

Salisbury Historic District Commission

AGENDA

Wednesday, April 23, 2025 at 7:00 pm

Government Office Building Room 306

1. 7:00 P.M. - CALL TO ORDER – Scott Saxman, Chairman

2. ROLL CALL

3. APPROVAL OF MINUTES – February 23, 2025

PUBLIC INPUT – Public members are welcome to comment at this time, subject to a time allotment of two (2) minutes per person.

5. CONSENT DOCKET – #25-04* - 709 Camden Ave – Fence Installation

6. OLD BUSINESS –

7. NEW BUSINESS –

- **#25-03* – 226 N Division St – Alterations – Replacement of roof**
- **#25-05* - 227 Broad St – Alterations – Replace wood windows and siding**

*The structure has been deemed a contributing structure by the SHDC

*The structure has been deemed a non-contributing structure by the SHDC

Salisbury Historic District Commission
February 26, 2025

The Salisbury Historic District Commission met in regular session on Wednesday, February 26, 2025. The meeting took place at 125 N Division St Room 301 with attendance as follows:

COMMISSION MEMBERS PRESENT

Scott Saxman, Chairman –Present
Matt Auchey, Vice Chairman – Not Present
Lynne Bratten - Present
Brad Phillips- Not present
Margaret Lawson- Present
Brenden Frederick – Not present
Lisa Gingrich – Present

CITY OFFICIALS PRESENT

Laura Hay, City Attorney- Present
Jennifer Jean, Infrastructure & Development- Present

1. **CALL TO ORDER** – Mr. Scott Saxman called the meeting to order at 7 p.m.
2. **ROLL CALL** - Each member of the Commission introduced themselves for the record. The Chairman explained the procedure of the meeting to all applicants and administered the oath en masse to all persons intending to testify.
3. **APPROVAL OF MINUTES** – Ms. Lisa Gingrich made a motion to approve the minutes of the regular meeting held on January 22, 2025. Ms. Lynne Bratten seconded the motion and the motion carried (4-0).
4. **PUBLIC INPUT** – Members of the public are welcome to make comment at this time, subject to a time allotment of two (2) minutes per person.
5. **CONSENT DOCKET** – None
6. **OLD BUSINESS** – None
7. **NEW BUSINESS- #25-02** – Alterations – Replace two windows on second floor – Ms. Anastacia Thomasian brought her application before the commission for alterations to replace two windows on the second floor of the property due to concerns that were brought to her attention in her home inspection report. Mr. Scott Saxman confirmed the window selected for replacement is appropriate. He added that windows with full divided light grilles would be preferred. Ms. Anastacia Thomasian confirmed there will be exterior grilles as stated in the amended application submitted through email on January 25, 2025.

Ms. Lisa Gingrich made a motion to approve the amended application which includes the full divided exterior section lights. Ms. Lynne Bratten seconded the motion and the motion carried (4-0).

8. Adjourn the Meeting-

Mr. Saxman made a motion to adjourn the meeting. Ms. Lawson seconded the motion. The Commission voted unanimously to adjourn the meeting.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the City of Salisbury, Housing & Community Development Department.

Scott Saxman, Chairman

Date

Amanda Rodriquez, City Planner

Date

Salisbury Historic District Commission

Hearing Notification

| | |
|----------------------------------|--|
| Hearing Date: | April 23, 2025 |
| Time: | 7:00 pm |
| Location: | Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 306 |
| Case Number: | #25-03 |
| Commission Considering: | Alterations – Roof replacement |
| Owner's Name: | Healthport |
| Applicant Name: | STG Enterprise Solutions |
| Agent/Contractor: | N/A |
| Subject Property Address: | 226 N. Division St. Salisbury, MD 21801 |
| Historic District: | Newtown Historic District |
| Use Category: | Office & Service Residential |
| Chairman: | Mr. Scott Saxman |
| HDC Staff contact: | Jennifer Jean Associate Planner (410) 548-3170 |

Salisbury Historic District Commission

125 N. Division Street
Room 304
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application

\$150 Fee Received _____ (date)

Date Submitted: _____

Date Accepted as Complete: _____

Subject Location: 226 N. Division St.

Application by: SIG Enterprise Solutions

Applicant Address: 226 N. Division St Salisbury MD

Applicant Phone: 410-713-8144

Megan@sigenterprisesolutions.com

Work Involves: ☒ Alterations ☐ New Construction

☐ Demolition ☐ Sign

☐ Addition ☐ Other _____

☐ Awning Estimated Cost _____

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Removal and Replacement of the existing Roof

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ☐ Yes ☒ No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ☐ Yes ☒ No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on _____ (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's

Signature Megan

Date 3/5/25

Application Processor (Date)

Secretary, S.H.D.C. (Date)

Google Maps

228 N Division St

Salisbury, Maryland

Google Street View

Jun 2023 See more dates



Image capture: Jun 2023 © 2025 Google



Google Maps

228 N Division St



Image capture: Jun 2023 © 2025 Google



Google Maps

228 N Division St

Salisbury, Maryland

Google Street View

Jun 2023 See more dates



Image capture: Jun 2023 © 2025 Google



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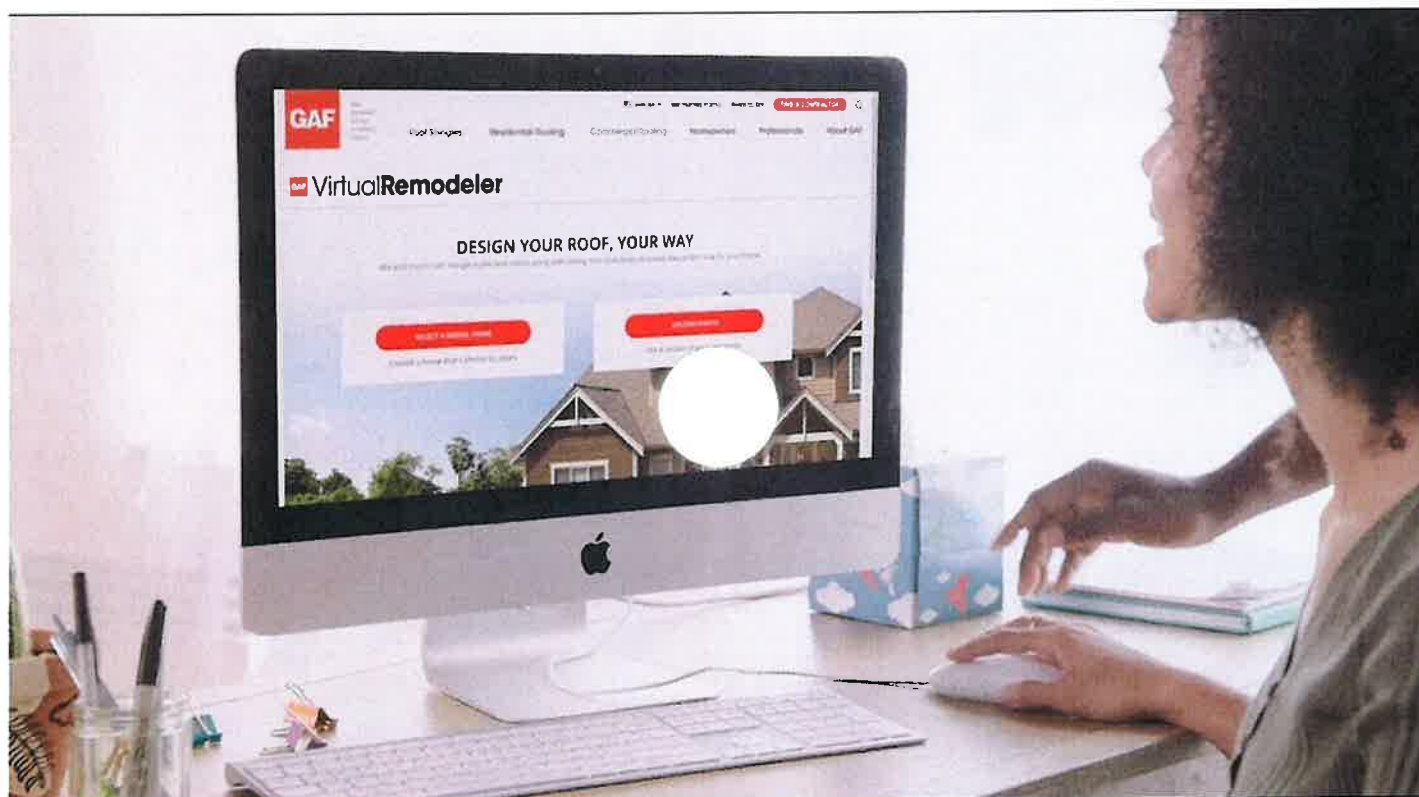
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Camelot® II Shingles complete a home with their classic, artisan-crafted look — at a surprisingly affordable price. Now with GAF Time-Release Algae-Fighting Technology for long-lasting algae-fighting power so strong it allows us to offer a 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration.¹

¹25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See GAF Shingle & Accessory Limited Warranty for complete coverage and restrictions and qualifying products.



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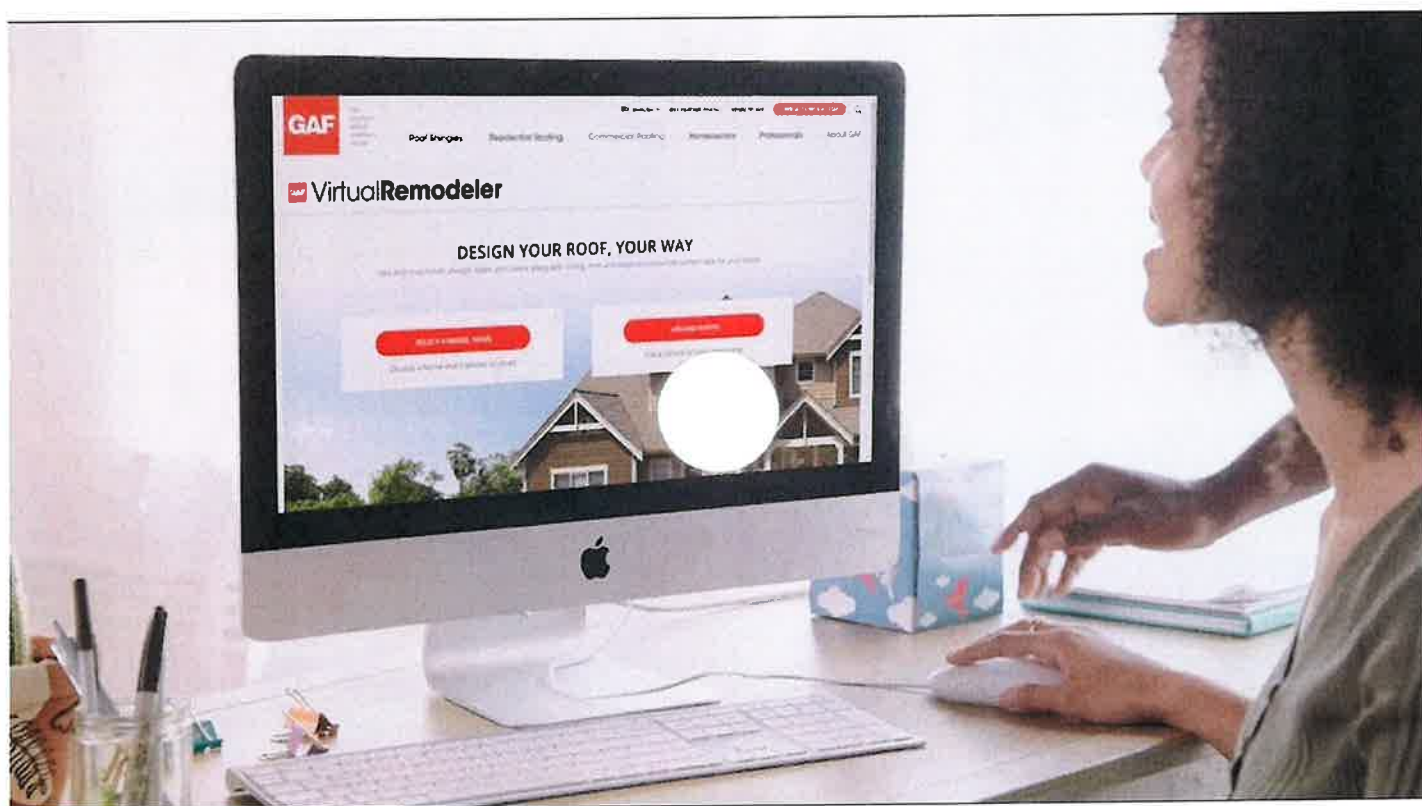
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Salisbury Historic District Commission

STAFF FINDINGS

Meeting of April 23, 2025

| | |
|--|--|
| Case Number: | #25-03 |
| Commission Considering: | Alterations – Roof replacement |
| Owner Name: | Healthport |
| Owners Address: | 208 E Main St Salisbury, MD 21801 |
| Applicant Name: | STG Enterprise Solutions |
| Applicant's Address: | 226 N. Division St Salisbury, MD 21801 |
| Agent/Contractor: | N/A |
| Subject Property Address: | 226 N. Division St Salisbury, MD 21801 |
| Historic District: | Newtown Historic District |
| Use Category: | OSR |
| Zoning Classification: | OSR – Office & Service Residential |
| Structure / Site Description: | |
| Built Date: | 1920 |
| Enclosed Area: | 4,215 sq. ft. (SDAT Real Property Database) |
| Lot Size: | 5,460 sq. ft. (SDAT Real Property Database) |
| Number of Stories: | 2 1/2 |
| Contributing Structure: | Yes |
| Wicomico County Historic Survey on file: | Yes; WI-153 |
| Nearby Properties on County Survey: | Yes |
| Properties included below but not limited to: | |
| | <ul style="list-style-type: none">• WI-363; Theodore Parsons House |

- WI-645; Albert Smith House

Explanation of Request: The applicant is seeking approval to replace the existing roof.

Areas of Historic Guidelines to be considered:

UNIVERSAL GUIDELINES

Guideline 24: Roofing Material

- Retain and repair the historic roof material when feasible.
- Where replacement is necessary, match the historic materials as closely as possible in terms of material, size, color, and pattern.
- Requests for substitute roofing materials will be reviewed on a case-by-case basis.
- When asphalt shingles are used to replace wood or slate, heavy weight architectural shingles which provide depth and variation, and which match the shape of the historic materials, are preferred.
- Roofing materials on additions should match or mimic the material on the main body of the historic building.
- Roofing materials on new construction should be consistent with the prevalent roofing material on surrounding buildings.
- Repair of isolated sections of a roof must match the existing tiles in material composition, style, size and color.

Best Choice:

Replace a slate roof with new or salvaged slate.

Good Alternative:

Replace a slate roof with new synthetic slate shingles which mimic the texture and pattern of the historic slate roof.

Not Appropriate:

Replacing a slate roof with a new standing seam metal roof.

GUIDELINES FOR RESIDENTIAL PROPERTIES

Guideline 60: Roof Shape and Slope

- Preserve the historic shape and slope of the roof of the main house as well as historic outbuildings
- like garages and carriage houses.
- Roof shapes on additions and outbuildings, including large sheds and garages, should be
- consistent with the architectural style of the main building. For example, a house with a hipped
- roof would likely have a garage with a hipped roof. A gable-roofed building would typically have
- additions with gable or shed roofs.
- On new buildings, roof shapes should be consistent with those found in the surrounding area.
- Nearly every type of domestic roof type is present within the Newtown and Camden Historic Districts. The new design should be harmonious with the adjacent properties.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review and make determinations on all applications to construct, alter, reconstruct, move or demolish a site or structure within a Historic District whenever “*exterior changes are involved which would affect the historic archeological, or architectural significance of a site or structure, any portion of which is visible or intended to be visible from a public way.*” In reviewing an application and plans, the Commission should consider review criteria, and may decide as to which of said Criteria are applicable.

Staff Findings Prepared By: Jennifer Jean
Infrastructure and Development
125 N Division Street, Suite 304
Salisbury, MD 21801
(410) 548-3170
Date: April 14, 2025

WI-153

Newtown Historic District

Architectural Survey File

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 05-15-2018

**MARYLAND HISTORICAL TRUST
DETERMINATION OF ELIGIBILITY FORM**

Property Name: Newtown Historic District Inventory Number: WI-153
Address: _____ Historic district: ☒ yes ☐ no
City: Salisbury Zip Code: 21801 County: Wicomico
USGS Quadrangle(s): Salisbury
Property Owner: _____ Tax Account ID Number: _____
Tax Map Parcel Number(s): _____ Tax Map Number: 104,106-7
Project: TEA-21 DOE Agency: Maryland Historical Trust
Agency Prepared By: Maryland Historical Trust
Preparer's Name: Nicole Diehlmann Date Prepared: 6/15/2004
Documentation is presented in: MIHP Form WI-153
Preparer's Eligibility Recommendation: ☒ Eligibility recommended ☐ Eligibility not recommended
Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G
Complete if the property is a contributing or non-contributing resource to a NR district/property:
Name of the District/Property: _____
Inventory Number: _____ Eligible: ☐ yes ☐ no Listed: ☐ yes ☐ no
Site visit by MHT Staff ☒ yes ☐ no Name: Nicole Diehlmann Date: 12/15/2003

Description of Property and Justification: *(Please attach map and photo)*

The Newtown Historic District is a mid-19th to early-20th century residential community located in the City of Salisbury. The area is roughly bounded by Broad Street/U.S. Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity.

The Newtown Historic District is comprised of 278 properties. Of the 278 properties, 233 contribute to the district and 45 do not contribute. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended ☒ Eligibility not recommended ☐
Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G
MHT Comments:

Nicole Diehlmann
Reviewer, Office of Preservation Services

Tuesday, June 15, 2004
Date

Peter Kurtze
Reviewer, National Register Program

Tuesday, June 15, 2004
Date

Anne, Shingle Style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X Eligibility not recommended Criteria: X A B X C D Considerations: A B C D E F G

MHT Comments:

Nicole Diehlmann

Reviewer, Office of Preservation Services

Peter Kurtze

Reviewer, National Register Program

Tuesday, June 15, 2004

Date

Tuesday, June 15, 2004

Date

Newtown Historic District
WI-153
Salisbury, Wicomico County
1795-1954

The Newtown Historic District is a mid-19th to early-20th century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

Maryland Historical Trust

Maryland Inventory of

Historic Properties Form

Inventory No. WI-153

1. Name of Property

(indicate preferred name)

historic Newtown Historic District

other

2. Location

street and number _____ not for publication

city, town Salisbury _____ vicinity

county Wicomico

3. Owner of Property

(give names and mailing addresses of all owners)

name Multiple Owners

street and number

telephone

city, town Salisbury state MD zip code 21801

4. Location of Legal Description

courthouse, registry of deeds, etc. Wicomico County Courthouse liber folio

city, town Salisbury tax map 104, 106, 107 tax parcel tax ID number

5. Primary Location of Additional Data

- ☐ Contributing Resource in National Register District
☐ Contributing Resource in Local Historic District
☒ Determined Eligible for the National Register/Maryland Register
☐ Determined Ineligible for the National Register/Maryland Register
☐ Recorded by HABS/HAER
☐ Historic Structure Report or Research Report at MHT
☐ Other: _____

6. Classification

| Category | Ownership | Current Function | Resource Count |
|--|--|--|---|
| <input checked="" type="checkbox"/> district | <input type="checkbox"/> public | <input type="checkbox"/> agriculture | Contributing |
| <input type="checkbox"/> building(s) | <input type="checkbox"/> private | <input type="checkbox"/> commerce/trade | Noncontributing |
| <input type="checkbox"/> structure | <input checked="" type="checkbox"/> both | <input type="checkbox"/> defense | 233 |
| <input type="checkbox"/> site | | <input checked="" type="checkbox"/> domestic | 45 |
| <input type="checkbox"/> object | | <input type="checkbox"/> education | buildings |
| | | <input type="checkbox"/> funerary | sites |
| | | <input type="checkbox"/> government | structures |
| | | <input type="checkbox"/> health care | objects |
| | | <input type="checkbox"/> industry | 233 |
| | | <input type="checkbox"/> landscape | 45 |
| | | <input checked="" type="checkbox"/> recreation/culture | Total |
| | | <input checked="" type="checkbox"/> religion | |
| | | <input type="checkbox"/> social | |
| | | <input type="checkbox"/> transportation | |
| | | <input type="checkbox"/> work in progress | |
| | | <input type="checkbox"/> unknown | |
| | | <input type="checkbox"/> vacant/not in use | |
| | | <input type="checkbox"/> other: | |
| | | | Number of Contributing Resources previously listed in the Inventory |
| | | | 12 |

7. Description

Inventory No. WI-153

Condition

| | |
|---|---------------------------------------|
| <input checked="" type="checkbox"/> excellent | <input type="checkbox"/> deteriorated |
| <input type="checkbox"/> good | <input type="checkbox"/> ruins |
| <input type="checkbox"/> fair | <input type="checkbox"/> altered |

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

The Newtown Historic District is a mid-19th to early-20th century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. The area is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

Newtown is a predominantly residential community on the north side of downtown Salisbury that slowly developed from the mid-19th century into the early 20th century. The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. The district is primarily residential with the exception of a few churches along the southern boundary and some commercial space along Route 13.

