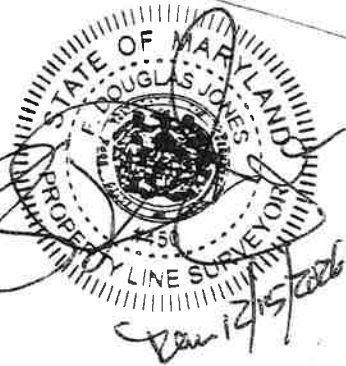
I hereby: ☐ Cancel ☐ Withdraw ☐ Postpone

my application for: _____

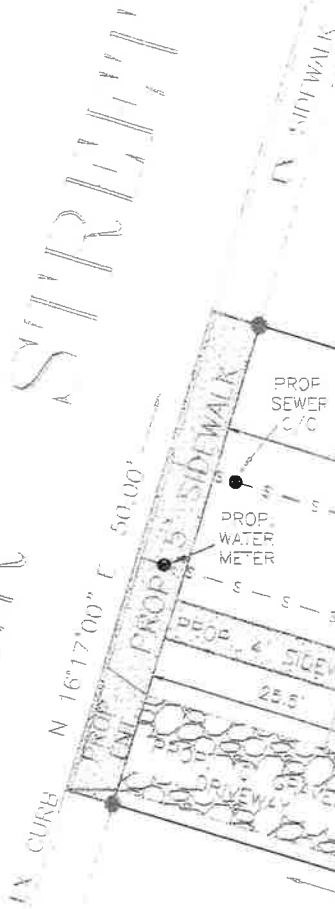
Name

Date

PLAT 71/354



HANOVER STREET



LEGEND:

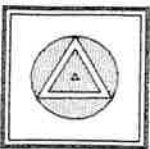
- DENOTES REBAR W/ CAP SET

NOTES:

1. ASSESSMENT MAP NO. 115, PARCEL 1138
2. PLAT REF: EAT 71/354, MSB 6/85-377
3. DEED REF: 5621/209
4. ZONED: R-10 RESIDENTIAL
SETBACKS: FRONT = 25', REAR = 30', SIDE=10'
5. A LICENSED SURVEYOR EITHER PERSONALLY PREPARED THIS BOUNDARY SURVEY OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT. ALL RELATED SURVEY WORK WAS PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE "MINIMUM STANDARDS OF PRACTICE" ESTABLISHED BY THE STATE OF MD.
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**F. Douglas Jones
Surveying Associates**

5849 Penny Lane
Salisbury, Maryland 21801
Phone: 410-543-2615
Email: fjones@jonessurveying.com

**SITE PLAN SURVEY
FOR
LUCIO MANRIQUE PARRA**

919 HANOVER STREET
CITY OF SALISBURY
CAMDEN ELECTION DISTRICT
WICOMICO COUNTY, MARYLAND

SCALE: 1"=40'	DATE: 06/08/2026	FB#IN	PG#FILE
DRAWN: FDJ	SURVEYED: TGJ/FDJ	JOB# 26-5746	

Surveying
Services
For the
21st Century

HOME OWNER: BMD REALTOR LLC

PROJECT ADDRESS: 919 HANOVER STREET
SALISBURY, MD 21804

LEGAL ADDRESS: P.O. BOX 511 FRUITLAND, MD 21826

FIRE DISTRICT: WICOMICO COUNTY, MD

WATER DISTRICT: CITY OF SALISBURY, MD

STORM WATER#: _____

BLDG PERMIT#: _____

BUILDING AREA:

FLOOR 1: 657 SQ. FT.

FLOOR 2: 640 SQ. FT.

FOUNDATION: 651 SQ. FT.

TOTAL: 1984 SQ. FT.

DECKS: 0 SQ. FT.

LIVABLE AREA: 1297 SQ. FT.

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

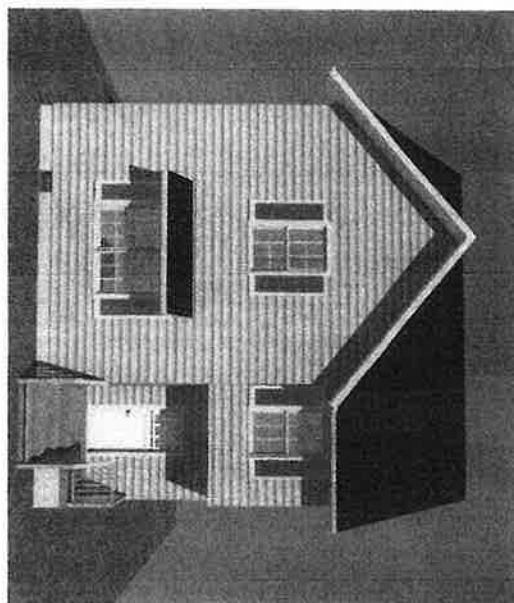
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

BUILDING PERFORMANCE:

1. HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESCHECK AND REQUIREMENTS OF LOCAL CODES. SEE CALCULATIONS.
2. PORCHES, DECKS, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
3. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
4. PROVIDE CRAWLSPACE VENTING TO MEET LOCAL CODE REQUIREMENTS INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO.
5. INSULATE UNDER ALL CONCRETE SLABS WITH 2" RIGID INSULATION
6. INSULATION:
ATTIC: R-38
WALLS: R-21
FLOORS: R-38



HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS STRUCTURAL DETAILS AND BUILDING CODES, AND GRADE REQUIREMENTS.