Parcels in Newtown were slowly subdivided from a tract of land called "Pemberton's Good Will" beginning in the mid-19th century. Early development was clustered along what is now Broad and Division streets. More development occurred after the Civil War when Isabella, Elizabeth and William streets were partitioned for development from the Poplar Hill Mansion property. The 1877 Atlas for Salisbury shows a street system very close to what exists today, with the exception of Park Avenue, Oakdale Road and Elizabeth Street, which don't appear. Development at that time is clustered on the southern end of the district, principally on Division, Broad, Chestnut and Walnut streets.¹ The neighborhood seems to have been almost built out by the time the September 1899 Sanborn Map was published. That map shows very few vacant parcels left in the community. The area along Oakdale Road, on the property once called The Oaks, was the last portion of the district to be developed.

Despite the long period of development, the Newtown streetscape is rhythmic with an irregular gridiron layout and a relatively consistent setback. Lot sizes are irregular, but the houses are large in scale and placed fairly close together. The houses are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The streets are lined with mature trees.

Newtown is significant for its broad array and distinguished examples of 19th to early 20th century architectural styles. As a result of fires in 1860 and 1886, there are few remaining antebellum houses in Salisbury. Two of them are located in Newtown. Poplar Hill Mansion [WI-8], located at 117 Elizabeth Street, is the oldest known structure in the City of Salisbury. Construction of the two-story, five-bay frame structure with fine federal-style detailing, including a Palladian window, block cornice and decorative fanlight over the entrance door, was begun circa 1795 when Levin Handy purchased the property. This property is currently operated as a house museum. The rear wing of the 1897 Robert D. Grier house [WI-62] at 315 North Division Street, was originally the two-story, five-bay frame Thomas Hooper House which dates to circa 1820. Now functioning as a service wing, the structure was originally a center hall plan house with fine federal detailing.²

The Greek Revival style is well represented in Newtown. Probably the most notable is the three-story, five-bay frame house located at 115 Broad Street, formerly known as "Park Hall," which was the residence of merchant and mill owner General Humphrey Humphreys. According to an inscribed board, the house dates to 1856. The double pile house is three stories tall with a center hall and low pitched roof with wide eaves. The first two stories are clad in weatherboard with 6/6 sash windows while the shorter third story is clad in flush board siding with casement windows. The first and second stories are encased in vertical corner pilasters on which the third floor appears to rest as a classical entablature. The interior also retains Greek-inspired finishes. Similar to this house is the Dr. Cathell Humphreys house (later known as "Mrs. Herold's School") at 325 N. Division Street. This building, constructed c.

¹ Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976), p. 18.

² Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003; Touart, Paul Baker, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files; and "Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 7 Page 1

1860-1870 by General Humphrey Humphrey's brother, is a three-story, three-bay center hall dwelling with weatherboard sheathing on the first two stories and flush board sheathing on the third. The eaves under the hipped roof are marked with large decorative brackets. Other Greek Revival structures remaining in Newtown include Hatfield Manor on Division Street, which was constructed for local merchant Theodore Parsons and his wife, Margaret Bell Parsons. This three-story, five-bay, center-hall structure with flanking two-story wings and a low pitched roof retains its Corinthian columns and bracketed cornice.³

Elihu E. Jackson, a lumber magnate and Governor of Maryland, and his wife Nellie Rider Jackson lived on the large estate known as The Oaks on the north side of Newtown. The house was located on the northwest corner of North Division and West Isabella streets and designed in the Queen Anne style by Jackson C. Gott of Baltimore in 1883-84. At the time, it was the largest house constructed in Salisbury with over twenty rooms. It was located on an elevated site and was decorated with an asymmetrical collection of towers, gables and porches. In August 1887, it was one of the first houses in Salisbury to be electrified. The structure was demolished in the 1920s to make way for new residential development.⁴

Other notable Queen Anne dwellings in Newtown include the 1887-8 Gillis-Grier house [WI-13] at the corner of North Division and William streets (401 N. Division Street). Built for merchant James Cannon, the asymmetrical house sports a three-story octagonal tower with conical roof, brick chimneys with corbelled caps and terra cotta and woodwork panels. In 1897, Robert D. Grier, a foundry owner, purchased property at 501 North Division Street. He moved the existing dwelling and hired Salisbury builder William J. Johnson to construct a new house on the front of the property. The new portion of the house contains many Queen Anne details including a three story circular tower with conical roof and fishscale shingles. Throughout the Newtown district, there are many more modest dwellings with Queen Anne detailing. One example is the 1898 William M. Day house [WI-245] at the corner of East Isabella Street and Poplar Hill Avenue (119 E. Isabella Street). This two-and-a-half story house is sheathed in a mix of narrow weatherboards, decorative panels and fish scale shingles, and contains multisided bays.⁵

The Perry-Cooper house [WI-106] at the corner of William and Gay streets (200 E. William Street) in Newtown is an outstanding example of the Second Empire style. It was constructed in 1897 for Thomas Perry, the owner of the *Salisbury Advertiser*. It maintains its distinctive mansard roof and circular front porch, and is notable for the unusual swag design found in the cornice and window lintels.⁶

The American Four-Square was a popular house type in the early 20th century. They are defined by their two-and-a-half story height, square massing and hipped or pyramidal roof. They were often ornamented with Colonial Revival and Craftsman design motifs. One such example in Newtown is the 1910 L. Atwood Bennett house on Elizabeth Street. Constructed for a Salisbury attorney, the dwelling is notable for its neoclassical porch and exposed rafter ends.⁷

³ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁴ Touart, *At the Crossroads*.

⁵ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁶ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁷ Touart, *At the Crossroads*.

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 7 Page 2

The properties on Oakdale and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, differ from the rest of the district. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style. The eastern half of the block between Isabella Street and Oakdale Road is now a community park.

The Newtown neighborhood also contains several significant institutional buildings. These include the Charles H. Chipman Cultural Center, which was formerly the John Wesley M.E. Church. The John Wesley M.E. congregation was formed in 1837 by a group of free blacks. They constructed a one-story frame church on a Newtown lot they purchased in 1838 at what is now 321 Broad Street. The church was renovated and raised to two stories in 1880, and in 1901 a tower was added to the front. The building now houses a museum interpreting local African-American history.⁸

In 1859, Salisbury's Wicomico Presbyterian Church congregation began construction of a large brick church with Romanesque Revival details at what is now 129 Broad Street. This larger church replaced their former place of worship, a one-story building on Broad Street. The church with its rounded arched windows was dedicated on March 24, 1861. The entrance tower and steeple, designed by Baltimore architectural firm Owens & Sisco, was added in 1910.⁹

The original Asbury Methodist Episcopal Church was destroyed by the 1886 fire, but was reconstructed in 1887-8. The new church, financed by wealthy lumber merchant William H. Jackson, was designed by Baltimore architect Jackson C. Gott in the Romanesque Revival style and constructed in Port Deposit stone. The church was unique because the sanctuary was oriented on a diagonal with a corner pulpit and theatre-style seating. The building now houses the Faith Community Church at 219 N. Division Street.¹⁰

Trinity Methodist Church [WI-64], at the corner of North Division and High Street, was designed by the Baltimore architectural firm, C.E. Cassell & Son, and constructed in 1904-5. Built in the Richardsonian Romanesque style with Port Deposit granite and limestone accents, the building is notable for its windows made by the studios of Louis Comfort Tiffany.¹¹

⁸ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

⁹ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

¹⁰ Touart, *At the Crossroads*.

¹¹ "Architectural Walking Tour of Newtown Historic District."

8. Significance

Inventory No. WI-153

| Period | Areas of Significance | Check and justify below | | | |
|---|--|--|---|--|--|
| <input type="checkbox"/> 1600-1699 | <input type="checkbox"/> agriculture | <input type="checkbox"/> economics | <input type="checkbox"/> health/medicine | <input type="checkbox"/> performing arts | |
| <input checked="" type="checkbox"/> 1700-1799 | <input type="checkbox"/> archeology | <input type="checkbox"/> education | <input type="checkbox"/> industry | <input type="checkbox"/> philosophy | |
| <input checked="" type="checkbox"/> 1800-1899 | <input checked="" type="checkbox"/> architecture | <input type="checkbox"/> engineering | <input type="checkbox"/> invention | <input type="checkbox"/> politics/government | |
| <input checked="" type="checkbox"/> 1900-1999 | <input type="checkbox"/> art | <input type="checkbox"/> entertainment/ | <input type="checkbox"/> landscape architecture | <input type="checkbox"/> religion | |
| <input type="checkbox"/> 2000- | <input type="checkbox"/> commerce | <input type="checkbox"/> recreation | <input type="checkbox"/> law | <input type="checkbox"/> science | |
| | <input type="checkbox"/> communications | <input type="checkbox"/> ethnic heritage | <input type="checkbox"/> literature | <input type="checkbox"/> social history | |
| | <input type="checkbox"/> community planning | <input type="checkbox"/> exploration/ | <input type="checkbox"/> maritime history | <input type="checkbox"/> transportation | |
| | <input type="checkbox"/> conservation | <input type="checkbox"/> settlement | <input type="checkbox"/> military | <input type="checkbox"/> other: _____ | |

Specific dates 1795-1954

Architect/Builder

Construction dates

Evaluation for:

☒ National Register

☒ Maryland Register

☐ not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance projects, complete evaluation on a DOE Form – see manual.)

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the early 20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. The neighborhood maintains its integrity of location, design, setting, materials, association and feeling. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

The City of Salisbury was established in 1732 on fifteen acres of land between the north and east branches of the Wicomico River. Despite its location on the dividing line of what was then Somerset and Worcester counties, by the end of the 18th century, Salisbury had developed into a commercial center. According to architectural historian Paul Touart, much of this growth was fueled by "the speculation and subdivision of additional parts of "Pemberton's Good Will," one of the principal tracts on which the city was laid out. The newly partitioned land was located along the Salisbury-Laurel [Delaware] Road between High Street and modern-day West Isabella Street."¹² A large mill complex was established in 1769 on the north prong of the Wicomico River by Littleton Dennis and Josiah and Gilliss Polk which by 1774 contained two grist mills, a bolting mill and a saw mill on eighty acres of land. The surviving 1798 Direct Tax records for Somerset County show a diversity of commercial, industrial and domestic structures located primarily between the two forks of the Wicomico River. Almost a third of the dwellings were classified as "new," indicating the town was experiencing a growth spurt.¹³

Outside of this developed area were several large land holdings, including the 357-acre plantation owned by Levin Handy. This property was called Poplar Hill, but was originally a portion of "Pemberton's Good Will." Levin Handy purchased the property in 1795 and shortly thereafter began construction of the two-story, five-bay frame structure with fine federal-style detailing now known as Poplar Hill Mansion. The house was not completed by Handy, however. In 1805, John Huston, a doctor who also owned and operated a downtown bank, acquired the property and finished construction.¹⁴

During the late 18th century, a 74.75-acre parcel of "Pemberton's Good Will," located between what is now High and West Isabella streets, was acquired by another of Salisbury's early physicians, Dr. Martin Luther Haynie. Dr. Haynie subdivided the land into smaller, irregularly-sized parcels that fronted the west side of what was then known as Dividing or Boundary Street. The 1798 Federal Direct tax assessment indicates that these properties were located in "Haynie's Settlement" and were mostly unimproved. It is unclear how much development occurred there in the first quarter of the nineteenth century, but by the 1820s, the area was referred to as "New Town" in property transfers.¹⁵

¹² Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

¹³ Touart, *At the Crossroads*; Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood;" and "Architectural Walking Tour of Newtown Historic District."

¹⁴ Touart, *At the Crossroads*.

¹⁵ Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 8 Page 1

Salisbury continued to grow in the early 19th century, mostly because of its commercial and industrial enterprises and its location on the Wicomico River and the primary north-south road of the Delmarva Peninsula. The area of Newtown was incorporated into Salisbury's corporate limits in 1847. At that time, most of the construction activity within Newtown was limited to parcels bordering on Broad, High, and Dividing streets. The additional acreage within the current-day boundaries of Newtown was still owned by Dr. John and Sarah Huston of Poplar Hill.¹⁶

By the time the railroad reached Salisbury in April 1860, the town boundaries had expanded dramatically and the population neared 2,000 residents. The next several years brought setbacks for the town—an August 1860 fire devastated much of the town, and by 1862 the town was occupied by federal forces seeking confederate sympathizers. By the end of the war, however, Salisbury was recovering from the ravages of fire. Many residents chose to rebuild their houses outside of the commercial district in Newtown. The pace of construction was brisk along Division Street. Three new east-west streets were created from land subdivided from the Poplar Hill property. They were named after the children of Poplar Hill's owners, John and Sarah Huston—Isabella, Elizabeth and William.¹⁷

In 1867, the Maryland legislature passed a new constitution with an amendment authorizing the partition of Somerset and Worcester counties and the creation of a new jurisdiction named after the Wicomico River. Salisbury became the county seat of the new Wicomico County and grew in influence. During the 1870s, an extensive railroad network was developed on the Eastern Shore. Many of these lines intersected at Salisbury, transforming the town into a transportation hub. At the same time, dredging and other improvements to the Wicomico River improved the town's shipping capacity. These positive economic factors lead to a building boom in Salisbury that would last to the end of the century.¹⁸

Fire struck the town once again on October 18, 1886. Ignited in a livery stable downtown, the fire quickly spread throughout the city. Wet blankets were effectively used to protect the roofs of Newtown houses from catching on fire. With help from the Wilmington, Pocomoke City and Crisfield fire departments, the north and easternmost portions of the blaze were extinguished by Broad and Division streets, saving the residence of Dr. Eugene Humphreys [the General Humphrey Humphreys House] at 115 Broad Street. Salisbury quickly recovered from this second major fire and Newtown once again became a center of residential construction.¹⁹

As a result of its ever-growing industrial, commercial and agricultural economy, from the 1880s to the 1920s, Salisbury's population grew from nearly 4,000 to over 10,000 residents. This population growth spurred demand for housing. To meet this need, some local businessmen constructed rowhouse units on smaller parcels of land. There is a series of such brick rowhouse units in Newtown on Poplar Hill Avenue, but the neighborhood remained one of primarily single-family detached houses.²⁰

The properties on Oakdale Road and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, were the last to be developed and represent building trends in the early 20th century. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style.

The Newtown Historic District contains examples of almost all architectural styles popular in the United States from the late 18th to the early 20th century. These high-style structures were built by Salisbury's elite and represent the City's growing importance on Maryland's Eastern Shore.

¹⁶ Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

¹⁷ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

¹⁸ Touart, *At the Crossroads*.

¹⁹ Touart, *At the Crossroads*.

²⁰ Touart, *At the Crossroads*.

9. Major Bibliographical References

Inventory No. WI-153

"Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003.

-----, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files.

Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976).

10. Geographical Data

Acreage of surveyed property 74.98
Acreage of historical setting 74.98
Quadrangle name Salisbury

Quadrangle scale: 1:24,000

Verbal boundary description and justification

The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. This area contains a concentrated collection of significant historic properties that were originally subdivided from the tract "Pemberton's Good Will." Some properties facing the west side of U.S. Business Route 13 are not included in the district because they do not retain sufficient integrity to contribute to the district's significance.

11. Form Prepared by

| | | | |
|-----------------|---------------------------|-----------|---------------|
| name/title | Nicole A. Diehlmann | | |
| organization | Maryland Historical Trust | date | June 30, 2004 |
| street & number | 100 Community Place | telephone | 410-514-7625 |
| city or town | Crownsville | state | MD |

The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust
DHCD/DHCP
100 Community Place
Crownsville, MD 21032-2023
410-514-7600

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-------|---------------|
| | Contributing | 0107 | 1002 | 2 | 1 | |
| | Contributing | 0107 | 1863 | | PAR B | |
| 209 ASBURY PL | | 0107 | 0749 | | | |
| 211 ASBURY PL | | 0107 | 0750 | | | |
| 213 ASBURY PL | | 0107 | 0751 | | | |
| 101 BROAD ST | Contributing | 0107 | 0753 | | | |
| 115 BROAD ST | Contributing | 0107 | 0752 | | | WI-14 |
| 123 BROAD ST | Contributing | 0107 | 0748 | | | |
| 207 BROAD ST | Contributing | 0104 | 0747 | | | |
| 221 BROAD ST | Contributing | 0107 | 0745 | | | WI-151 |
| 225 BROAD ST | Contributing | 0104 | 0744 | | | |
| 227 BROAD ST | Contributing | 0107 | 0743 | | | |
| 325 BROAD ST | Contributing | 0107 | 0740 | | 2 | |
| 323 N BROAD ST | Contributing | 0107 | 1864 | | 2 | |
| 327 N BROAD ST | | 0107 | 1862 | 0 | 0 | |
| 112 CHESTNUT ST | | 0107 | 0746 | | | |
| 107 E CHESTNUT ST | | 0107 | 0758 | | | |
| 109 E CHESTNUT ST | Contributing | 0107 | 0759 | | | |
| 119 E CHESTNUT ST | Contributing | 0107 | 0760 | | | |
| 121 E CHESTNUT ST | Contributing | 0107 | 0761 | | | |
| 104 W CHESTNUT ST | Contributing | 0107 | 0995 | 5 | 5 | |
| 107 W CHESTNUT ST | Contributing | 0107 | 0957 | 4 | 28 | |
| 111 W CHESTNUT ST | Contributing | 0107 | 0958 | 4 | 1 | |
| 106 COLONIAL CT | Contributing | 0107 | 0952 | 4 | 23 | |
| 104 S COLONIAL CT | Contributing | 0107 | 0953 | 4 | 25 | |
| 217 N DIVISION ST | Contributing | 0107 | 0754 | | | |
| 218 N DIVISION ST | Contributing | 0107 | 0999 | 5 | 4 | |
| 224 N DIVISION ST | Contributing | 0107 | 0998 | 5 | 3 | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 225 N DIVISION ST | Contributing | 0107 | 0757 | | | |
| 226 N DIVISION ST | Contributing | 0107 | 0997 | | | |
| 228 N DIVISION ST | Contributing | 0107 | 0996 | | | |
| 300 N DIVISION ST | Contributing | 0107 | 0956 | | | |
| 301 N DIVISION ST | | 0107 | 0756 | | | |
| 302 N DIVISION ST | Contributing | 0107 | 0955 | 4 | 26 | |
| 304 N DIVISION ST | | 0107 | 0954 | | | |
| 305 N DIVISION ST | Contributing | 0107 | 0773 | | | |
| 308 N DIVISION ST | Contributing | 0107 | 0951 | 4 | 24 | |
| 309 N DIVISION ST | Contributing | 0107 | 0772 | | | |
| 312 N DIVISION ST | Contributing | 0107 | 0950 | 4 | 22 | |
| 313 N DIVISION ST | Contributing | 0107 | 0774 | | | |
| 314 N DIVISION ST | | 0107 | 0949 | 4 | 21 | |
| 315 N DIVISION ST | Contributing | 0107 | 0810 | | | WI-62 |
| 316 N DIVISION ST | Contributing | 0107 | 0948 | 4 | 20 | |
| 319 N DIVISION ST | Contributing | 0107 | 0811 | | | |
| 320 N DIVISION ST | Contributing | 0107 | 0947 | 4 | 19A | WI-110 |
| 321 N DIVISION ST | Contributing | 0107 | 0812 | | | |
| 322 N DIVISION ST | Contributing | 0107 | 0946 | | 0 | |
| 324 N DIVISION ST | Contributing | 0107 | 0945 | 4 | 17 | |
| 325 N DIVISION ST | Contributing | 0107 | 0813 | | | |
| 326 N DIVISION ST | Contributing | 0107 | 1867 | | 0 | |
| 328 N DIVISION ST | Contributing | 0107 | 0943 | 4 | 15 | |
| 401 N DIVISION ST | Contributing | 0107 | 0678 | | | WI-13 |
| 403 N DIVISION ST | Contributing | 0107 | 0677 | 2 | 23 | |
| 407 N DIVISION ST | Contributing | 0107 | 0676 | | | |
| 408 N DIVISION ST | Contributing | 0107 | 0941 | | 0 | |
| 501 N DIVISION ST | Contributing | 0104 | 0635 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 509 N DIVISION ST | Contributing | 0104 | 0634 | | | WI-360 |
| 601 N DIVISION ST | Contributing | 0104 | 0608 | | | WI-361 |
| 605 N DIVISION ST | Contributing | 0104 | 0607 | | | |
| 607 N DIVISION ST | Contributing | 0104 | 0606 | | | |
| 611 N DIVISION ST | Contributing | 0104 | 0605 | | | |
| 613 N DIVISION ST | Noncontributing | 0104 | 0604 | | | |
| 102 ELIZABETH ST | Contributing | 0104 | 0633 | | | |
| 103 ELIZABETH ST | Contributing | 0104 | 0609 | | | WI-364 |
| 104 ELIZABETH ST | Contributing | 0104 | 0632 | | | |
| 105 ELIZABETH ST | Contributing | 0104 | 0610 | | | |
| 106 ELIZABETH ST | Contributing | 0104 | 0631 | | | |
| 107 ELIZABETH ST | Contributing | 0104 | 0611 | | | |
| 108 ELIZABETH ST | Noncontributing | 0104 | 0630 | | | |
| 109 ELIZABETH ST | Contributing | 0104 | 0612 | | | |
| 111 ELIZABETH ST | Contributing | 0104 | 0613 | | | |
| 113 ELIZABETH ST | Contributing | 0104 | 0614 | | | |
| 114 ELIZABETH ST | Contributing | 0104 | 0628 | | | |
| 116 ELIZABETH ST | Contributing | 0104 | 0627 | | | |
| 117 ELIZABETH ST | Contributing | 0104 | 0615 | | | WI-8 |
| 202 ELIZABETH ST | Contributing | 0104 | 0624 | | | |
| 203 ELIZABETH ST | Contributing | 0104 | 0616 | | | |
| 204 ELIZABETH ST | Contributing | 0104 | 0623 | | | |
| 205 ELIZABETH ST | Contributing | 0104 | 0617 | | | |
| 206 ELIZABETH ST | | 0104 | 0622 | | | |
| 208 ELIZABETH ST | Contributing | 0104 | 0621 | | | |
| 210 ELIZABETH ST | Contributing | 0104 | 0620 | | | |
| 306 ELLEN ST | | 0107 | 0702 | | | |
| 324 ELLEN ST | Contributing | 0107 | 0706 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 305 GAY ST | Contributing | 0107 | 0796 | | | |
| 306 GAY ST | Contributing | 0107 | 0797 | | | |
| 307 GAY ST | Contributing | 0107 | 0795 | | | |
| 308 GAY ST | Contributing | 0107 | 0798 | | | |
| 309 GAY ST | Contributing | 0107 | 0794 | | | |
| 310 GAY ST | | 0107 | 0799 | | | |
| 311 GAY ST | Contributing | 0107 | 0793 | | | |
| 312 GAY ST | Contributing | 0107 | 0800 | | | |
| 313 GAY ST | Contributing | 0107 | 0792 | | | |
| 317 HAPPY LANE | | 0107 | 0730 | | | |
| 101 HIGH ST | | 0107 | 1000 | 6 | 1 | |
| 105 HIGH ST | Contributing | 0107 | 1001 | 6 | 2 | |
| 107 HIGH ST | Contributing | 0107 | 1005 | | | |
| 109 HIGH ST | Contributing | 0107 | 1006 | 6 | 4 | |
| 106 HIGH ST | Contributing | | 1003 | | | |
| 111 HIGH ST | Contributing | | 1007 | | | |
| 113 HIGH ST | | | 1008 | | | |
| 102 E ISABELLA ST | Contributing | 0107 | 0675 | | | |
| 103 E ISABELLA ST | Contributing | 0104 | 0636 | | | WI-328 |
| 104 E ISABELLA ST | Contributing | 0107 | 0674 | | | |
| 105 E ISABELLA ST | Contributing | 0104 | 0637 | | | |
| 106 E ISABELLA ST | Contributing | 0107 | 0673 | | | |
| 107 E ISABELLA ST | Contributing | 0104 | 0638 | | | |
| 108 E ISABELLA ST | Contributing | 0107 | 0672 | | | |
| 109 E ISABELLA ST | Contributing | 0104 | 0639 | | | |
| 110 E ISABELLA ST | Contributing | 0107 | 0671 | | | |
| 111 E ISABELLA ST | Contributing | 0104 | 0640 | | | |
| 112 E ISABELLA ST | Contributing | 0107 | 0670 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|--------------------|------------------------|------|--------|-------|-----|---------------|
| 113 E ISABELLA ST | Contributing | 0104 | 0641 | | | |
| 114 E ISABELLA ST | Contributing | 0107 | 0669 | | | |
| 116 E ISABELLA ST | Contributing | 0107 | 0668 | | | |
| 117 E ISABELLA ST | Contributing | 0104 | 0642 | | 2 | |
| 118 E ISABELLA ST | Contributing | 0107 | 0667 | | | |
| 119 E ISABELLA ST | Contributing | 0104 | 0643 | | | WI-245 |
| 120 E ISABELLA ST | Contributing | 0107 | 0664 | | | |
| 204 E ISABELLA ST | Contributing | 0107 | 0662 | | | |
| 205 E ISABELLA ST | Contributing | 0104 | 0648 | | | |
| 206 E ISABELLA ST | Contributing | 0107 | 0661 | | | |
| 207 E ISABELLA ST | Contributing | 0104 | 0649 | | | |
| 209 E ISABELLA ST | Contributing | 0104 | 0650 | | | |
| 210 E ISABELLA ST | Contributing | 0107 | 0660 | | | |
| 211 E ISABELLA ST | Contributing | 0104 | 0651 | | | |
| 213 E ISABELLA ST | Contributing | 0104 | 0652 | | | |
| 214 E ISABELLA ST | Contributing | 0107 | 0659 | | | |
| 215 E ISABELLA ST | Contributing | 0104 | 0653 | | | |
| 216 E ISABELLA ST | | 0107 | 0658 | | | |
| 220 E ISABELLA ST | Contributing | 0107 | 0657 | | | |
| 222 E ISABELLA ST | Contributing | 0107 | 0656 | | | |
| 104 W ISABELLA ST | Contributing | 0107 | 0976 | 3 | 6 | |
| 108 W ISABELLA ST | Contributing | 0107 | 0975 | 3 | 5 | |
| 110 W ISABELLA ST | Contributing | 0107 | 0974 | 3 | 4 | |
| 205 W ISABELLA ST | Contributing | 0104 | 0925 | | 24 | |
| 208 W ISABELLA ST | Contributing | 0106 | 0977 | | 1 | |
| LEMMON HILL LN | | | 1010 | | | |
| 305 LEMMON HILL LN | Contributing | | 1009 | | | |
| 313 LEMMON HILL LN | Contributing | | 1011 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|--------------------|------------------------|------|--------|-------|-------|---------------|
| 315 LEMMON HILL LN | Contributing | | 1012 | | | |
| 309 LESTER CT | Contributing | 0107 | 0804 | | | |
| 101 OAKDALE ROAD | Noncontributing | 0104 | 0912 | 3 | 1 2 3 | |
| 105 OAKDALE ROAD | Noncontributing | 0104 | 0913 | | | |
| 107 OAKDALE ROAD | Contributing | 0104 | 0914 | | | |
| 201 OAKDALE ROAD | Contributing | 0104 | 0915 | | | |
| 207 OAKDALE ROAD | Noncontributing | 0104 | 0916 | | 10A | |
| 208 OAKDALE ROAD | | 0104 | 0931 | | | |
| 212 OAKDALE ROAD | Noncontributing | 0104 | 0930 | | | |
| 213 OAKDALE ROAD | Noncontributing | 0104 | 0917 | | | |
| 215 OAKDALE ROAD | Contributing | 0104 | 0918 | | | |
| 219 OAKDALE ROAD | | 0104 | 0919 | | | |
| 221 OAKDALE ROAD | | 0104 | 0920 | | | |
| 223 OAKDALE ROAD | Noncontributing | 0104 | 0921 | | | |
| 225 OAKDALE ROAD | Noncontributing | 0104 | 0927 | | | |
| 300 PARK AVE | Contributing | 0106 | 0991 | 2 | 1 | |
| 302 PARK AVE | Contributing | 0106 | 0990 | 2 | 2 | |
| 303 PARK AVE | Contributing | 0107 | 0959 | 4 | 2 | |
| 304 PARK AVE | Contributing | 0106 | 0989 | 2 | 3 | |
| 305 PARK AVE | Contributing | 0107 | 0960 | 4 | 4 | |
| 306 PARK AVE | Contributing | 0106 | 0988 | 2 | 4 | |
| 307 PARK AVE | Contributing | 0107 | 0961 | 4 | 4 | |
| 308 PARK AVE | Contributing | 0106 | 0987 | 2 | 5 | |
| 309 PARK AVE | Contributing | 0107 | 0962 | | | |
| 310 PARK AVE | Contributing | 0106 | 0986 | 2 | 6 | |
| 311 PARK AVE | Contributing | 0107 | 0963 | 4 | 6 | |
| 312 PARK AVE | Contributing | 0106 | 0985 | 2 | 7 | |
| 314 PARK AVE | Contributing | 0106 | 0984 | 2 | 8 | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|---------------------|------------------------|------|--------|-------|-------|---------------|
| 315 PARK AVE | Contributing | 0107 | 0964 | | | |
| 316 PARK AVE | Contributing | 0106 | 0983 | | 4 | |
| 317 PARK AVE | Contributing | 0107 | 0965 | 4 | 8 | |
| 318 PARK AVE | Contributing | 0106 | 0982 | 2 | 10 | |
| 319 PARK AVE | Contributing | 0107 | 0966 | 4 | 9 | |
| 320 PARK AVE | Contributing | 0106 | 0981 | 2 | 11 | |
| 321 PARK AVE | Contributing | 0107 | 0967 | 4 | 10 | |
| 323 PARK AVE | Contributing | 0107 | 0968 | | 0 | |
| 400 PARK AVE | Contributing | 0106 | 0980 | 2 | 12 | |
| 402 PARK AVE | Contributing | 0106 | 0979 | 2 | 13 | |
| 403 PARK AVE | Contributing | 0107 | 0972 | 3 | 2 | |
| 405 PARK AVE | Contributing | 0107 | 0973 | 3 | 3 4 | |
| 406 PARK AVE | Contributing | 0106 | 0978 | 2 | 14 | |
| 500 PARK AVE | Contributing | 0104 | 0928 | 2 | 5 6 | |
| 504 PARK AVE | Contributing | 0104 | 0932 | | | |
| 507 PARK AVE | Contributing | 0104 | 0936 | | | |
| 508 PARK AVE | Contributing | 0104 | 0933 | | | |
| 511 PARK AVE | Contributing | 0104 | 0937 | | | |
| 513 PARK AVE | Noncontributing | 0104 | 0938 | 1 | 14 17 | |
| 519 PARK AVE | Noncontributing | 0104 | 0939 | | | |
| 106 PARSONS ST | Noncontributing | 0107 | 0807 | | | |
| 107 PARSONS ST | Contributing | 0107 | 0808 | | | |
| 108 PARSONS ST | Contributing | 0107 | 0806 | | | |
| 109 PARSONS ST | Contributing | 0107 | 0809 | | | |
| 110 PARSONS ST | Contributing | 0107 | 0803 | | | |
| 112 PARSONS ST | Contributing | 0107 | 0802 | | | |
| 114 PARSONS ST | Contributing | 0107 | 0801 | | | |
| 300 POPLAR HILL AVE | Noncontributing | 0107 | 0742 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|---------------------|------------------------|------|--------|-------|-----|---------------|
| 304 POPLAR HILL AVE | Contributing | 0107 | 0741 | | | |
| 310 POPLAR HILL AVE | Contributing | 0107 | 0782 | | | |
| 314 POPLAR HILL AVE | Contributing | 0107 | 0783 | | | |
| 316 POPLAR HILL AVE | Contributing | 0107 | 0784 | | | |
| 318 POPLAR HILL AVE | Contributing | 0107 | 0785 | | | |
| 319 POPLAR HILL AVE | Contributing | 0107 | 0718 | 3 | 9 | |
| 320 POPLAR HILL AVE | Contributing | 0107 | 0786 | | | |
| 321 POPLAR HILL AVE | | 0107 | 0717 | | | |
| 322 POPLAR HILL AVE | Contributing | 0107 | 0787 | | | |
| 323 POPLAR HILL AVE | Contributing | 0107 | 0716 | | | |
| 324 POPLAR HILL AVE | Contributing | 0107 | 0788 | | | |
| 325 POPLAR HILL AVE | | 0107 | 0715 | | | |
| 326 POPLAR HILL AVE | Contributing | 0107 | 0789 | | | |
| 327 POPLAR HILL AVE | | 0107 | 0714 | | | |
| 329 POPLAR HILL AVE | Contributing | 0107 | 0713 | | | |
| 404 POPLAR HILL AVE | Contributing | 0107 | 0687 | | | |
| 405 POPLAR HILL AVE | Contributing | 0107 | 0690 | | 3A | |
| 406 POPLAR HILL AVE | Contributing | 0107 | 0666 | | | |
| 407 POPLAR HILL AVE | Contributing | 0107 | 0689 | | 2 | |
| 408 POPLAR HILL AVE | Contributing | 0107 | 0665 | | | |
| 409 POPLAR HILL AVE | Contributing | 0107 | 0688 | | 32 | |
| 411 POPLAR HILL AVE | Contributing | 0107 | 0663 | | | WI-246 |
| 501 POPLAR HILL AVE | Contributing | 0104 | 0647 | | | |
| 504 POPLAR HILL AVE | Contributing | 0104 | 0644 | | 3 | |
| 505 POPLAR HILL AVE | Contributing | 0104 | 0646 | | | |
| 507 POPLAR HILL AVE | Contributing | 0104 | 0645 | | | |
| 508 POPLAR HILL AVE | Contributing | 0104 | 0626 | | | |
| 511 POPLAR HILL AVE | Contributing | 0104 | 0625 | | | WI-247 |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|----------------------|------------------------|------|--------|-------|-----|---------------|
| 315 E RAILROAD AVE | Contributing | 0107 | 0986 | | | |
| 416 N SALISBURY BLVD | Contributing | 0107 | 0655 | | | |
| 510 N SALISBURY BLVD | Contributing | 0104 | 0654 | | | |
| 104 WALNUT ST | | 0107 | 0771 | | | |
| 107 WALNUT ST | Contributing | 0107 | 0775 | | | |
| 108 WALNUT ST | Contributing | 0107 | 0769 | | | |
| 110 WALNUT ST | | 0107 | 0755 | | | |
| 111 WALNUT ST | Contributing | 0107 | 0776 | | | |
| 113 WALNUT ST | Contributing | 0107 | 0777 | | | |
| 114 WALNUT ST | Contributing | 0107 | 0767 | | | |
| 115 WALNUT ST | Contributing | 0107 | 0778 | | | |
| 116 WALNUT ST | Contributing | 0107 | 0766 | | | |
| 119 WALNUT ST | Contributing | 0107 | 0779 | | | |
| 200 WALNUT ST | Contributing | 0107 | 0765 | | | |
| 201 WALNUT ST | | 0107 | 0780 | | | |
| 204 WALNUT ST | Contributing | 0107 | 0764 | | | |
| 205 WALNUT ST | Contributing | 0107 | 0781 | | | |
| 206 WALNUT ST | Contributing | 0107 | 0763 | | | |
| 208 WALNUT ST | | 0107 | 0762 | | | |
| 100 E WILLIAM ST | Noncontributing | 0107 | 0814 | | | |
| 104 E WILLIAM ST | Contributing | 0107 | 0815 | | | |
| 106 E WILLIAM ST | Contributing | 0107 | 0816 | | | |
| 107 E WILLIAM ST | Contributing | 0107 | 0679 | | | |
| 108 E WILLIAM ST | Contributing | 0107 | 0817 | | | |
| 109 E WILLIAM ST | Contributing | 0107 | 0680 | | | |
| 110 E WILLIAM ST | Contributing | 0107 | 0818 | | | |
| 111 E WILLIAM ST | Contributing | 0107 | 0681 | | | |
| 112 E WILLIAM ST | Contributing | 0107 | 0819 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|------------------|------------------------|------|--------|-------|-----|---------------|
| 113 E WILLIAM ST | Noncontributing | 0107 | 0682 | | | |
| 114 E WILLIAM ST | Contributing | 0107 | 0820 | | | |
| 115 E WILLIAM ST | Contributing | 0107 | 0683 | | | |
| 200 E WILLIAM ST | Contributing | 0107 | 0791 | | | WI-106 |
| 201 E WILLIAM ST | Contributing | 0107 | 0684 | | | |
| 202 E WILLIAM ST | Contributing | 0107 | 0790 | | | |
| 203 E WILLIAM ST | Contributing | 0107 | 0685 | | | |
| 205 E WILLIAM ST | Contributing | 0107 | 0686 | | | |
| 300 E WILLIAM ST | Contributing | 0107 | 0712 | | | |
| 301 E WILLIAM ST | Contributing | 0107 | 0692 | | 29A | |
| 303 E WILLIAM ST | Contributing | 0107 | 0694 | I | 26A | |
| 304 E WILLIAM ST | Contributing | 0107 | 0711 | | | |
| 305 E WILLIAM ST | Contributing | 0107 | 0694 | I | 27B | |
| 306 E WILLIAM ST | Contributing | 0107 | 0710 | | | |
| 307 E WILLIAM ST | Contributing | 0107 | 0695 | | | |
| 308 E WILLIAM ST | Contributing | 0107 | 0709 | | | |
| 309 E WILLIAM ST | Contributing | 0107 | 0696 | | | |
| 310 E WILLIAM ST | Contributing | 0107 | 0708 | | | |
| 311 E WILLIAM ST | Contributing | 0107 | 0697 | | 3 | |
| 312 E WILLIAM ST | Contributing | 0107 | 0707 | | | |
| 102 W WILLIAM ST | Contributing | 0107 | 0971 | 4 | 14 | |
| 104 W WILLIAM ST | Contributing | 0107 | 0970 | 4 | 13 | |
| 108 W WILLIAM ST | Contributing | 0107 | 0969 | | 0 | |
| 108 WILSON ST | | 0104 | 0603 | | | |
| 120 WILSON ST | Noncontributing | 0104 | 0602 | | | |
| 122 WILSON ST | Noncontributing | 0104 | 0601 | | | |

W1-153
 NEWTOWN HD
 Salisbury Quad

SALISBURY BUSINESS REFERENCES.

Office.
 S. F. TOADYNER, Clerk of the Court.
 L. T. HUMPHREYS, Deputy Clerk.
 WILLIAM BUCKENHAM, Register of Wills.
 W. H. CATWELL, Foreman.
 JAMES GILLIES, Judge of Orphans' Court.
 RICHARD F. DARTY, Commissioner.
 SAM'L E. FOGG.