AREA MAP FROM GOOGLE



GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE AWAY FROM BUILDING.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEEP

LABEL	TITLE	LAYOUT PAGE TABLE
A-1	INTRODUCTION	
A-2	1ST FLOOR AND 2ND FLOOR PLAN	
A-3	ELEVATIONS	
A-4	FOUNDATION DETAILS	
A-5	FLOOR AND CEILING FRAMING	
A-6	KITCHEN CABINETS AND BATHS SCHEDULES	
A-7	WALL FRAMING DETAIL	
A-8	DOORS AND WINDOWS SCHEDULE	
A-9	STAIR SECTION	
A-10	FRONT CROSS SECTION/EAVE DETAIL	
A-11	ROOF PLAN AND FRAMING	

CLIENT:
BMD REALTOR LLC
919 HANOVER STREET
SALISBURY MD 21804

WICOMICO COUNTY MARYLAND
IRC 2021



PROJECT DESCRIPTION:
INTRODUCTION

DRAWINGS PROVIDED BY:
FE
GLOBAL HOME IMPROVEMENT LLC
SALISBURY MD 21801

DATE:

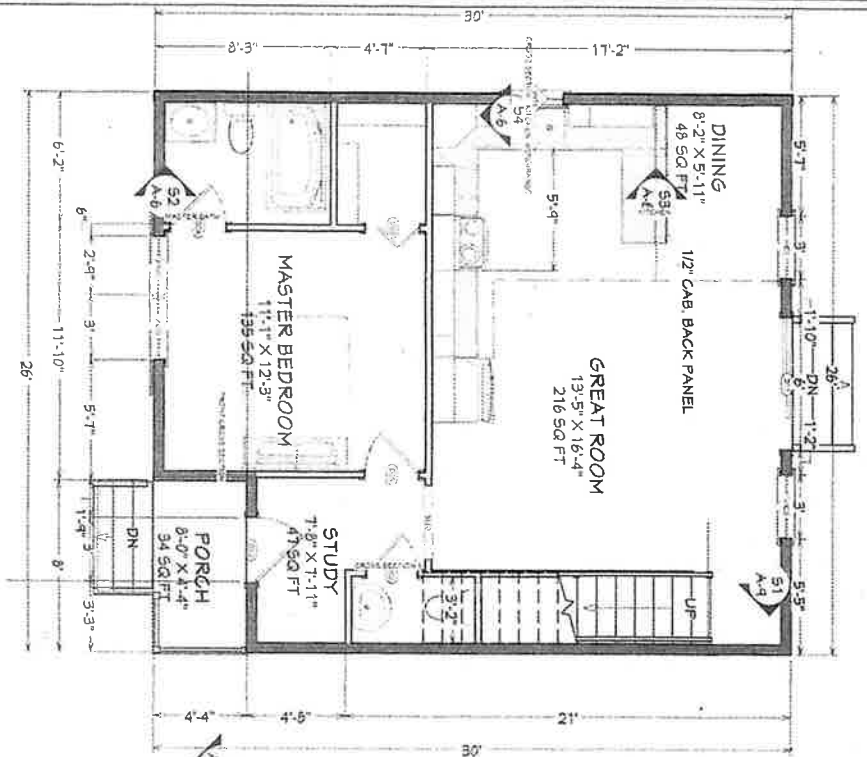
4/10/2026

SCALE:

1/4" = 1'

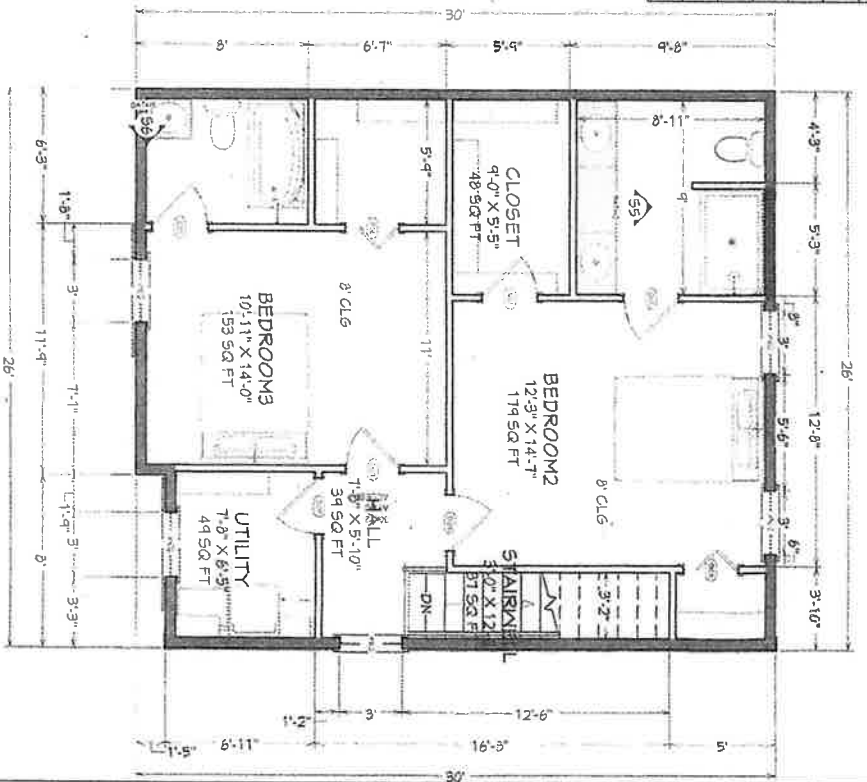
SHEET:

A-1



2D SYMBOL	WALL TYPE
	8' CMU (BLOCK) STEM WALL
	INTERIOR RAILING
	INTERIOR 4' CERAMIC TILE
	ROOM DIVIDER
	SIDING-6
	SIDING-6, W/CERAMIC TILE

1ST FLR. CEILING HEIGHT = 9'
 2ND FLR. CEILING HEIGHT = 8'



BUILDING CONTRACTOR/HOME OWNER
 TO REVIEW AND VERIFY ALL DIMENSIONS,
 SPECS. AND CONNECTIONS BEFORE
 CONSTRUCTION BEGINS.

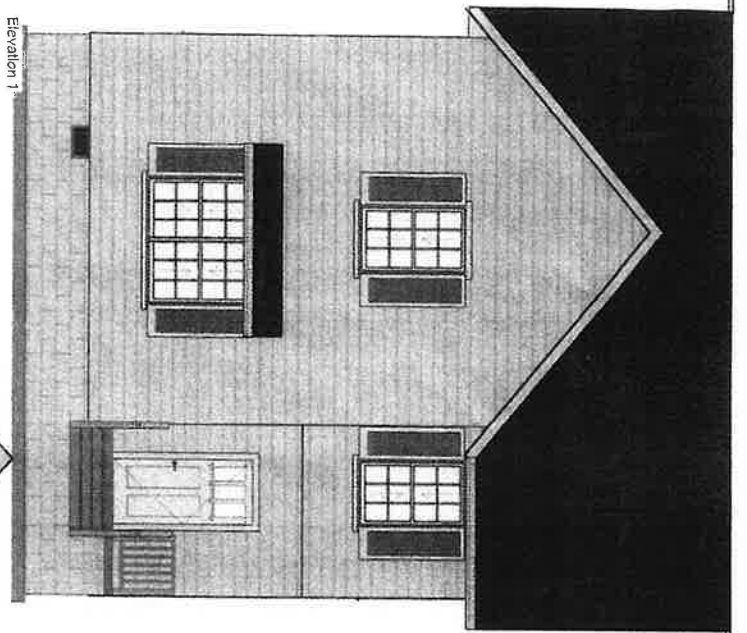
ELECTRICAL SYSTEM CODE: 2021
 MECHANICAL SYSTEM CODE: 2021
 PLUMBING SYSTEM CODE: 2021

Lot is shall be graded to drain surface water
 away from foundation walls. The grade shall
 fall not fewer than 6 inches within the first 10
 feet. Exception: Where lot lines, walls,
 slopes or other physical barriers prohibit 6 inches of
 fall within 10 feet, drains or swales shall be
 constructed to ensure drainage away from the
 structure. Impervious surfaces within 10 feet of the
 building foundation shall be sloped not less than
 2 percent away from the building.

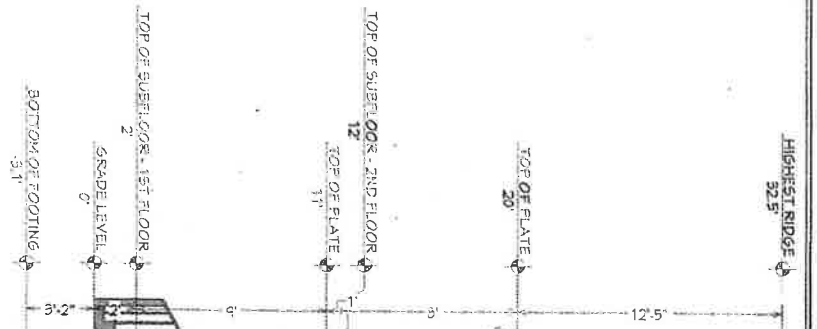
- 145.50 FT. LIVING AREA
- 9'-0" CEILING HEIGHT
- 2 X 6 EXT. WALLS @ 16" O.C
- 2 X 4 INT. WALLS @ 16" O.C
- 2 X 12 FLOOR JOISTS @ 16" O.C
- 2 X 10 RAFTERS @ 16" O.C
- ALLIANCE SERIES WINDOWS BY STERGIS
- THERMA-TRU EXT. DOORS
- SMOKE & CO DETECTORS INSTALLED AS REQ. BY CODE
- SPRINKLER SYSTEM INSTALLED AS REQ. BY CODE

- 126.50 FT. LIVING AREA
- 8'-0" CEILING HEIGHT
- 2 X 6 EXT. WALLS @ 16" O.C
- 2 X 4 INT. WALLS @ 16" O.C
- 2 X 12 FLOOR JOISTS @ 16" O.C
- 2 X 8 CEILING JOIST @ 16" O.C
- 2 X 8 RAFTERS @ 16" O.C
- ALLIANCE SERIES WINDOWS BY STERGIS
- THERMA-TRU EXT. DOORS
- SMOKE & CO DETECTORS INSTALLED AS REQ. BY CODE
- SPRINKLER SYSTEM INSTALLED AS REQ. BY CODE