Attorneys at Law.
 LEMUEL MALONE, Attorney at Law.
 S. STAPLEY TOADYNER, " "
 J. A. PARSONS, " "
 THOMAS HUMPHREYS, " "

Carrriage and Blacksmiths.
 T. B. FERRIS, Blacksmith and Carriage-maker.
 All work promptly and neatly done. Shop on Spring Hill Ave.
 JAMES L. HENRY, Blacksmith and Wagonwright.
 Shop at his residence.

Dry Goods, Clothing and Groceries.
 JOHN WHITE, Dealer in Dry Goods, Groceries, Hardware, Cutlery, etc., No. 101 Main St.
 W. A. AND S. A. GRAM, Dealers in Cloth, Dry Goods, Groceries, etc., No. 47 Main St.
 B. L. WILLES AND SON, Wholesale and Retail Dealers in Groceries, Provisions, Teas, Coffee, Cakes, and Confectionery, etc., No. 70 Main St.
 Z. T. RAYMAN, Dealer in Groceries, Teas, Coffee, and General Merchandise. No. 84 Main St.

Editors.
 LEMUEL MALONE, Editor of the "Salisbury Advertiser."
 F. C. KELL, Editor and Publisher of the "Eastern Shoreman."

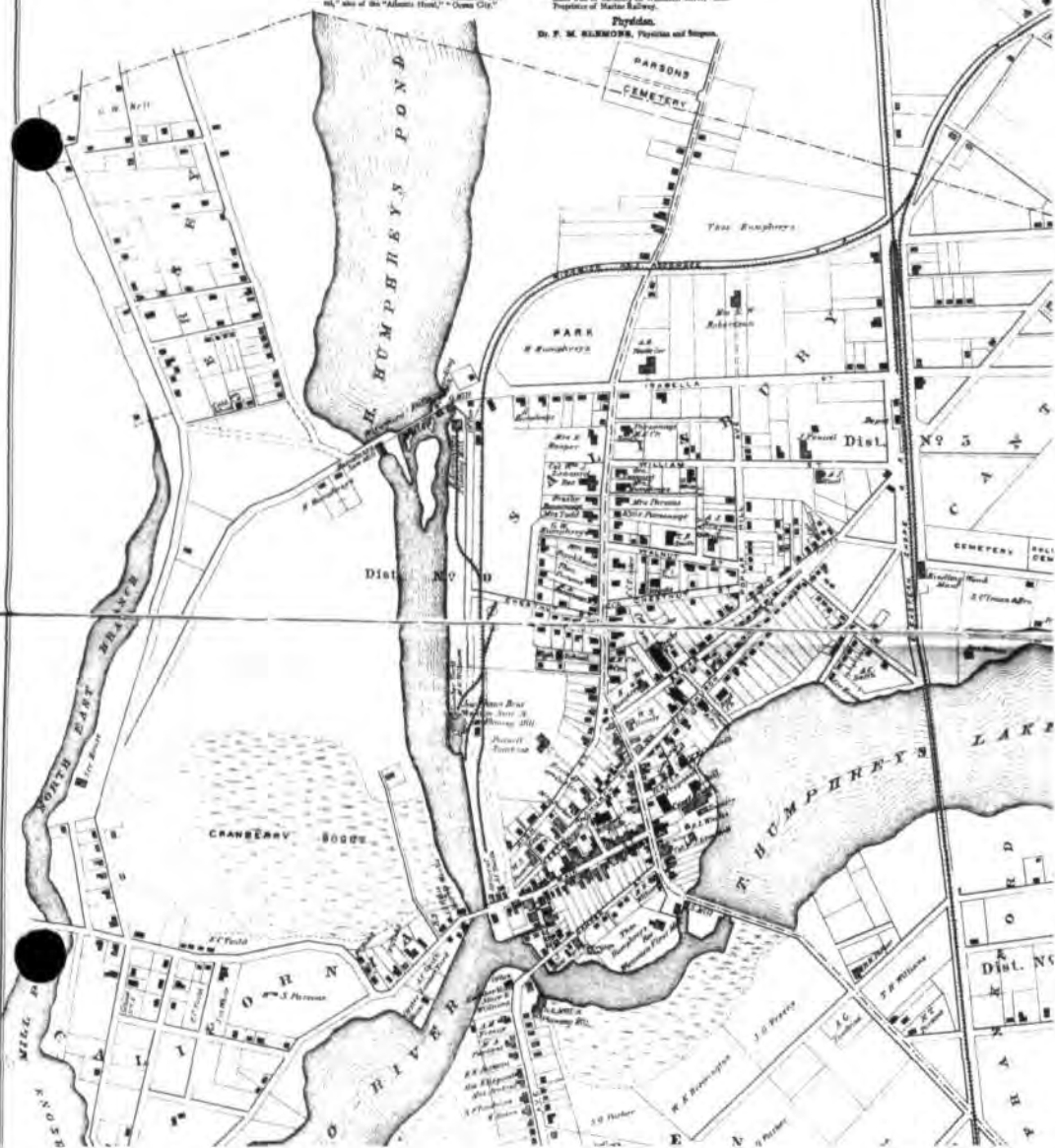
Print Dealer.
 W. H. CATWELL, Dealer in, and Printer of, all kinds of Printing. No. 101 Main St.

Hotel.
 JOHN THROTT, Proprietor of the "Falmouth Hotel," also of the "Adams Hotel," "Queen City."

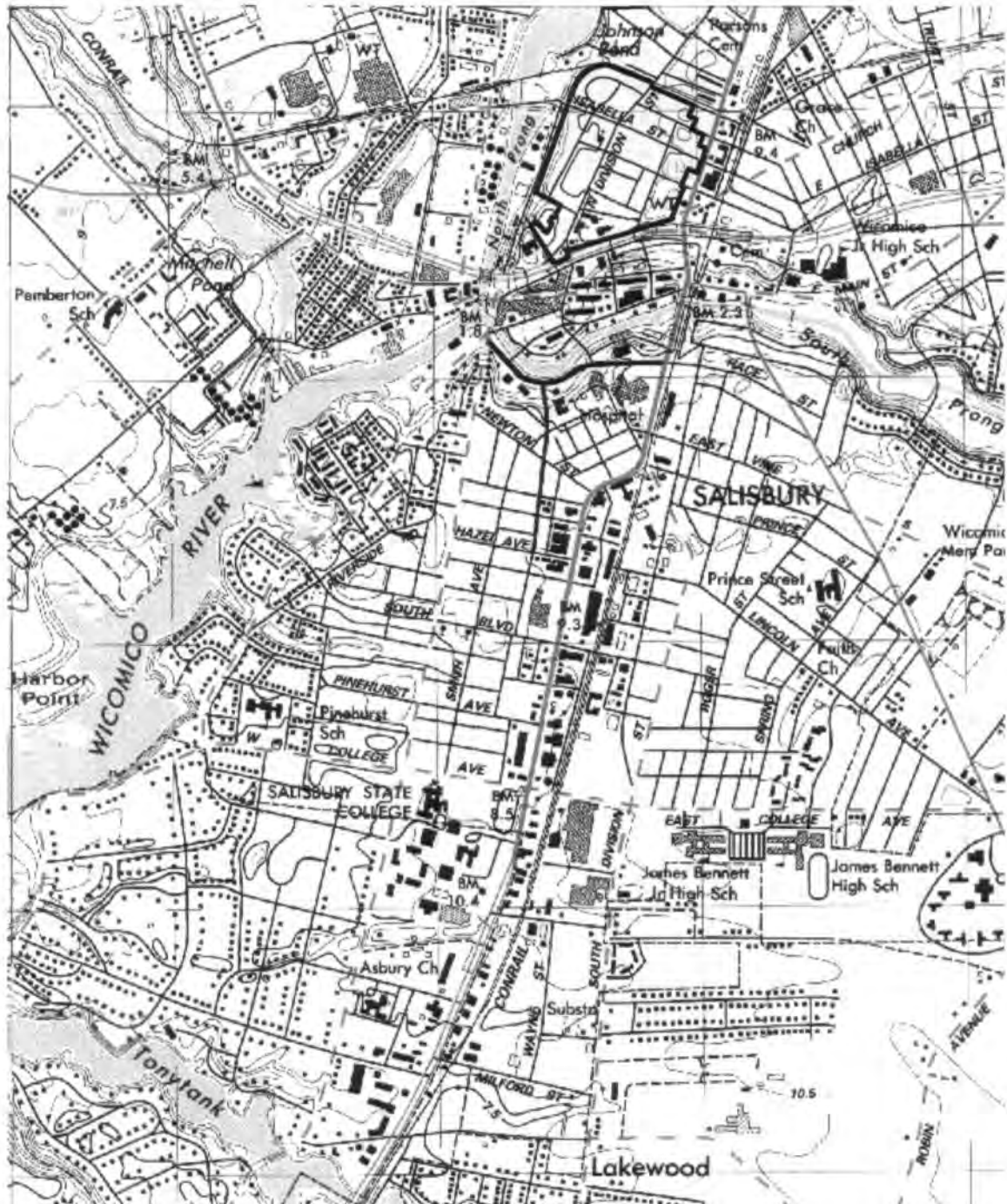
Lumber Dealers.
 A. C. SMITH AND CO., Wholesale Dealers in Lumber, Shingles, Sash, Doors, Blinds and Building Materials. Salisbury, Md.
 R. HUMPHREYS, Manufacturer of, and Wholesale and Retail Dealer in Lumber, Shingles, Sash, Doors, Blinds, etc., No. 101 Main St.
 JOHN WILLIAMS, Farmer and Proprietor of Saw and Lumber Mill, 1/2 mile north of Salisbury.
 GEO. W. HUANG, Farmer and Proprietor of "Peachy Mills," 1/2 mile north of Salisbury. No. 101 Main St.
 M. A. PARSONS, Proprietor of S. & S. Mill, 1/2 mile west of Salisbury on Wicomico River. Also Proprietor of Marine Railway.

Physician.
 Dr. F. M. ELLISON, Physician and Surgeon.

SALISBURY
 WICOMICO CO.
 Dist. N^o 95 & 8



WI-153
Newtown Historic District
Wicomico County
Salisbury Quadrangle





WI-153

West Side Park Avenue

Newtown Historic District

Wicomico Co. MD

Nicole Liermann

3/4/04

MD SHPO

Facing South

#1 of 4



W1-153

South Side W. 1st Street

Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/04

MD SHPO

Facing East

#2 of 4



WI-153

Park Avenue (500 & 507)

Newtown Historic District

Wicomico County, MD

Nicole Diehlmann

3/4/04

mt. 5000

Facing East

#3 of 4



W1-153

SE Corner of Elizabeth & Division Streets

Newtown Historic District

Wicomico Co MD

Nicole Dehlmann

3/4/2004

MD SHPO

Facing SE

#4 of 4

INTRODUCTION: A group of Salisburians 1974-5 promoted a movement to preserve the uniqueness of an old neighborhood known as Newtown. The culmination of this group's efforts was the acceptance of Ordinance #1142 by the Mayor and Council of Salisbury on Feb. 10, 1975, which created the Newtown Historic District.

The purpose of Ordinance #1142 as quoted from the Ordinance, is to "regulate the construction, alteration, reconstruction, moving and demolition of structures of historic and architectural value together with their appurtenances and environmental settings within respective specified limits. This regulation is designed to safeguard the heritage of the City by preserving districts herein which reflect elements of its cultural, social, economic, political or architectural history; to stabilize and improve the property values in such districts in the City, to foster civic beauty, to strengthen the local economy and to promote the use and preservation of such historic districts in the City for the education, welfare and pleasure of the residents of the City of Salisbury."

Ordinance #1142 also provided for the establishment of a Historic District Commission whose duty it is to carry out the purpose of the Ordinance. In Section 2 of the Ordinance under item D-3-4 "Powers and Procedures" the Commission is required to give consideration to "a, b, c, d, e and Item 4".

- "a. The historic or architectural value or significance of the structure and its relations to the historic value of the surrounding area.
 - "b. The relationship of the exterior architectural features of such structure to the rest of the structure and to the surrounding area.
 - "c. The general compatibility of exterior design, arrangement, texture and materials proposed.
 - "d. Special features in historic areas such as their architectural integrity and spatial relationships among buildings. Spatial relationships include courtyards, street patterns, scale of buildings, and open space.
 - "e. To any other factors, including aesthetic factors, which the Commission deems to be pertinent.
- "4. The Historic District Commission shall pass only on exterior features of a structure and shall not consider interior arrangement, nor shall it disapprove applications except in regard to the considerations set forth above."

The "uniqueness" which is seen and felt in the Newtown Area can be described by a statement of repetitions and continuities throughout the district which lend the character to the area which the Commission merits as important to save. This pleasing flavor consists of the sum of the following details blending with one another to form a whole, which is historically and architecturally significant for Salisbury:

1. Massive late 19th and early 20th century Victorian style houses along N. Division Street corridor with strong support from similar houses on William, Elizabeth, Walnut and Isabella Streets; a parallel corridor in intensity of Victorian houses on Park Avenue.
2. Sidewalks with large shade trees encouraging pedestrian traffic.
3. A lack of large or overlighted commercial signs.
4. The retention of residential appearance in some commercial properties.
5. Repetition of the following architectural details:
 - a. Large front porches with ballusters.
 - b. Palladian windows.
 - c. Victorian "gingerbread" trim.
 - d. Colored glass windows.
 - e. Diagonal and diamond shaped pane windows.
 - f. Beveled, leaded glass windows.
 - g. East lake carving motif.
 - h. Decorative cornices, brackets, and corner boards or pilasters.
 - i. Shaped shingles i.e.; fish scale, diamond saw tooth.
 - j. Shuttered windows.
 - k. Towers, cupolas, balconies.
 - l. Predominance of clapboard.

These specific details in addition to considerations mandated by the Ordinance were used as criteria to form a classification system for Newtown properties.

COMMISSION'S SURVEY

The Commission surveyed in February 1976 each property in the Newtown area. The findings have been classified and recorded. The information, with a picture of the property, is recorded on 3 x 5 cards in a file held by the Commission. The survey will be used in future identification of properties

be used to provide the landmark list mentioned in Section V of Salisbury Historic District Commission, Rules and Regulations. The landmark list itemizes those properties which should be protected for their historical or architectural merit. Other graphic materials, i.e. maps will be composed from this information to show growth, change, or comparisons. WI-153

CLASSIFICATION CATEGORIES

Each property has been classified according to the following categories. A coding system is used in order to abbreviate the information.

The classification categories are:

- A. Street and House No. (No abbreviations)
- B. Style of House-indicate height and materials, type

Abbreviations:

| | |
|-----------------------|-------------------|
| Clapboard = CB | 1 Story = 1S |
| Aluminum Siding = Al | 2 Story = 2S |
| Asbestos Shingle = AS | 3 Story = 3S |
| Wood Shingle = WS | With Attic = W/A |
| Brick = B | |
| Stucco = Stu | Victorian = Vict. |
| Asphalt Shingle = Asp | Colonial = Col. |
| Formstone = F | Rancher = Ran. |

- C. Approximate Date (No abbreviation)

- D. Use

Abbreviations:

Apartment = Apt
Single family = SF
Commercial = Com
Duplex = Dup
Public = Public

- E. Condition

#1 = Sound, recently painted or renovated.

#2 = Fair, needs paint and some repair.

#3 = Poor condition needs extensive repair and paint. Deteriorated.

- F. Rating Historical/Architectural

A = Must be retained, historically significant and/or exhibits many architectural details listed above and is a superior example of a period in architectural development.

B = Should be preserved, represents good example of development and style, exhibits some details from above lists and supports the environ visually by size, shape or materials.

C = Houses or buildings adjoining A or B properties and should be judged with considerable thought.

WI-153

D = Should be judged most leniently, has no significance architecturally or historically, lacks close proximity to A or B houses, or is deteriorated beyond reasonable or economic restoration.

G. House has had structural exterior modification since being built (porch removed, siding changed, trim removed, addition, etc.)

Abbreviation:

m = modified

um = unmodified.

H. General Comment: Any further piece of information which would be worthy of consideration, pertaining to history, structure, preservation or modification. Empty lots would be described in this space.

An example of the classification and coding system would be as follows for Poplar Hill Mansion:

Elizabeth 115/2S W/A CB Col./1800/Public/#1/A/m

General Comment: This house is registered with Maryland Historic Trust and is the oldest home in Newtown. Modifications have been made to front porch and removal of old kitchen.

It is the hope of the Historic District Commission that these criteria and classifications will assist in preserving the charm, character and prosperity of the Newtown District for the benefit of Salisbury's residents and posterity.

2Sw/a/WS&AL/1910 Vict/SF/
2/B/M

2Sw/a/CB/1915 Vict/SF/1/
B/UM

2Sw/a/CB/1904 Vict/Apt/1
B/M Comment: This was the
home of Capt. Robert G. Evans
of Nanticoke, 1916 rear house
added.

2Sw/a/CB/1900 Vict/SF/1/B
UM

2S/CB/1930 Dutch Col./SF/
1/C/UM

2Sw/a/CB/1898/Apts/1/B/M

2Sw/a/CB/1800 Georgian/
Pub/1/AA/M Comment: "Poplar
Hill Mansion" the oldest house
in the City of Salisbury.
Front porch and rear kitchen
area modified owned by City of
Salisbury & maintained by the
"Friends of Poplar. Restored
1975-76 by Wicomico County.

2S w/a/AL/1905 Vict/SF/2/B
M

2S w/a/AS/1910/Apts/2/C/M

2S/CB/1920/P/T/D/UM
2S/B/1920/SF/2/D/UM
1S/B/1970/COM/I/D/UM

WI-153

1S/WS(Red)/1930/COW/1/D/UM

1S/Cinder Block/1970/COM/
D/UM

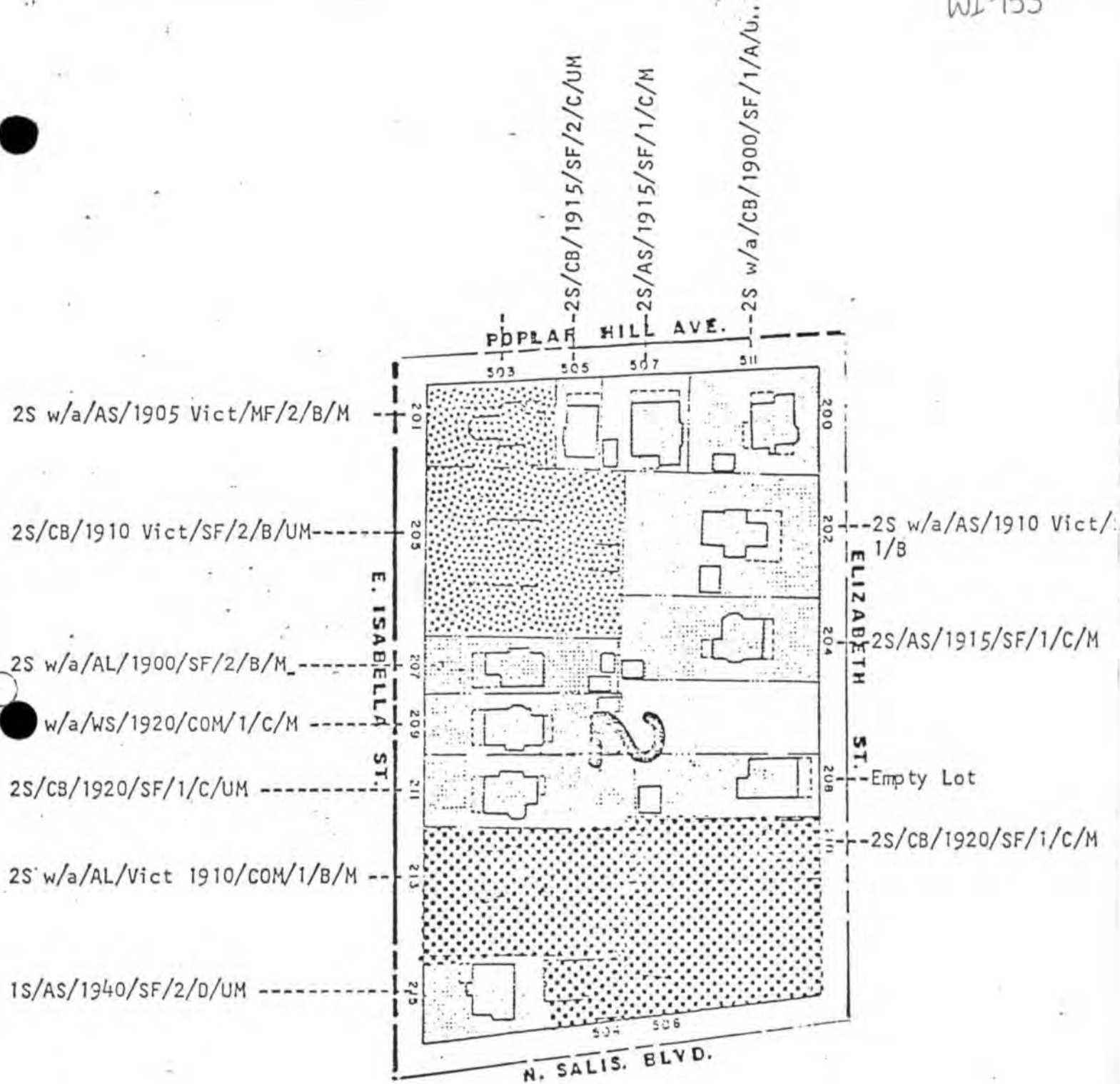
1S/B&AL/1970/COM/1/D/UM

Poplar Mansion Back Yard

Truck Parking Lot

1S/B/1965/1st National Bank/1/D/M
Comment: "C" rating is given as
this corner is an entrance to Historic
District and consideration should be gi

N. SALIS. BLVD.



2S w/a/CB/1895 Vict. Queen Anne
1/A+/UM-----

2S w/a/B/1930/1/C/UM-----

3S/CB/Vict Greek Revival/SF/
1870/1/A+/UM-----

Comment: Excellent example of
"Steamboat" Victoriana seen a
long Mississippi River.