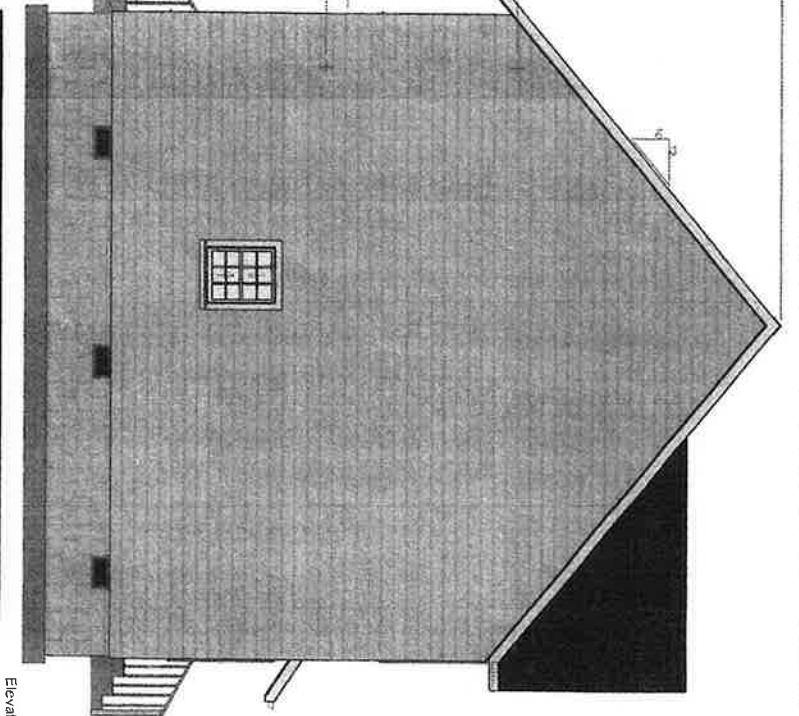




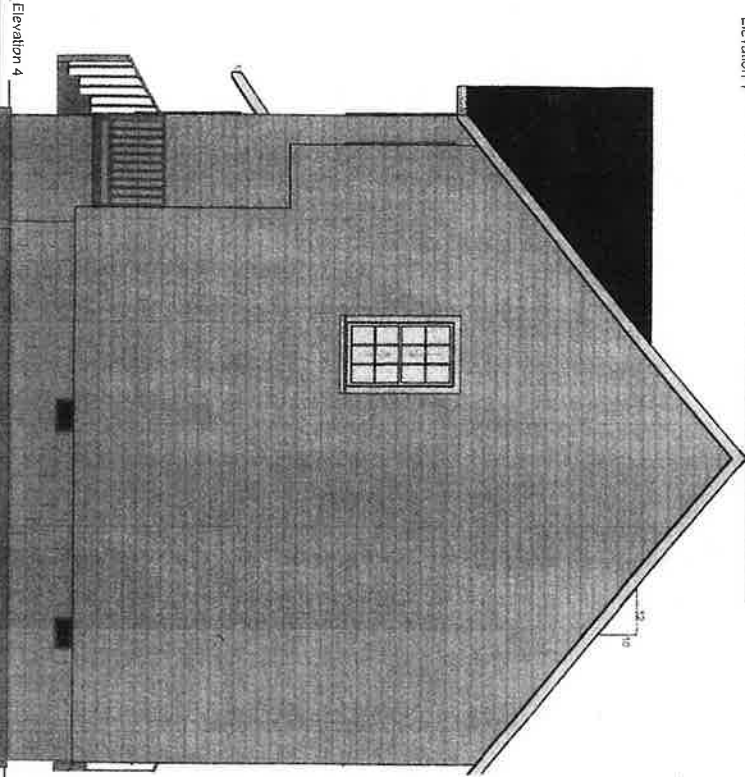
Elevation 1



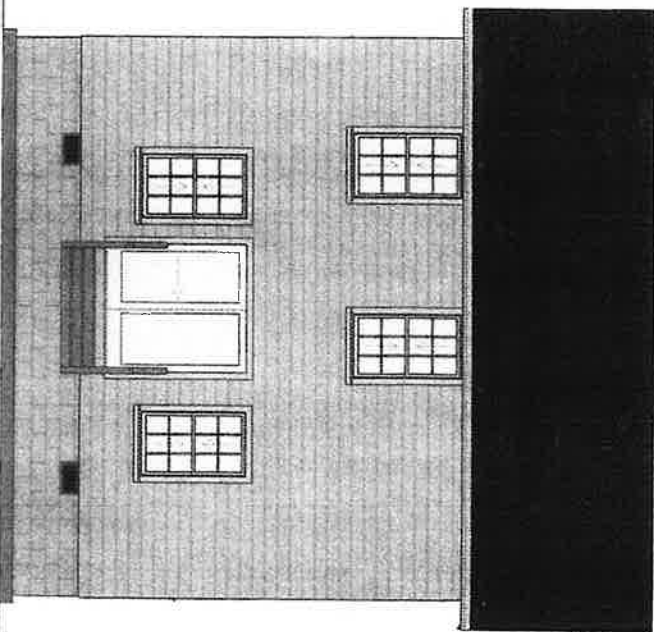
Elevation 2



Elevation 3



Elevation 4



Elevation 5



WICOMICO COUNTY MARYLAND
IRC 2021

CLIENT:
BMD REALTOR LLC
919 HANOVER STREET
SALISBURY MD 21804

PROJECT DESCRIPTION:
ELEVATIONS

DRAWINGS PROVIDED BY:
FE
GLOBAL HOME IMPROVEMENT LLC
SALISBURY MD 21801

DATE:

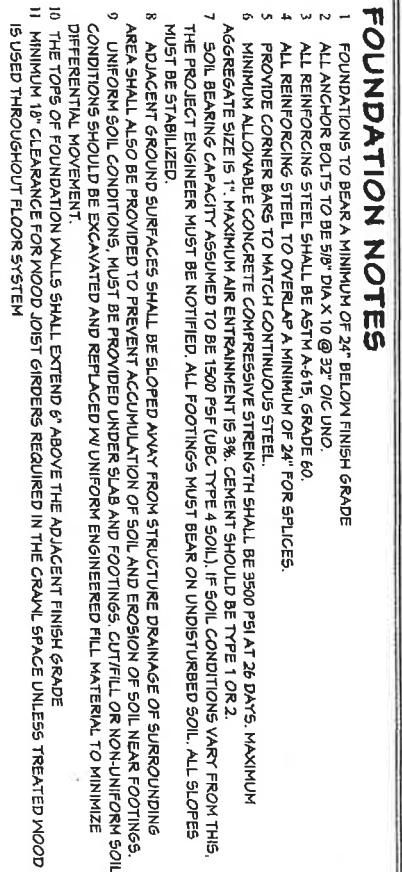
4/10/2026

SCALE:

1/8" = 1'

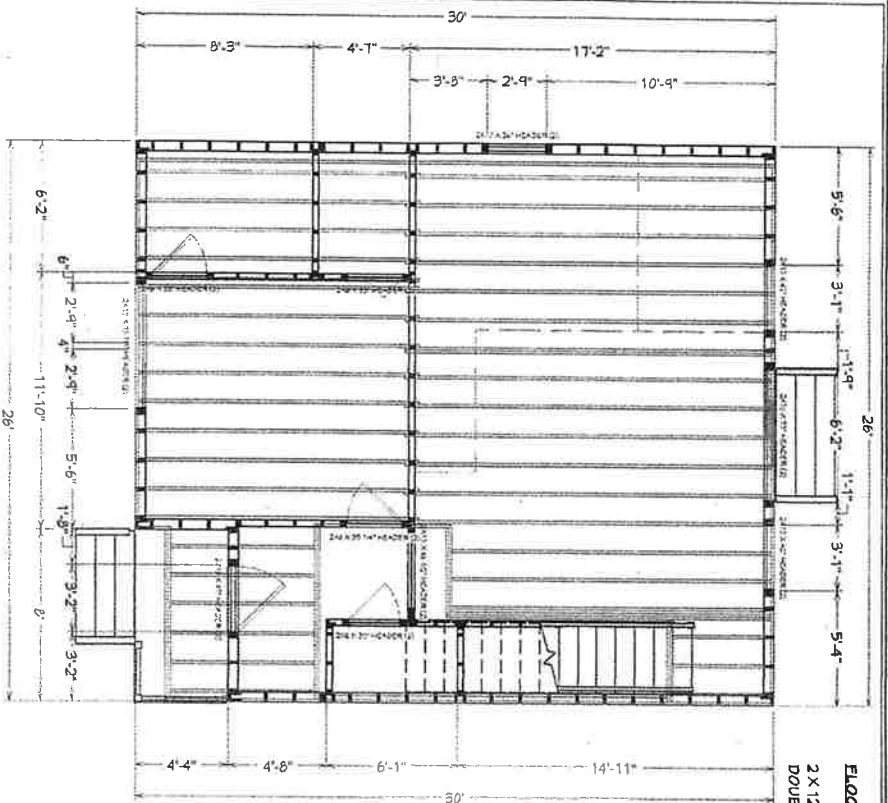
SHEET:

A-3

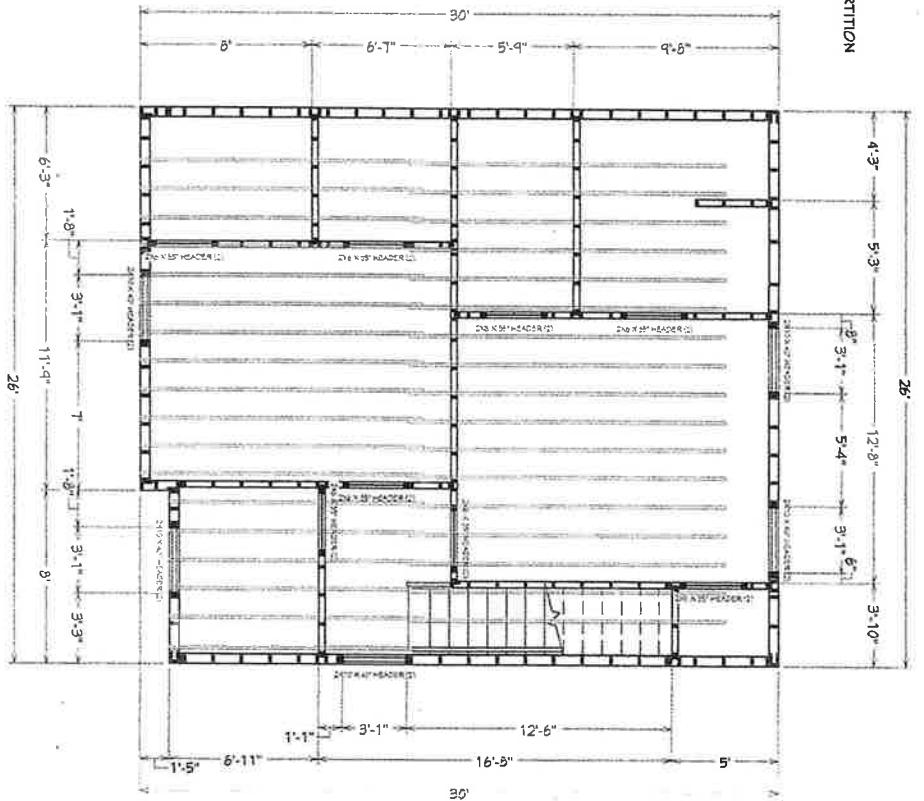


- 1 ALL CONCRETE MASONRY UNITS TO BE LAID IN COMPLIANCE WITH ASTM C90.
- 2 ALL CONCRETE MASONRY UNITS TO BE LAID IN TYPE 'S' OR TYPE 'M' MORTAR IN A RUNNING BOND PATTERN. MORTAR, GROUT AND REINFORCEMENT TO BE IN COMPLIANCE WITH CURRENT CODES.
- 3 COMPRESSIVE STRESS OF GROUT TO BE: $f_m' = 2500$ PSI. ALL CELLS TO BE FULLY GROUTED.
- 4 ALL REINFORCING STEEL TO BE: ASTM A-615, GRADE 60.





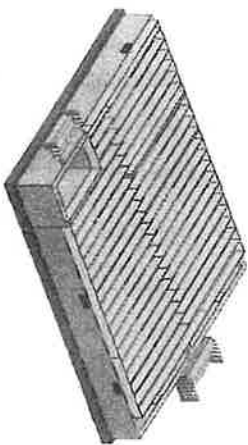
Framing, Floor Plan View



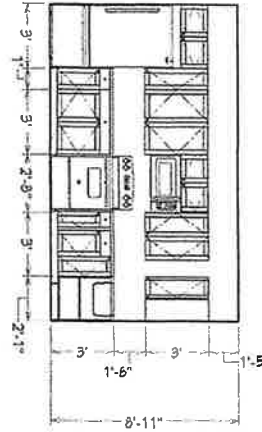
Framing, Ceiling Plan View

FRAMING NOTES:

- 1 ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO. 1 OR BETTER, UNO.
- 2 ALL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
- 3 ALL JOISTS AND PARTS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS, CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O.C. INSTALL PRIOR TO ROOF SHEETING.
- 4 ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
- 5 ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
- 6 NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
- 7 THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
- 8 ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
- 9 ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-MY SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD. UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
- 10 ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
- 11 PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO. PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
- 12 ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 13 ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
- 14 ALL HANGERS TO BE "SIMPSON" OR EQUAL.

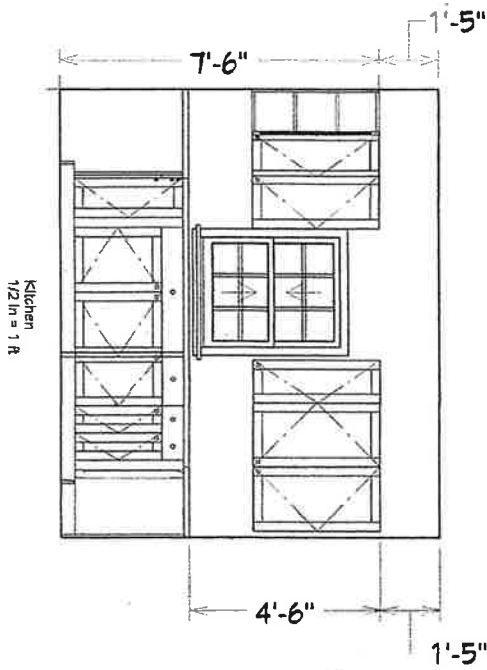


Camera 2 - Floor Framing



Cross Section - Kitchen - Ref/Range

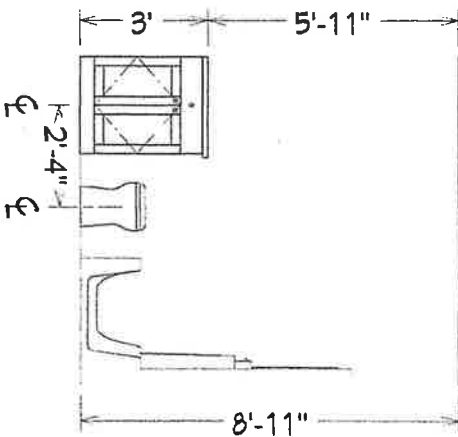
CABINET SCHEDULE				
NUMBER LABEL	QTY	WIDTH	DEPTH	HEIGHT
C01 B12R	1	12"	24"	36"
C02 B15R	2	15"	24"	36"
C03 B24R	1	24"	24"	36"
C04 B36	1	36"	24"	36"
C05 B48	1	48"	24"	36"
C06 B72	1	72"	24"	36"
C07 B72	1	72"	24"	36"
C08 B72	1	72"	24"	36"
C09 B72	1	72"	24"	36"
C10 B72	1	72"	24"	36"
C11 B72	1	72"	24"	36"
C12 B72	1	72"	24"	36"
C13 B72	1	72"	24"	36"
C14 B72	1	72"	24"	36"
C15 B72	1	72"	24"	36"
C16 B72	1	72"	24"	36"
C17 B72	1	72"	24"	36"
C18 B72	1	72"	24"	36"
C19 B72	1	72"	24"	36"
C20 B72	1	72"	24"	36"
C21 B72	1	72"	24"	36"



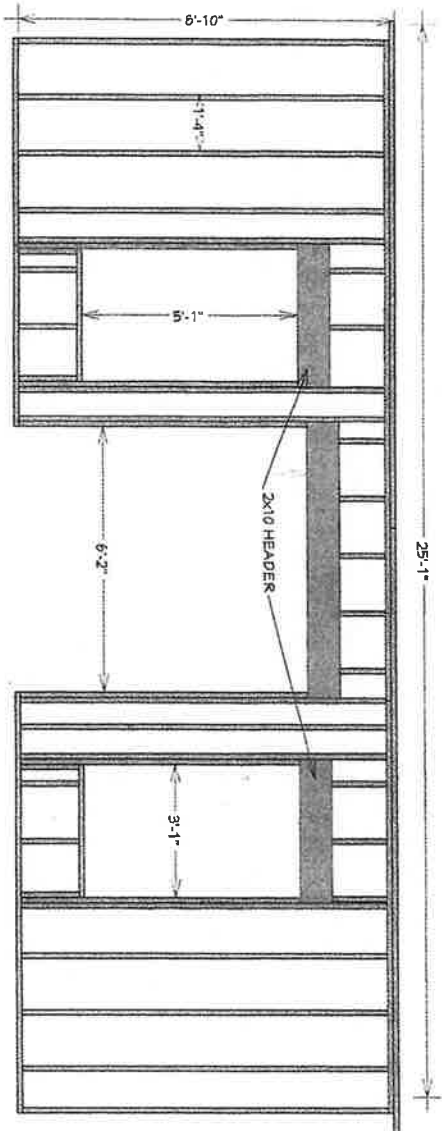
Kitchen
1/2 in = 1 ft

KITCHEN AND CABINET NOTES:

1. ALL CABINETS IN WHITE. CONFIRM COLOR WITH HOME OWNER PRIOR TO ORDERING.
2. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.
3. INSTALL HARDWARE ON SITE.
4. INSTALL CROWN MOULDING ON SITE. MATCH CABINET COLOR. CONFIRM PROFILE AND DIMENSION WITH HOME OWNER.
5. CUT OPEN OPENING ON SITE. SEE APPLIANCE SPECIFICATIONS.
6. INSTALL ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS.
7. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS.
8. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING.



Master Bath
1/2 in = 1 ft



WALL LAYER 4 - VIEWED FROM OUTSIDE

WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES

1. WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES. CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
2. WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2X CRIPPLE & (1) 2X KING, UNO
3. PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
4. PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
5. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
6. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
7. SEE ROOF FRAMING FOR ADDITIONAL FRAMING DETAIL

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
 - B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER, CEDAR
 - C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
 - D. ALL STUDS TO BE DF-#2 OR BETTER
 - E. SHEATHING SHALL BE AS FOLLOWS:
- WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB
FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD



WICOMICO COUNTY MARYLAND
IRC 2021

CLIENT:
BMD REALTOR LLC
919 HANOVER STREET
SALISBURY MD 21804

PROJECT DESCRIPTION:
WALL FRAMING DETAIL

DRAWINGS PROVIDED BY:
FE
GLOBAL HOME IMPROVEMENT LLC
SALISBURY MD 21801

DATE:

4/10/2026

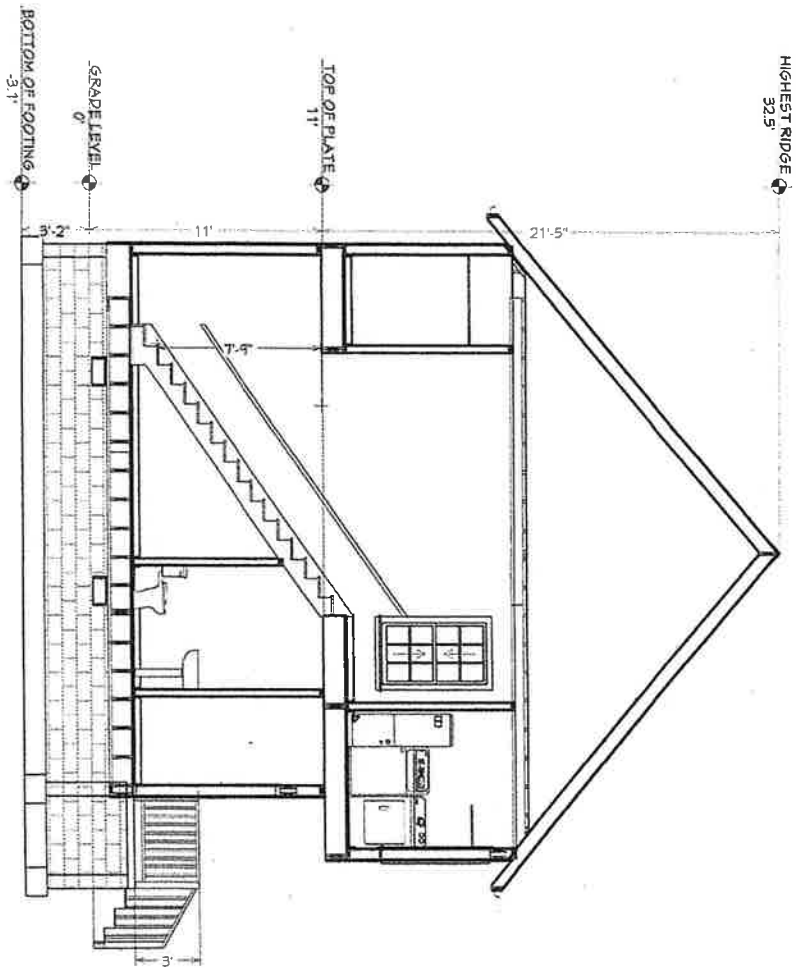
SCALE:

1/8" = 1'

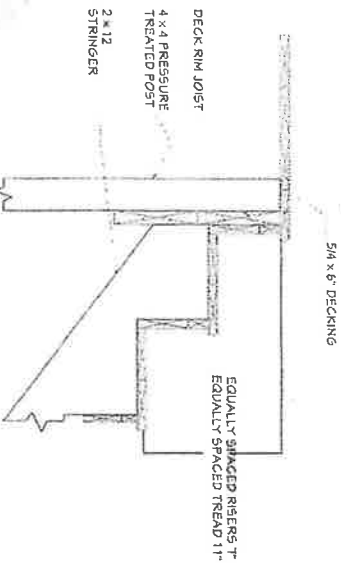
SHEET:

A-7

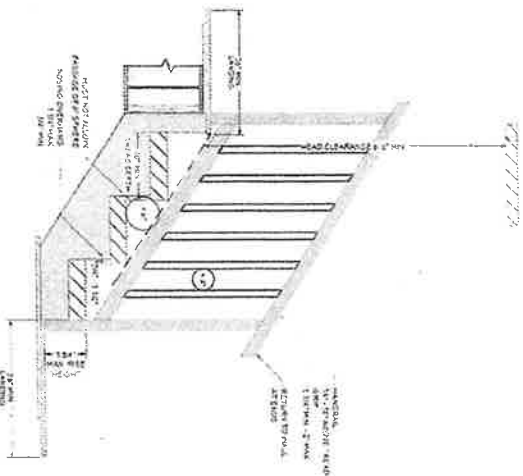
HIGHEST RIDGE
32.5'



Stair Section



Exterior Wood Stair
(print at 1"=1')



INTERIOR STAIR & RAILING DETAIL

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCRATCH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 4". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE 'X' GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NIPPLE POST OR SAFETY TERMINAL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE ALL SALT TREATED LUMBER



WICOMICO COUNTY MARYLAND
IRC 2021

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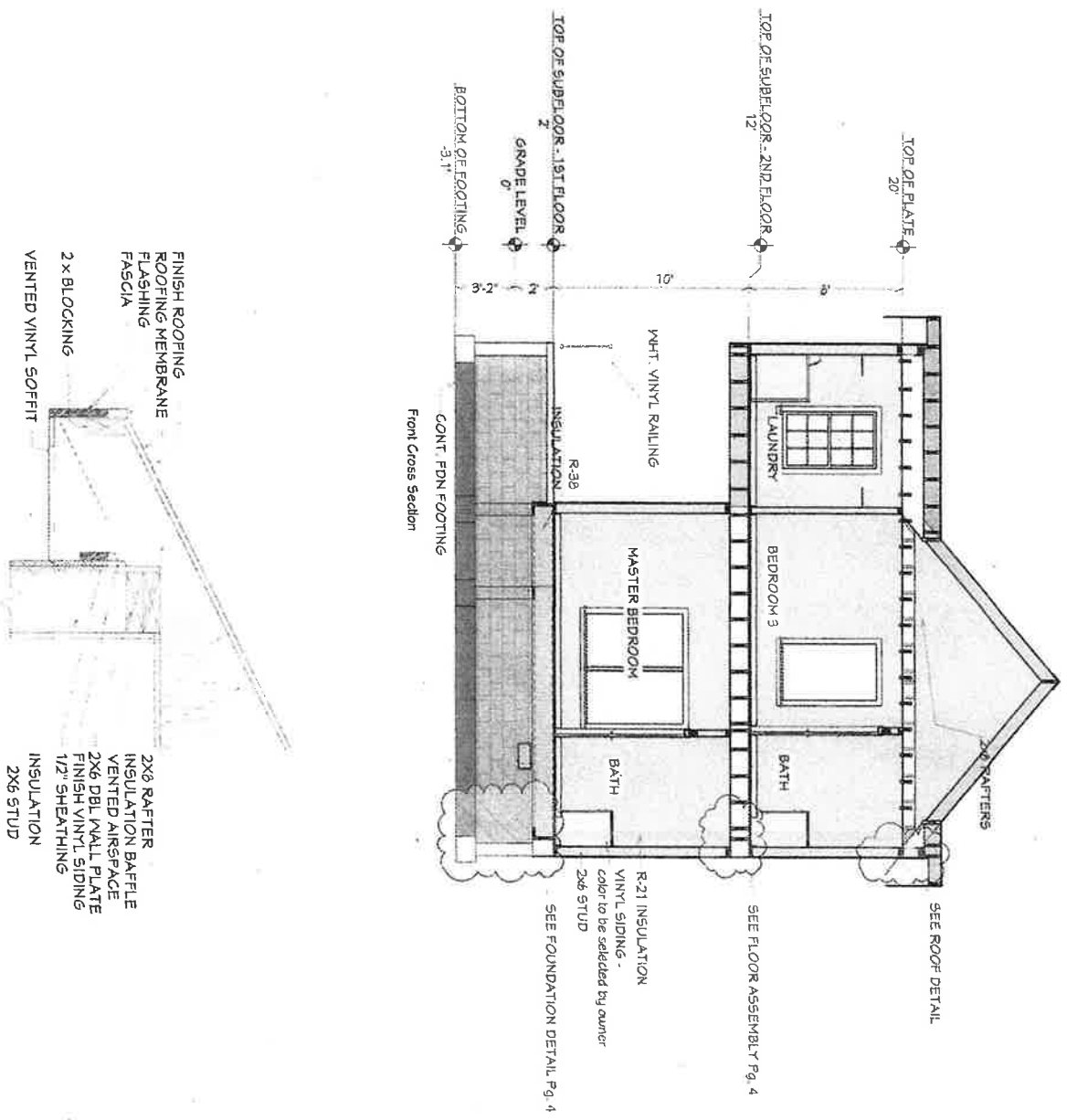
PROJECT DESCRIPTION:
STAIR SECTION

DRAWINGS PROVIDED BY:
FE
GLOBAL HOME IMPROVEMENT LLC
SALISBURY MD 21801

DATE:
4/10/2026

SCALE:
1/4" = 1'

SHEET:
A-9



Eave Detail (print at 1"=1')

ROOF FRAMING:

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TO MAIN GIRDER TO BE SIMPSON GALV. OR EQUAL

ALL ROOF FRAMING 16" O.C.