2S w/a/CB/Vict/1900/SF/1/B/UM

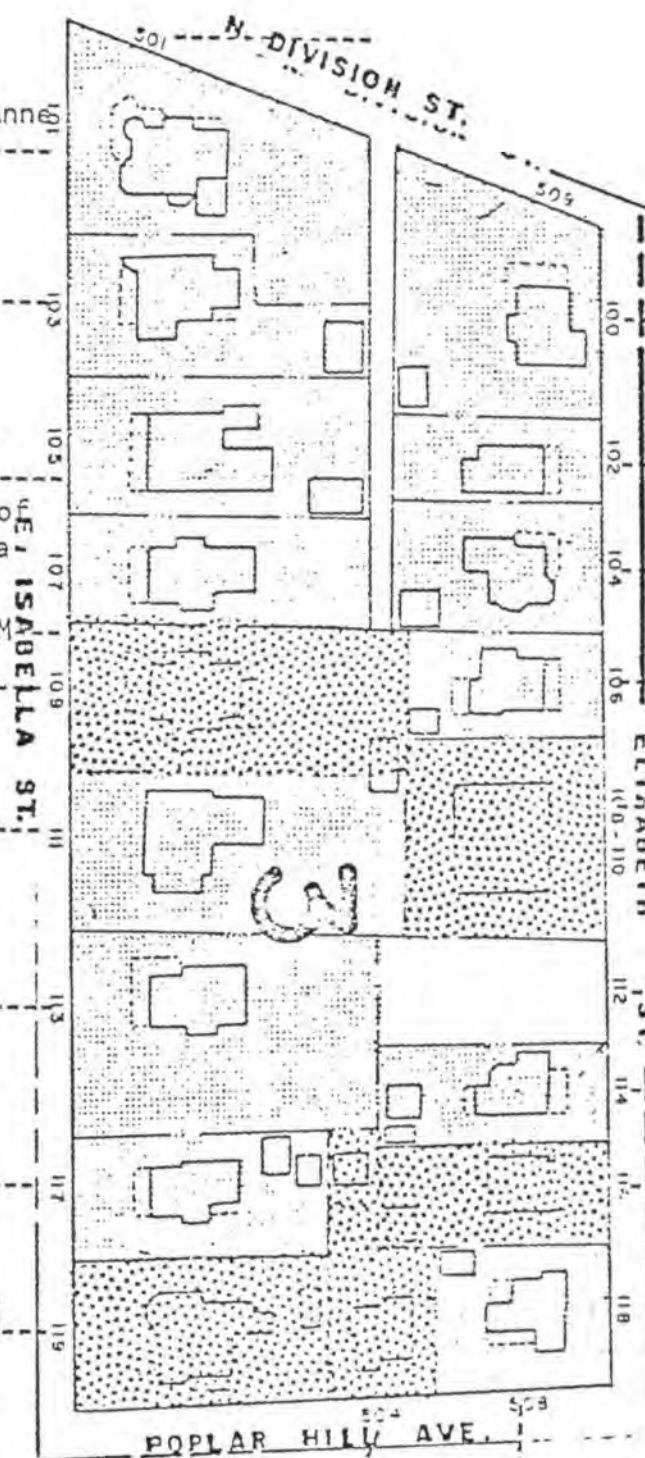
2S w/a/AL/Vict/1900/MF/2/A/M-----

2S/CB/1940 Col./SF/1/C/UM-----

2S w/a/AS/1895 Vict/SF/1/A/M-----

2S w/a/CB/Vict 1900/SF/1/B/M-----

2S w/a/CB/Vict 1895/MF/1/A/UM-----



1S w/a/WS&CL/Cottage
1890/SF/1/A/M Comment:
is only example of C
Victoria in neighbor

2S w/a/CB/Vict 1920/

2S w/a/CB/1906/SF/1/A
Comment: Built by Ma

2S w/a/AS/1915/SF/2/C/

2S w/a/BR&AL/MF/1/D/U
ment: These apts. are
ly out of scale and rhy
with the block.

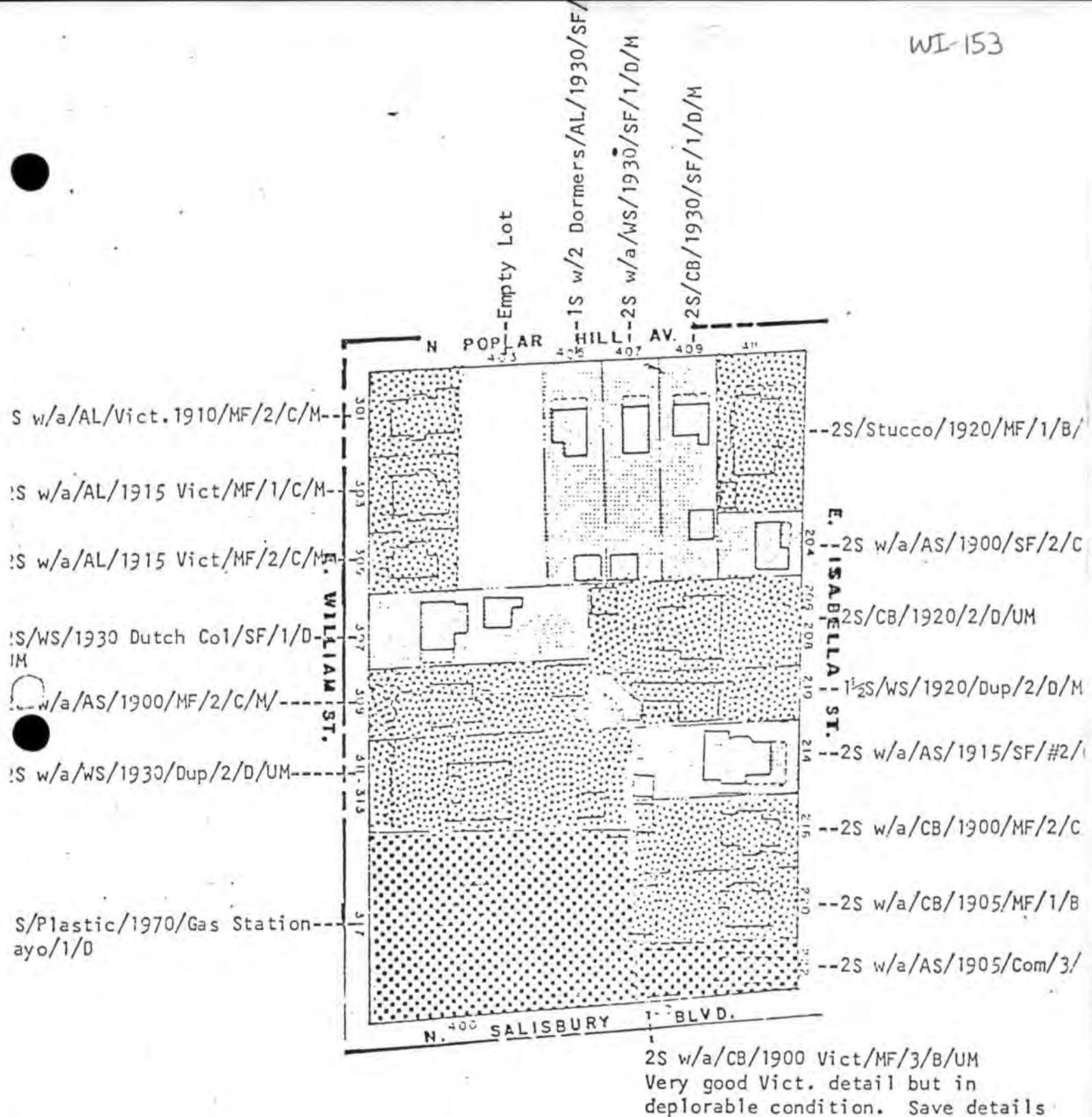
Empty lot

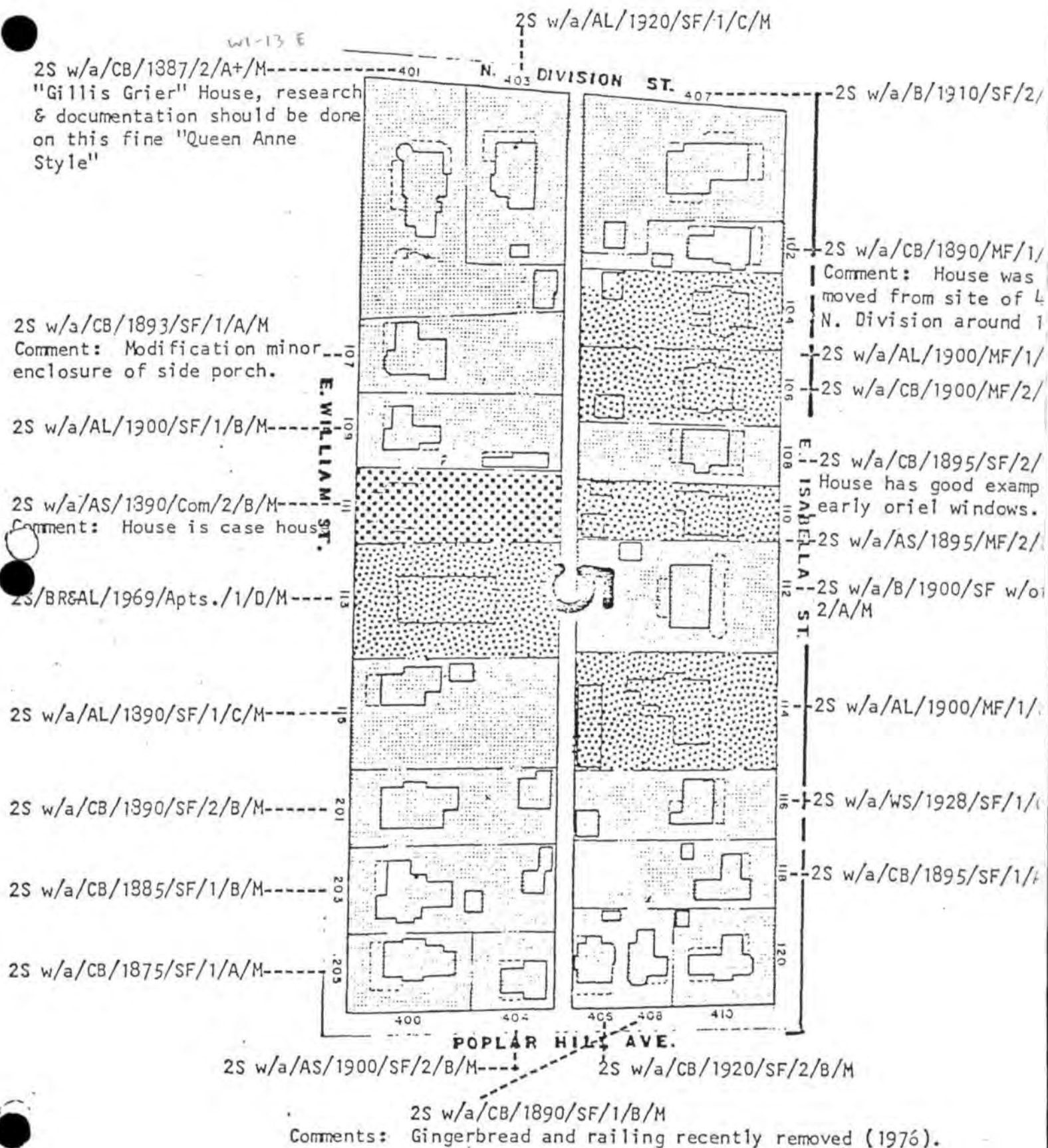
2S w/a/AS/1910/SF/1/C/M

2S w/a/AS/1910/MF/1/C/M

2S w/a/CB/Vict 1910/MF/2/A/M
Comment: This house has many
good details and owner should
be encouraged into good restor-
ation.

2S w/a/CB/Vict 1901/SF/1/B/M





3S/CB/1850/SF/1/A/M/
 Comment: Modification enclosed 2nd floor porch.

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AS/1890/Apt/2/C/M

2S w/a/CB/1910/2F/2/B/M/Comment:
 AS rear
 2S w/a/CB/?/Wic. Historic Society Museum/1/B/UM

2S w/a/CB/1910/SF/2/B/UM

2S w/a/CB/1910/SF/1/2/M

w/a/CB/1900-?/
 rding.Home/1/B/
 ment: Nice
 trim.

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

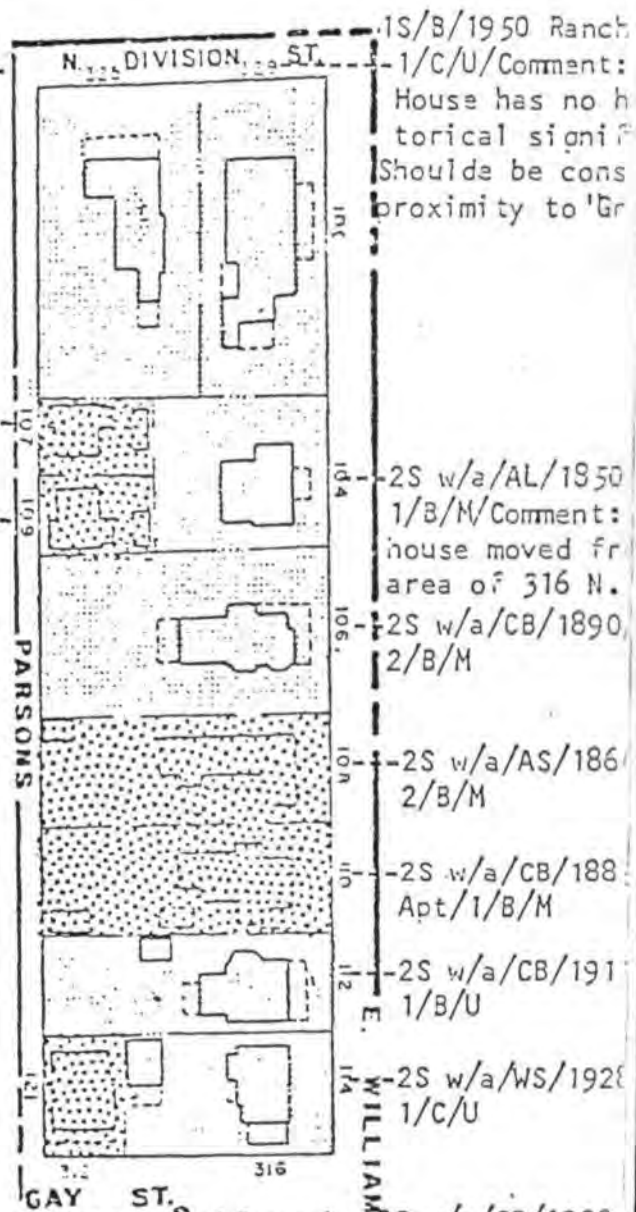
2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M



1S/B/1950 Ranch
 1/C/U/Comment:
 House has no h
 torical signif
 Should be cons
 proximity to 'Gr

2S w/a/AL/1950
 1/B/M/Comment:
 house moved fr
 area of 316 N.

2S w/a/CB/1890/
 2/B/M

2S w/a/AS/186/
 2/B/M

2S w/a/CB/188/
 Apt/1/B/M

2S w/a/CB/191/
 1/B/U

2S w/a/WS/1926/
 1/C/U

2S w/a/CB/1900/
 2/B/UM

2S w/a/AS/188/
 1/A/M

2S w/a/AS/191/
 2F/1/C/M

2S w/a/AS/?/
 Multi-
 Fam/1/2/C/M

2S w/a/AS/1900/SF/2/
 C/M

2S w/a/AS/1900/SF/
 A/C/M/Vict. Window

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1910/SF/
 2/C/M

2S w/a/AS/1900+ Vict Col/Apt/2/C/M-
Comment: Mansard Front Roof

2S w/a/AS&WS/1900 Vict. trans/Apt/-
1/F

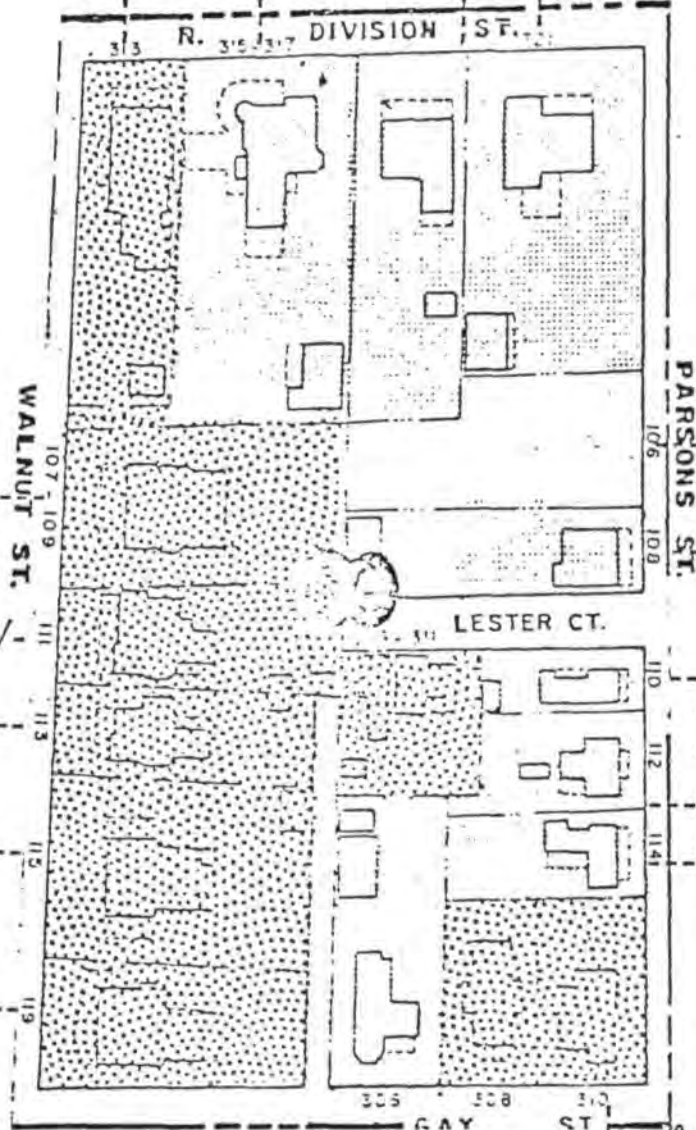
2S w/a/AL-slate/1905+/Apt/2/B/M-----

2S w/a/AL/1935 Col./Dup/1/C/UM-----

2S w/a/AS&WS/1900/Apt/2/B/M-----

309 Lester Ct. 2S w/a/AS/1910+/-/SF/3/D/M

311 Lester Ct. 2S/AS/1870+/-/SF/3/B/M



2S w/a/AL/1876/Apts/1
Comment: Example of r
which destroyed all g
Architectural feature

2S w/a/AL&CB/Fed. Vic
1897/SF/1/A/M House
in 3 sections, has ma
details of Vict. Outb
org. barn & carriage

2S w/a/CB&Slate/1920'
1/B/U

1S w/a/CB&WS/1900+SF/
Comment: Outstanding
of shingle work.

Private garden to

2S w/a/WS/1930+/S
Comment: House hi
large garages in l

2 w/a/AS/1905/SF/
Comment: House ex
sively modified.

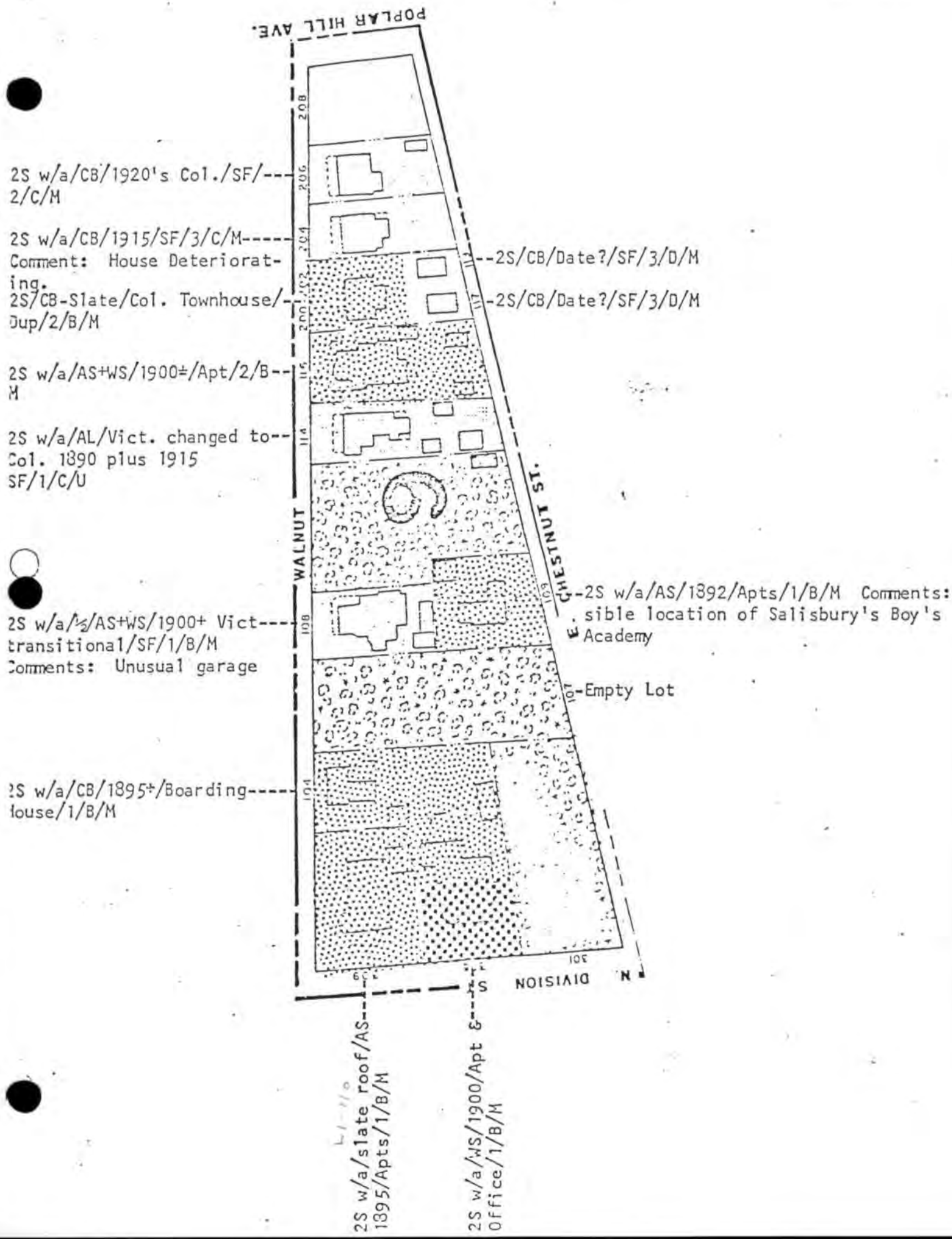
2S w/a/AS/1910+/SI

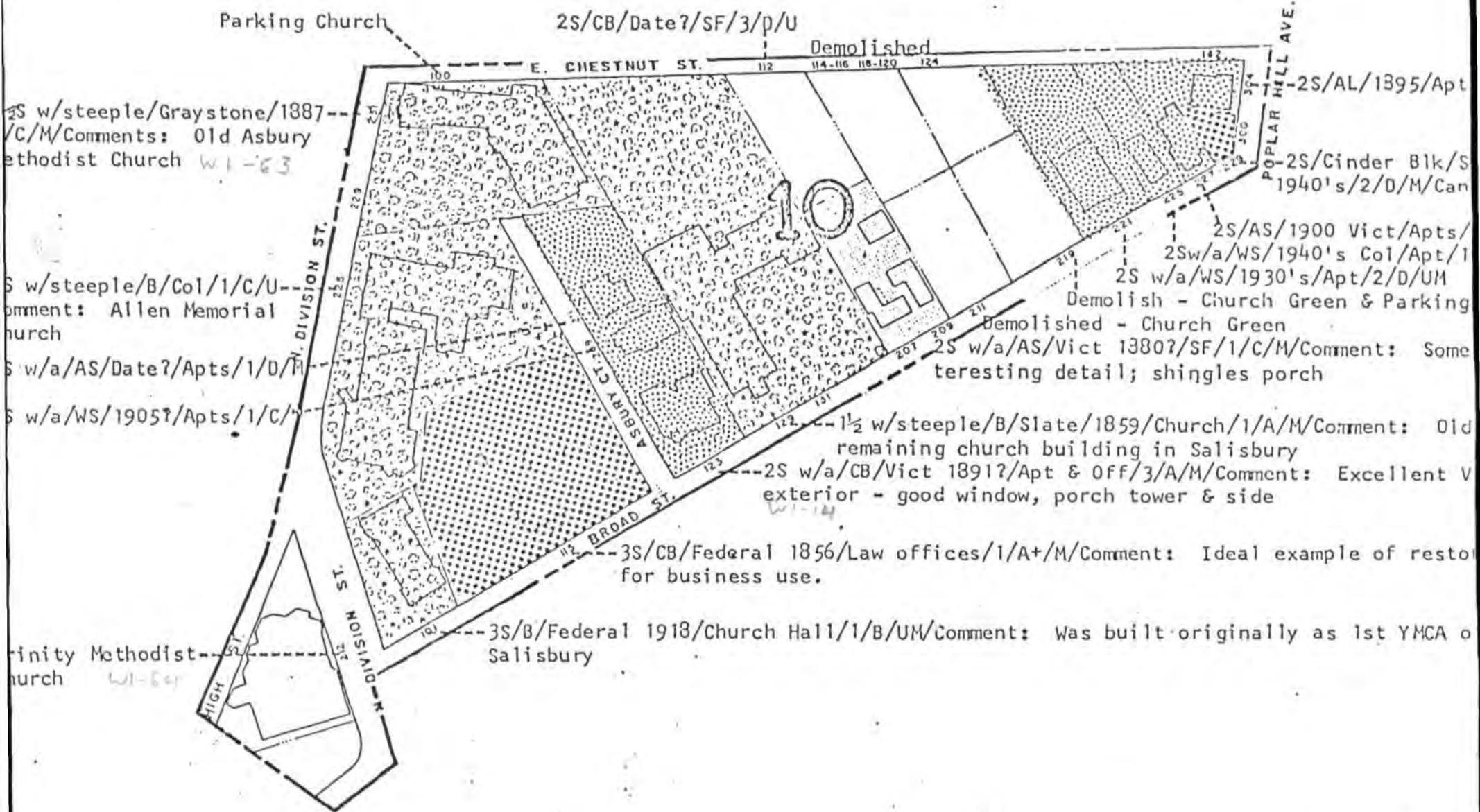
2S w/a/

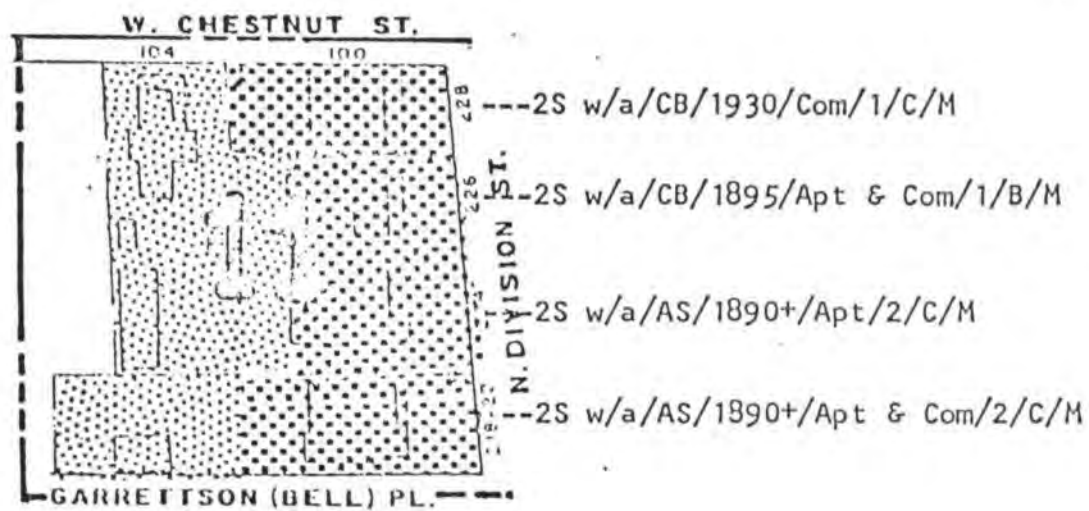
2S w/a/AS-slate/1895/SF/1/B/M-----

2S w/a/AS/1890's/Apt/3+/D/M/Com-
t: condition and environs of
this house are deplorable.

2S w/a/AS/1890's/Apt/2/D/M-----
Comments: This house has exten-
sive modification & it's surrounds
always appear unkempt.







WF-153

2S w/a/CB/1910/SF/1/B/U

2S w/a/CB/1910/SF/1/C/M

W. WILLIAM ST.

S w/a/AL & AS/1900/Apt/1/M

S w/a/CB & WS/1890/Apt/2/B/
Comment: House has good
lect. trim.

S w/a/B/1905/SF/1/B/M

S w/a/CB/1907/SF/1/B/M

S w/a/CB/1895/Apt/1/B/M
Comment: House has nice
curtains

S w/a/CB/1900/Apt/2/C/M

S w/a/AS/1890/Apt/1/B/M

S w/a/AL/Date?/Apt/1/D/M

S w/a/CB/1900/SF/1/B/U
Comment: House has oriel
nice stain glass windowsS w/a/AS/1900+/Apt/2/C/M
Comment: House needs paint
and gutters ('76)S w/a/AS/1900/SF/1/C/M
Comment: House has been
extensively modified-2S w/a/B/1909/SF/1/B/
"Holloway House"

-2S w/a/CB/1920/SF/1/B/

-2S w/a/AS/1980/Apt/1/E

-2S w/a/AS/1880/SF/1/B/

-2S w/a/CB/1880/SF/SF/1
Comment: This house is
most unusual in style &
appears to have some 18th
century characteristics

-2S w/a/B/1926/SF/1/

Empty Lot

-2S w/a/B/1900/SF/1/A

-3S/Stu/1940/Apt/1/D/U

-3S/ASP/1870/Apt/2/B/
Comment: House is ve
poorly modified alumi
siding placed May '77

-1S w/a/AS/1930-40/SF/

-2S w/a/AS/1880/SF/1/A

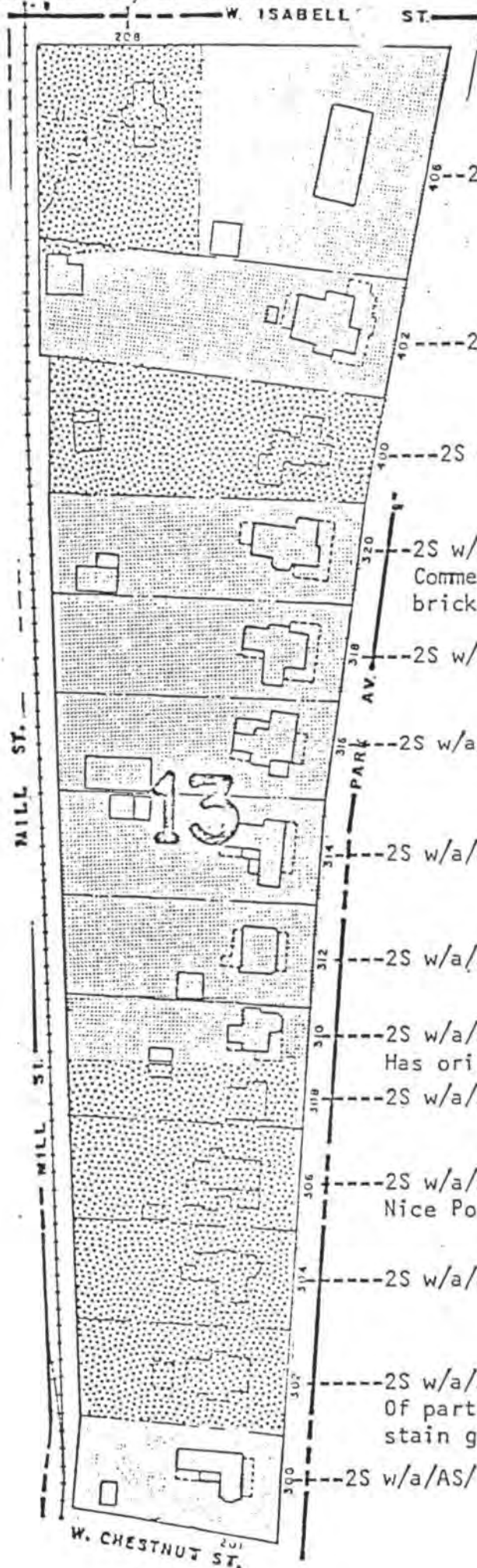
-1S w/a/CB/1890/SF/1/E

2S w/a/WS/1930/SF/1/D/M

W. CHESTNUT ST.

2S w/a/AS/1930/SF/1/D/M





106--2S w/a/B/1920/SF/1/B/U

102--2S w/a/B/1890/SF/1/B/M

400--2S w/a/AL/1890?/Apt/1/A/M

320--2S w/a/AL/1890/SF/1/B/M
Comment: House has handsome
brick Foundation

318--2S w/a/AL/1895?/SF/1/B/M

316--2S w/a/AS/1860?/SF/1/B/M

314--2S w/a/AL/1850/SF/1/B/M

312--2S w/a/AS/1895/SF/2/B/M

310--2S w/a/AS/1880/SF/2/B/M/Comment
Has original slate roof

308--2S w/a/AS/1925/Apt/1/C/M

306--2S w/a/AS/1850/Apt/1/B/M/Comment
Nice Porch Trim

304--2S w/a/AS/1900/Apt/1/B/M

302--2S w/a/AS/1882/Apt/1/B/M/Comment
Of particular note porch rail,
stain glass, top peak detail

300--2S w/a/AS/1891/SF/1/B/M

1/WS/1930/SF/2/C/U-----
1/AL/1380/Apts/2/B/W/Comment:
House has many good Vict. Features.
Could be restored.



-2S w/a/CB/1380/SF/1/B/

2S w/a/WS/1880/SF/14
-Comment: House was
inally Clapboard, Por
added and made close
ground.

-2S w/a/AL/1900/SF/1/

2S w/a/WS/1325/SF/1/C/U

-25 w/steeples/Stone/1922/Bethesda Chur

-2S w/a/AS/1395/Com/1/A/M (Church House)