ALL OVERHANGS 16"

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

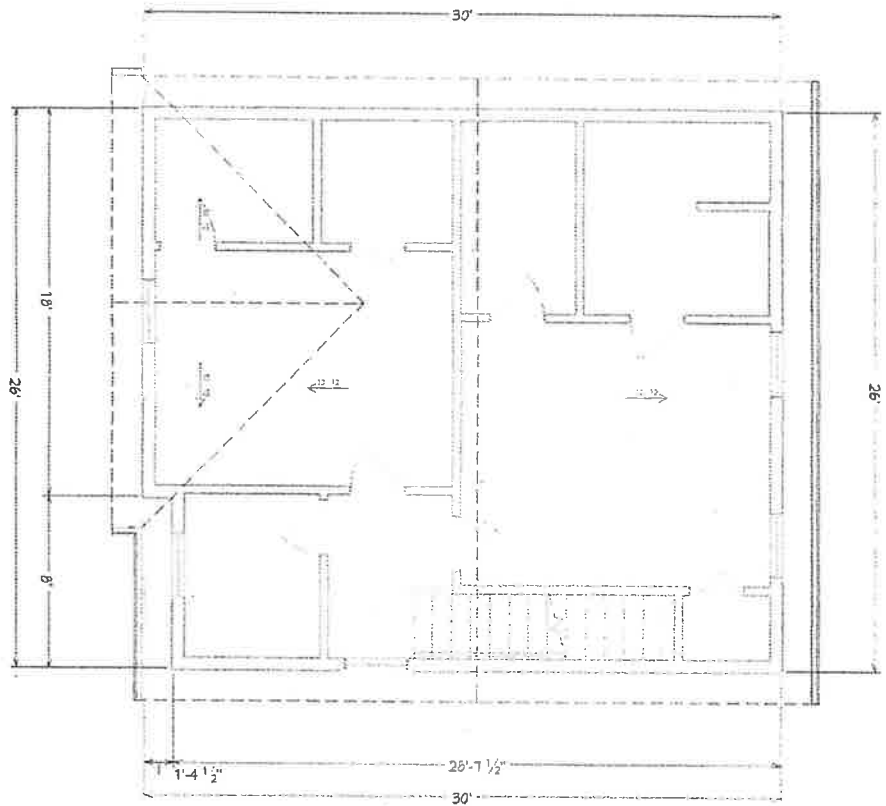
MIN. SNOW LOAD 50 LBS PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

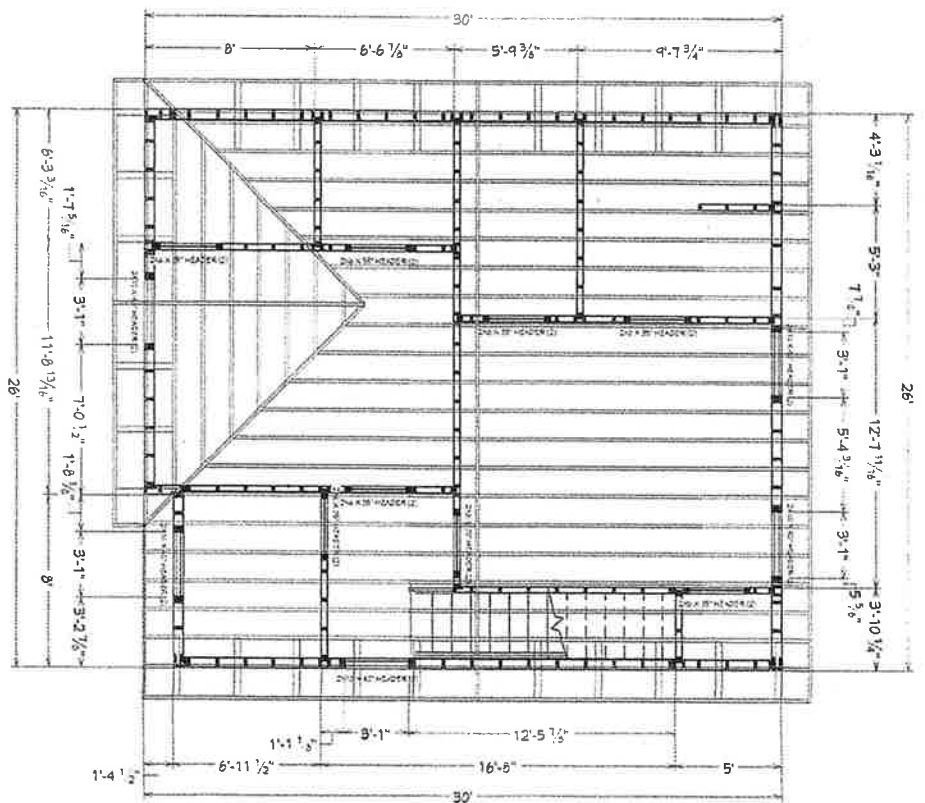
RIDGE

A RIDGE BOARD USED TO CONNECT OPPOSING RAFTERS SHALL BE NOT LESS THAN 1 INCH (25 MM) NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER, WHERE CEILING JOIST OR RAFTER TIES DO NOT PROVIDE CONTINUOUS TIES ACROSS THE STRUCTURE AS REQUIRED BY SECTION R602.2. THE RIDGE SHALL BE SUPPORTED BY A WALL OR RIDGE BEAM DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE AND SUPPORTED ON EACH END BY A WALL OR COLUMN.

CEILING JOISTS SHALL BE CONTINUOUS ACROSS THE STRUCTURE OR SECURELY JOINED WHERE THEY MEET OVER INTERIOR PARTITIONS IN ACCORDANCE WITH SECTION R602.2.1. CEILING JOISTS SHALL BE FASTENED TO THE TOP PLATE IN ACCORDANCE WITH TABLE R602.3(1).



Roof Plan View



Framing, Roof Plan View

A-11

SHEET:

1/4" = 1'

SCALE:

4/10/2026

DATE:

DRAWINGS PROVIDED BY:
FE
GLOBAL HOME IMPROVEMENT LLC
SALISBURY MD 21801

PROJECT DESCRIPTION:
ROOF PLAN AND FRAMING

CLIENT:
BMD REALTOR LLC
919 HANOVER STREET
SALISBURY MD 21804

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IRC 2021