25 w/a/AL/1385/Apt/1/A/M

1S/B/1935/SF/1/D/U

1S/B/1930/SF/1/D/U

2S w/a/WS/1925/1/D/U

2S w/a/B/1930/SF/1/D/UM

2S w/a/WS/1936/SF/1/D/UM

2S w/a/WS/1945/SF/1/D/U

1S/B/1950/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

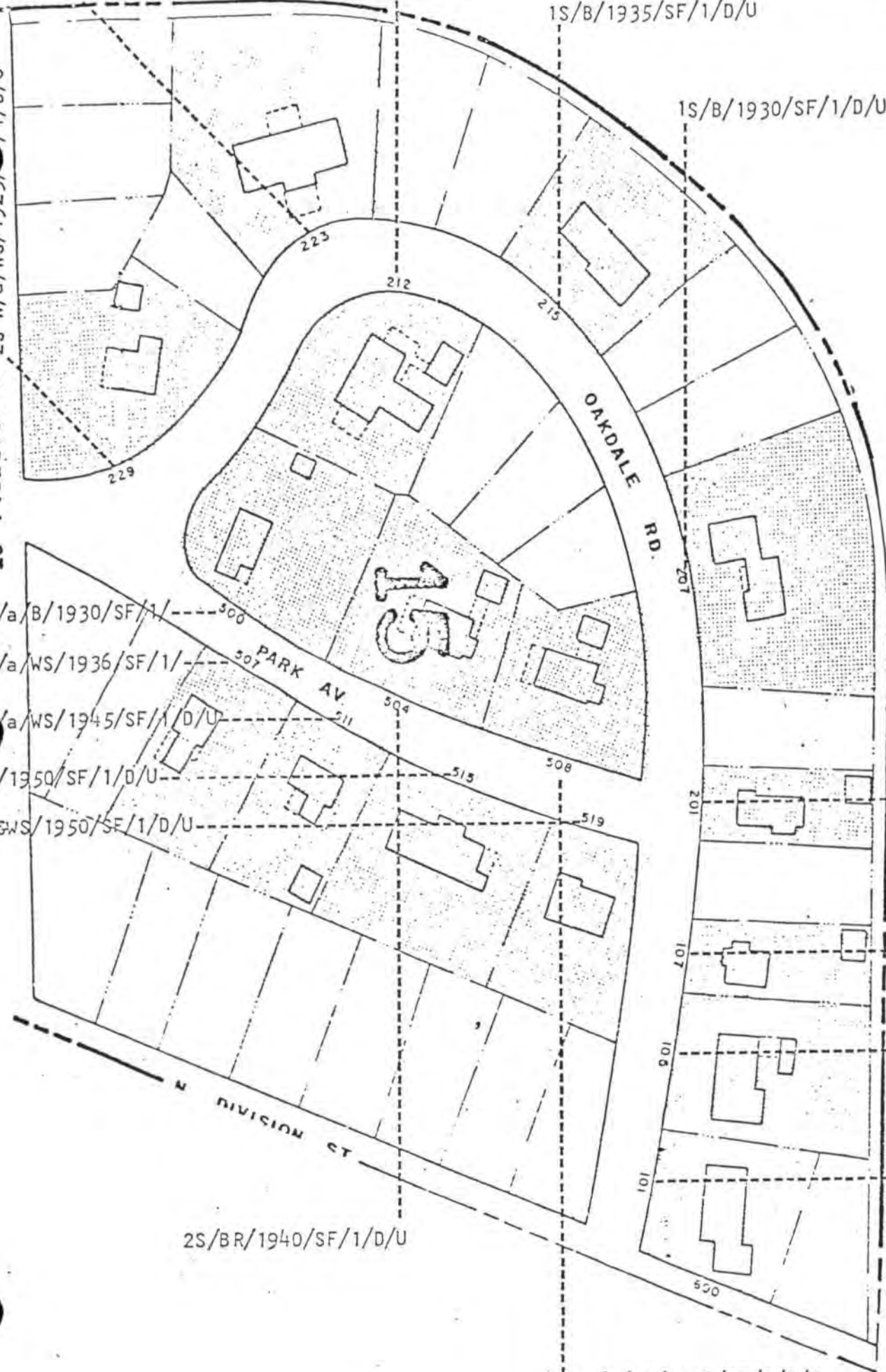
2S w/a/CB/1950/SF/1/D/UM

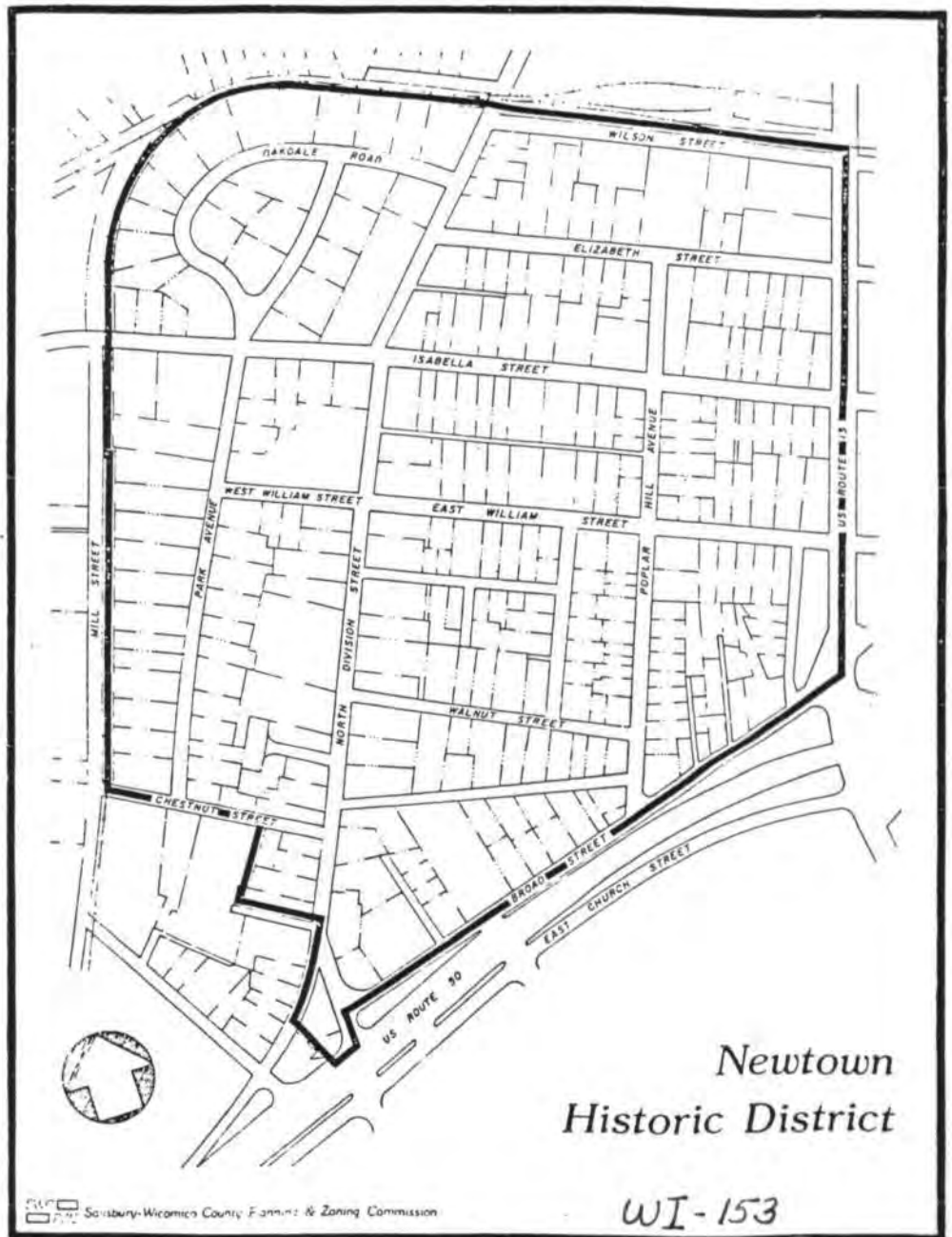
1S/B&AL/1950/SF/1/D/U

B&AL/1970/SF/1/D/U

2S/BR/1940/SF/1/D/U

2S w/a/WS/1936/SF/1/D/U

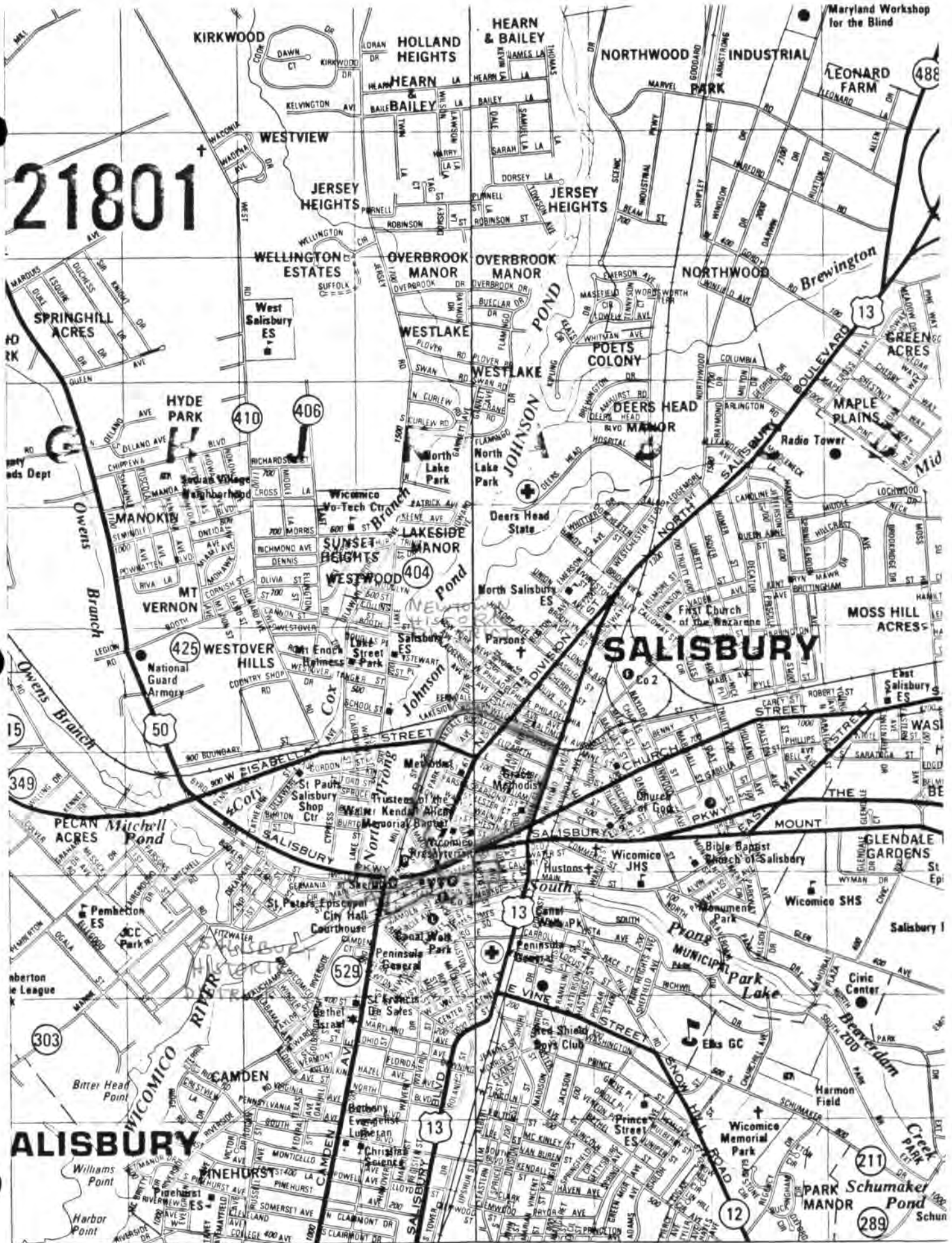




Map 2/23/83

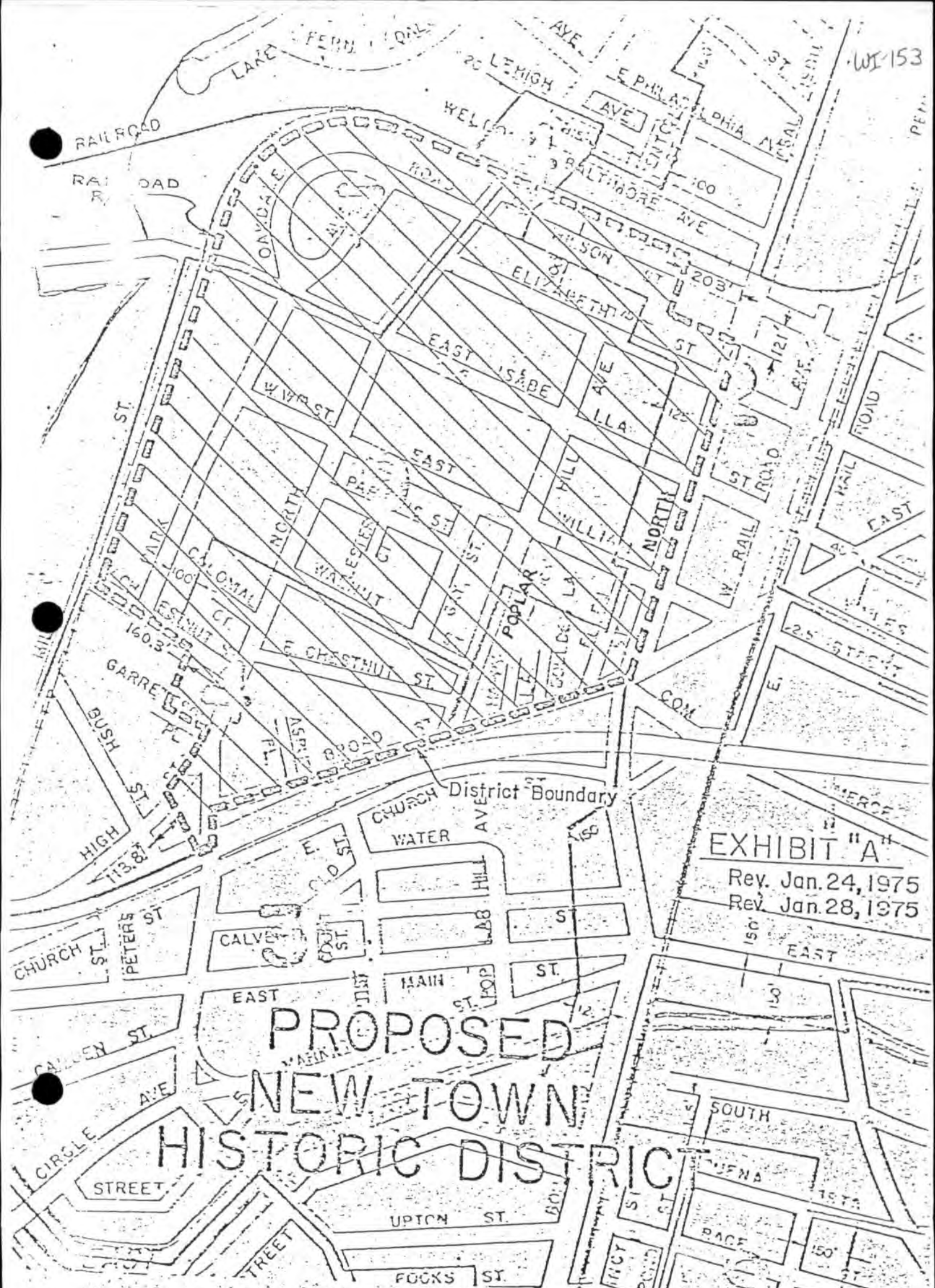
10 11 83

21801



WI-153 Newtown Historic District





boundaries of which shall be established in accordance with the appropriate provisions of the Zoning Regulations of the City of Salisbury as amended from time to time.

- b. As used herein the term "structure" means a combination of material to form a construction that is stable; including among other things, buildings, stadiums, reviewing stands, platforms,

Real Property Data Search ()

Search Result for WICOMICO COUNTY

View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Number:District - 09 Account Identifier - 046836

Owner Information

Owner Name:HEALTHPORT INC

Use:EXEMPT

Mailing Address:208 E MAIN ST
SALISBURY MD 21801-

Principal Residence:NO

Deed Reference:/05489/ 00129

Location & Structure Information

Premises Address:226 N DIVISION ST
SALISBURY 21801-0000

Legal Description:BL-5 L-2 5,460 SQFT
226 N DIVISION ST
CITY OF SALIS

| | | | | | | | | | |
|-----------|-------|---------|---------------|--------------|----------|--------|------|------------------|----------|
| Map: | Grid: | Parcel: | Neighborhood: | Subdivision: | Section: | Block: | Lot: | Assessment Year: | Plat No: |
| 0107 | 0008 | 0997 | 9030380.23 | 0000 | | | | 2025 | |
| Plat Ref: | | | | | | | | | |

Town: SALISBURY

| | | | | |
|-------------------------|-------------------------|------------------------|--------------------|------------|
| Primary Structure Built | Above Grade Living Area | Finished Basement Area | Property Land Area | County Use |
| 1920 | 4,215 SF | | 5,460 SF | |

| | | | | | | | |
|---------|----------|---------------|----------|---------|----------------|--------|-----------------------------------|
| Stories | Basement | Type | Exterior | Quality | Full/Half Bath | Garage | Last Notice of Major Improvements |
| 2 1/2 | YES | STANDARD UNIT | / | 3 | 3 full/ 2 half | | |

Value Information

| | | | | |
|--------------------|------------|------------|----------------------|------------|
| | Base Value | Value | Phase-in Assessments | |
| | | As of | As of | As of |
| | | 01/01/2025 | 07/01/2024 | 07/01/2025 |
| Land: | 15,900 | 15,900 | | |
| Improvements | 279,200 | 338,600 | | |
| Total: | 295,100 | 354,500 | 295,100 | 314,900 |
| Preferential Land: | 0 | 0 | | |

Transfer Information

| | | |
|--------------------------------|----------------------|------------|
| Seller: LOWER SHORE CLINIC INC | Date: 01/02/2025 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: /05489/ 00129 | Deed2: |

| | | |
|--------------------------------|----------------------|------------------|
| Seller: LEONARD A KRAUS CO INC | Date: 02/08/2022 | Price: \$339,900 |
| Type: ARMS LENGTH IMPROVED | Deed1: /05038/ 00337 | Deed2: |

| | | |
|-------------------------------|----------------------|------------|
| Seller: KRAUS DEVELOPMENT LLC | Date: 03/30/2021 | Price: \$0 |
| Type: NON-ARMS LENGTH OTHER | Deed1: /04822/ 00111 | Deed2: |

Exemption Information

| | | | |
|-----------------------------|-------|-----------------------|-----------------------|
| Partial Exempt Assessments: | Class | 07/01/2024 | 07/01/2025 |
| County: | 860 | 295,100.00 | 314,900.00 |
| State: | 860 | 295,100.00 | 314,900.00 |
| Municipal: | 860 | 295,100.00 314,900.00 | 295,100.00 314,900.00 |

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date:

Salisbury Historic District Commission

Hearing Notification

| | |
|----------------------------------|--|
| Hearing Date: | April 23, 2025 |
| Time: | 7:00 pm |
| Location: | Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 306 |
| Case Number: | #25-04 |
| Commission Considering: | Alterations – Fence installation |
| Owner's Name: | Patrick J. & Casey B. Benzin |
| Applicant Name: | Patrick Benzin |
| Agent/Contractor: | N/A |
| Subject Property Address: | 709 Camden Ave Salisbury, MD 21801 |
| Historic District: | Camden Historic District |
| Use Category: | Residential |
| Chairman: | Mr. Scott Saxman |
| HDC Staff contact: | Jennifer Jean Associate Planner (410) 548-3170 |

Salisbury Historic District Commission

125 N. Division Street
Room 304
Salisbury, MD 21801
(410) 548-3170 / fax (410) 548-3107

Permit Application

\$150 Fee Received _____ (date)

Date Submitted: ~~10-21-14~~ 3-11-25

Date Accepted as Complete: _____

Subject Location: 709 CAMDEN AVE

Application by: Patrick Benzin

Applicant Address: 709 CAMDEN

Applicant Phone: _____

Case #: _____

Action Required By (45 days): _____

Owner Name: _____

Owner Address: _____

Owner Phone: _____

Owner Email: _____

Work Involves: ☐ Alterations ☐ New Construction ☐ Addition ☒ Other New Wood Fence
☐ Demolition ☐ Sign ☐ Awning Estimated Cost 2500 #

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

I want to build a fence to match the other fence that I built
The fence that I built has already been approved by the historic
District Commission

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ☐ Yes ☒ No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ☐ Yes ☒ No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historical Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on _____ (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature Patrick Benzin

Date ~~10-21-14~~ 3-11-25

Application Processor (Date)

Secretary, S.H.D.C. (Date)

Patrick Benzin

pjbenzin@gmail.com

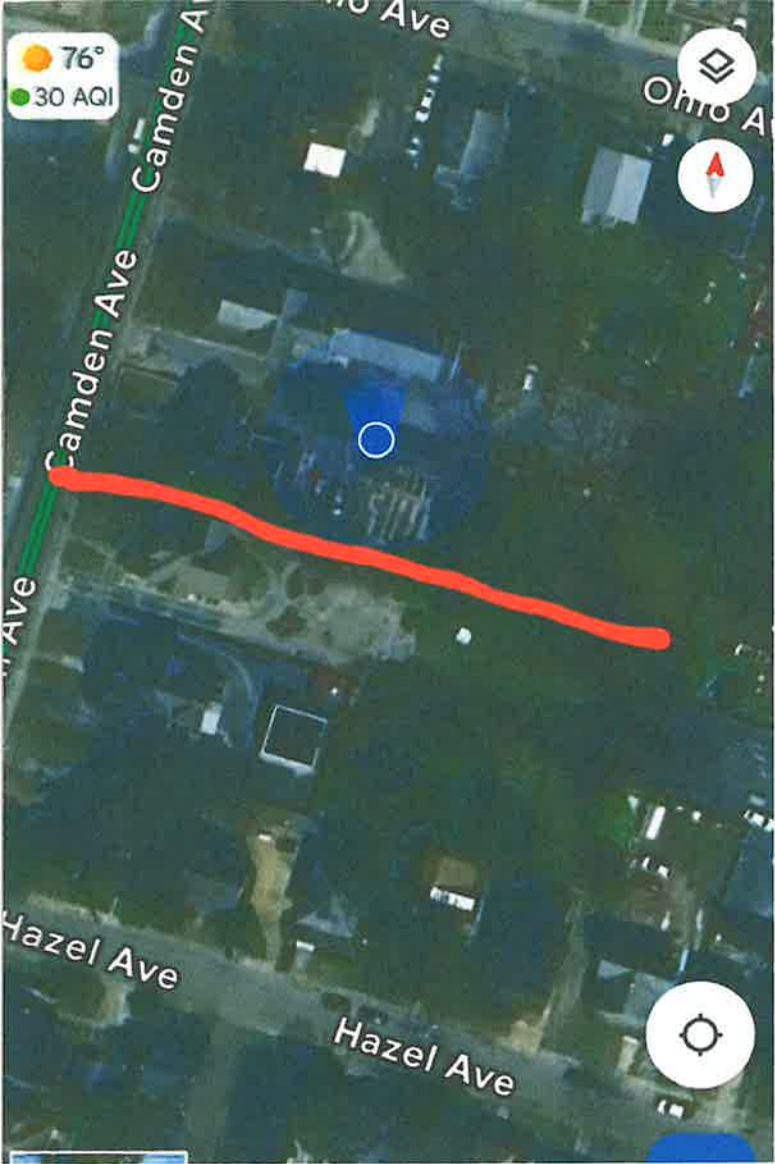
410-251-1628

Licensed and Insured

Veteran Owned

Good fences make good neighbors.









707



709





Back Yard Fence



Approved SHDC
Fence Installation



Front of Property



Rear of Property





View from rear of property











Existing fence in
brown

Most recent
fence installation
ends here





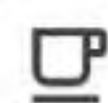
Search here



Home



Restaurants



Coffee



709

Fence will be installed here

711



Explore



You



Contribute



Business



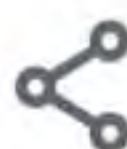


Salisbury Lowe's >
2217 Available



Purchased 11 times
Last purchased Jan 20, 2025

BEST SELLER




Severe Weather 5/8-in x 5-1/2-in x 6-ft
Pressure Treated Southern yellow pine Dog
ear Fence Picket

 Garden Center Aisle 6 • Bay 1

— | 1 | +

 Add to Cart


Shop


Quotes


Cart


Wallet


Accou...



Salisbury Lowe's >
1027 Available



Purchased 4 times
Last purchased Aug 8, 2024

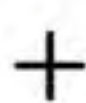


Severe Weather 4-in x 4-in x 8-ft 2 Southern
yellow pine Ground contact Pressure
Treated Lumber

 Aisle 53 • Bay 1




1



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Shop


Quotes


Cart


Wallet


Accou...

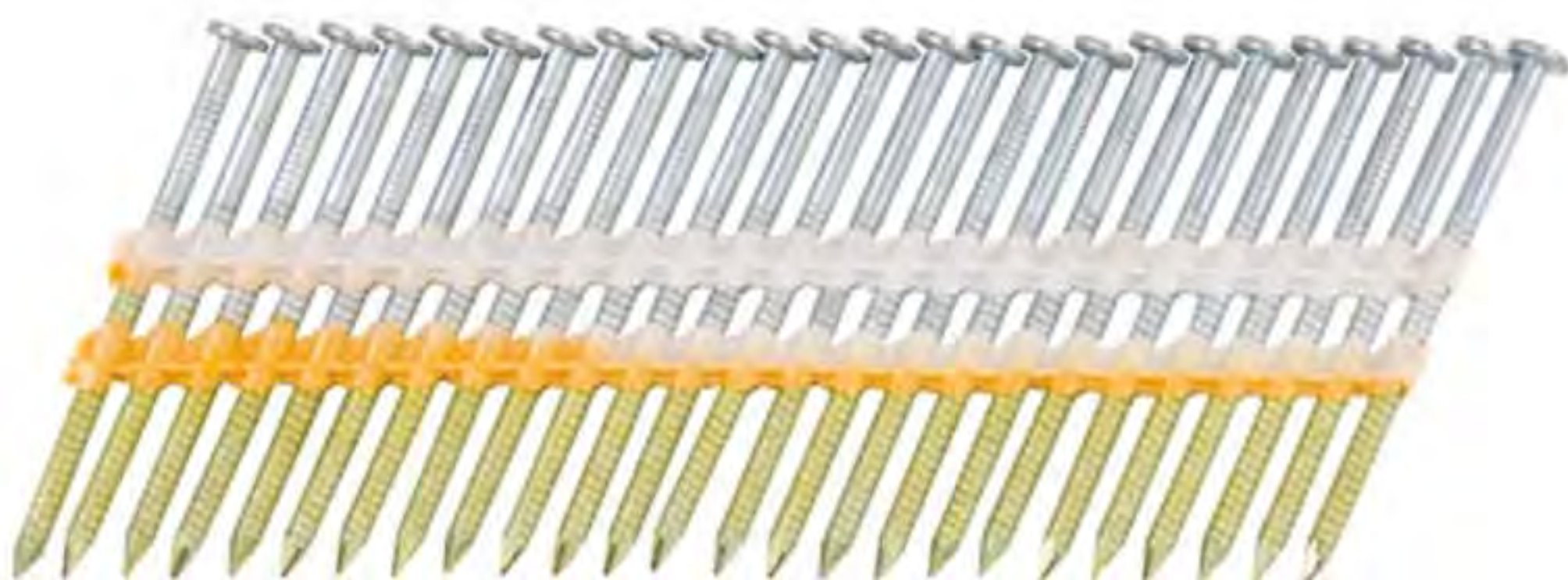


Salisbury Lowe's >
33 Available



Purchased 10 times
Last purchased Jan 28, 2025

BEST SELLER



Metabo HPT 2-in x 0.113-Inches 21
-Degree Hot-dipped galvanized Ring Shank
Collated Framing nails (1000 -Per Box)

Aisle 61 • Bay 30

—

1

+

Add to Cart

Shop

Quotes

Cart

Wallet

Accou...

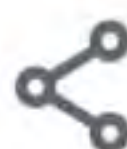


Salisbury Lowe's >
448 Available



Purchased 5 times

Last purchased Jan 20, 2025



Severe Weather 2-in x 4-in x 10-ft 2 Prime
Southern yellow pine Above ground
Pressure Treated Lumber

 Aisle 53 • Bay 1

—

1

+

 Add to Cart


Shop


Quotes

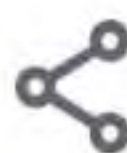

Cart


Wallet


Accou...



Salisbury Lowe's >
1237 Available



Sakrete High-Strength 60 Pound(s) High strength Concrete mix

[Aisle 23 • Bay 12 >](#)

100k+ bought last week

\$5.18

—

1

+

Add to Cart

Shop

Quotes

Cart

Wallet

Accou...

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of April 23, 2025

| | |
|--|--|
| Case Number: | #25-04 |
| Commission Considering: | Alterations – Fence installation |
| Owner Name: | Patrick J. & Casey B. Benzin |
| Owners Address: | 709 Camden Ave Salisbury, MD 21804 |
| Applicant Name: | Patrick Benzin |
| Applicant's Address: | same as owner |
| Agent/Contractor: | N/A |
| Subject Property Address: | Same as owner |
| Historic District: | Camden Historic District |
| Use Category: | Residential |
| Zoning Classification: | R10 - Residential |
| Structure / Site Description: | |
| Built Date: | 1900 |
| Enclosed Area: | 2,488 sq. ft. (SDAT Real Property Database) |
| Lot Size: | 17,760 sq. ft. (SDAT Real Property Database) |
| Number of Stories: | 2 |
| Contributing Structure: | Yes |
| Wicomico County Historic Survey on file: | Yes; WI-552, John S Adkins House |
| Nearby Properties on County Survey: | Yes |
| Properties included below but not limited to: | |
| | <ul style="list-style-type: none">• WI-485 Olivia C. Oliphant• WI-529 Holmes Home, Trinity M. E. Church Parsonage |

Explanation of Request: The applicant is seeking approval to install a wood fence.

Areas of Historic Guidelines to be considered:

UNIVERSAL GUIDELINES

Guideline 34: Fences, Retaining Walls, and Gates

- a. Maintain and preserve existing historic fences.
- b. When replacement is necessary, in-kind replacements are the first choice. A simple fence in a style that compliments the surrounding architecture may also be appropriate.
- c. Designs for new fences must be complimentary to the surrounding architecture, and must comply with existing zoning code.
- d. Automatic security gates may be permitted, provided they are properly located and comply with existing zoning requirements. They must be appropriate to the design of any existing fence or the style of the historic building.

Best Choice:

Maintaining, repairing, or restoring an existing historic picket fence.
Installing a new picket fence, similar in style to other properties on the street.

Good Alternative:

Replacing a historic fence that is beyond repair with a new fence that matches the historic fence as closely as possible.
Installing a new steel or aluminum fence with a simple design and finish that is complimentary to the property and streetscape.

Not Appropriate:

Replacing a historic fence with incongruous materials, such as chainlink or concrete block, or constructing a new fence of non-historic, incongruous materials.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review and make determinations on all applications to construct, alter, reconstruct, move or demolish a site or structure within a Historic District whenever “*exterior changes are involved which would affect the historic archeological, or architectural significance of a site or structure, any portion of which is visible or intended to be visible from a public way.*” In reviewing an application and plans, the Commission should consider review criteria, and may decide as to which of said Criteria are applicable.

Staff Findings Prepared By: Jennifer Jean
Infrastructure and Development
125 N Division Street, Suite 304
Salisbury, MD 21801
(410) 548-3170

Date: December 5, 2024

WI-552

Camden Historic District (a.k.a. Newton)

Architectural Survey File

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 08-29-2003

**MARYLAND HISTORICAL TRUST
NR-ELIGIBILITY REVIEW FORM**

NR Eligible: yes ☒
no ☐

Property Name: Camden Historic District (aka Newton) Inventory Number: WI-552

Address: _____ City: Salisbury Zip Code: _____

County: Wicomico USGS Topographic Map: Salisbury Quad

Owner: _____

Tax Parcel Number: _____ Tax Map Number: _____ Tax Account ID Number: _____

Project: _____ Agency: _____

Site visit by MHT Staff: ☐ no ☒ yes Name: Andrew Lewis/Michael Day Date: 03/23/01

Eligibility recommended ☒ Eligibility not recommended ☐

Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G ☐ None

Is the property located within a historic district? ☐ no ☐ yes Name of district: _____

Is district listed? ☐ no ☐ yes Determined eligible? ☐ no ☐ yes District Inventory Number: WI-552

Documentation on the property/district is presented in:

Description of Property and Eligibility Determination: (Use continuation sheet if necessary and attach map and photo)

The Camden Historic District (aka the Newton-Camden Historic District) is a local historic district composed of homes of a wide variety of architectural styles. According to information contained in the Wicomico survey files, the district was determined eligible by "Lukenbach & Andreve" on April 17, 1986, but no copy of the DOE form could be found. Nevertheless, the district contains numerous homes with a great deal of integrity and the earlier determination of eligibility still appears valid. Architectural styles represented within the district include Colonial Revival, Queen Anne and other Victorian styles. The City of Salisbury specifically identifies some of the homes in the area to be of "great historical value to the community". These homes include "the Humphrey House, Red Gables and the house known as "Cricket Box"". The City Ordinance establishing the district also included the following findings:

- Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18th Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.
- The Camden area was the location of the first known sanitary sewer installed in 1887 to serve the L.W. Gunby and William P. Jackson homes on Camden Avenue.
- After the fire of 1886, City Board of Commissioners established a series of ordinances which included maintaining sidewalks in front of properties and establishing the rights of way of various streets. Among the first streets subject to improvement of widening and straightening in 1887 under this law was Camden Street, now Camden Avenue.

| | |
|---|--|
| MARYLAND HISTORICAL TRUST REVIEW | |
| Eligibility recommended <input checked="" type="checkbox"/> | Eligibility not recommended <input type="checkbox"/> |
| Criteria: <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> C <input type="checkbox"/> D | Considerations: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> None |
| Comments: _____ | |
| <u>Andrew Lewis</u> Reviewer, Office of Preservation Services | <u>05/02/01</u> Date |
| <u>[Signature]</u> Reviewer, NR program | <u>5/2/01</u> Date |

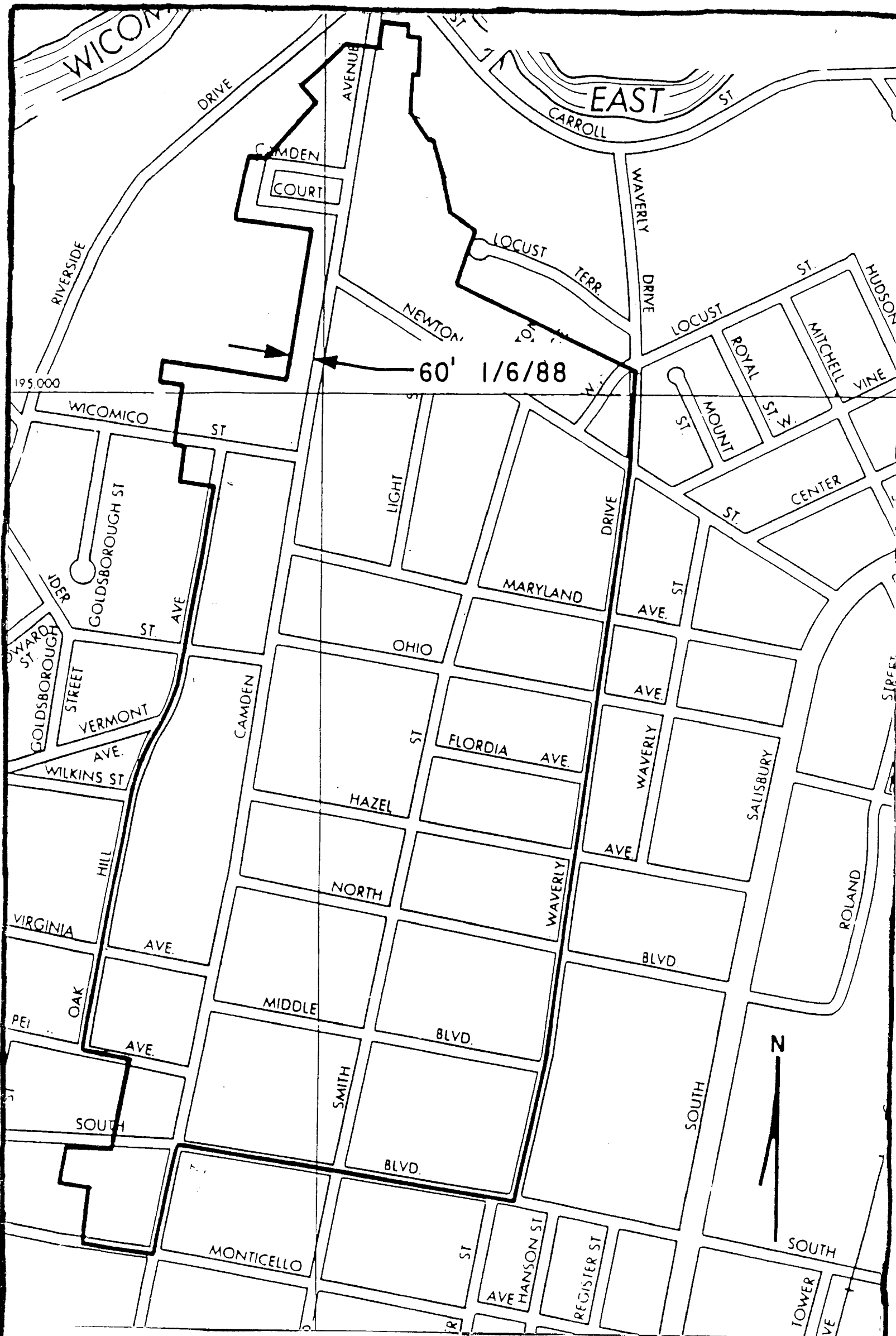
**MARYLAND HISTORICAL TRUST
NR-ELIBILITY REVIEW FORM**

Camden Historic District (WI-552)
Continuation Sheet No. 1

- The town's first development laws were enacted in 1892 and involved the Camden area. Only structures of brick, stone or iron with slate roofs or other non-combustible materials were permitted.
- Salisbury's first row homes were constructed in the area now known as Camden Court.
- The first planned residential development in Salisbury was centered around what is now North, South and Middle Boulevards in 1908.
- The 1909, L. W. Gunby, a resident of Camden, and Salisbury Auto Company opened the first automotive sales and service facility on Camden Avenue.
- In 1910, Frank W. Baysinger provided the City of Salisbury with its first taxi service from his garage on Camden Avenue.
- In 1890, the Jackson family constructed one of the most elegant homes built in the Camden area. This stylish example of architecture was beyond the scope of anything previously built in the City. Due to lack of regulations protecting such an architectural legacy, the home was demolished.
- The Newton Jackson home on the corner of Camden and Newton Street remains as a historic reminder of the City's past.
- The Gunby home at 507 Camden Avenue, built about 1830 and renovated in the 1880's, was the home of the founder of the William B. Tilghman Fertilizer Company.
- The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.
- The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.
- On the northeast corner of Newton and Camden, a residence now used as an office by an accountant has been declared one of the oldest residences in Salisbury and shown on 1877 maps.
- The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

Prepared by: Andrew Lewis

Date Prepared: 05/02/01



Newton-Camden Historic District

WI - 552



**MARYLAND HISTORICAL TRUST
NR-ELIGIBILITY REVIEW FORM**

NR Eligible: yes X
no _____

Property Name: Camden Historic District (aka Ne Inventory Number: WI-552

Address: _____ City: Salisbury Zip Code: _____

County: Wicomico USGS Topographic Map: Salisbury

Owner: _____

Tax Parcel #: _____ Tax parcel Map Number: _____ Tax Account ID Number: _____

Project: _____ Agency: _____

Site visit by MHT staff X no _____ yes Name: Andrew Lewis/ Date: 03/23/2001

Eligibility recommended X Eligibility not recommended _____

Criteria: X A X B X C _____ D Considerations: _____ A _____ B _____ C _____ D _____ E _____ F _____ G _____ None

Is the property located within a historic district? _____ no _____ yes Name of District: _____

Is district listed? _____ no _____ yes District Inventory Number: _____

Documentation on the property/district is presented in:

Description of Property and Eligibility Determination: *(Use continuation sheet if necessary and attach map and photo)*

The Camden Historic District (aka the Newton-Camden Historic District) is a local historic district composed of homes of a wide variety of architectural styles. According to information contained in the Wicomico survey files, the district was determined eligible by "Lukenbach & Andreve" on April 17, 1986, but no copy of the DOE form could be found. Nevertheless, the district contains numerous homes with a great deal of integrity and the earlier determination of eligibility still appears valid. Architectural styles represented within the district include Colonial Revival, Queen Anne and other Victorian styles. The City of Salisbury specifically identifies some of the homes in the area to be of "great historical value to the community". These homes include "the Humphrey House, Red Gables and the house known as "Cricket Box"". The City Ordinance establishing the district also included the following findings:

Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X Eligibility not recommended _____

Criteria X A X B X C _____ D Considerations _____ A _____ B _____ C _____ D _____ E _____ F _____ G _____ None

MHT Comments:

C. Andrew Lewis

May 02, 2001

Reviewer, Office of Preservation Services

Date

Peter Kurtze

May 02, 2001

Reviewer, NR Program

Date

NR-ELIGIBILITY REVIEW FORM

- Camden Historic District (aka Newton)

Page 2

1. Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18th Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.

2. The Camden area was the location of the first known sanitary sewer installed in 1887 to serve the L.W. Gunby and William P. Jackson homes on Camden Avenue.

3 After the fire of 1886, City Board of Commissioners established a series of ordinances which included maintaining sidewalks in front of properties and establishing the rights of way of various streets. Among the first streets subject to improvement of widening and straightening in 1887 under this law was Camden Street, now Camden Avenue.

4 The town's first development laws were enacted in 1892 and involved the Camden area. Only structures of brick, stone or iron with slate roofs or other non-combustible materials were permitted.

5 Salisbury's first row homes were constructed in the area now known as Camden Court.

6 The first planned residential development in Salisbury was centered around what is now North, South and Middle Boulevards in 1908.

7 The 1909, L. W. Gunby, a resident of Camden, and Salisbury Auto Company opened the first automotive sales and service facility on Camden Avenue.

8 In 1910, Frank W. Baysinger provided the City of Salisbury with its first taxi service from his garage on Camden Avenue.

9 In 1890, the Jackson family constructed one of the most elegant homes built in the Camden area. This stylish example of architecture was beyond the scope of anything previously built in the City. Due to lack of regulations protecting such an architectural legacy, the home was demolished.

10 The Newton Jackson home on the corner of Camden and Newton Street remains as a historic reminder of the City's past.

11 The Gunby home at 507 Camden Avenue, built about 1830 and renovated in the 1880's, was the home of the founder of the William B. Tilghman Fertilizer Company.

Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X Eligibility not recommended

Criteria X A B X C D Considerations A B C D E F G None

MHT Comments:

C. Andrew Lewis

May 02, 2001

Reviewer, Office of Preservation Services

Date

Peter Kurtze

May 02, 2001

Reviewer, NR Program

Date

Camden Historic District (aka Newton)

Page 3

12 The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.

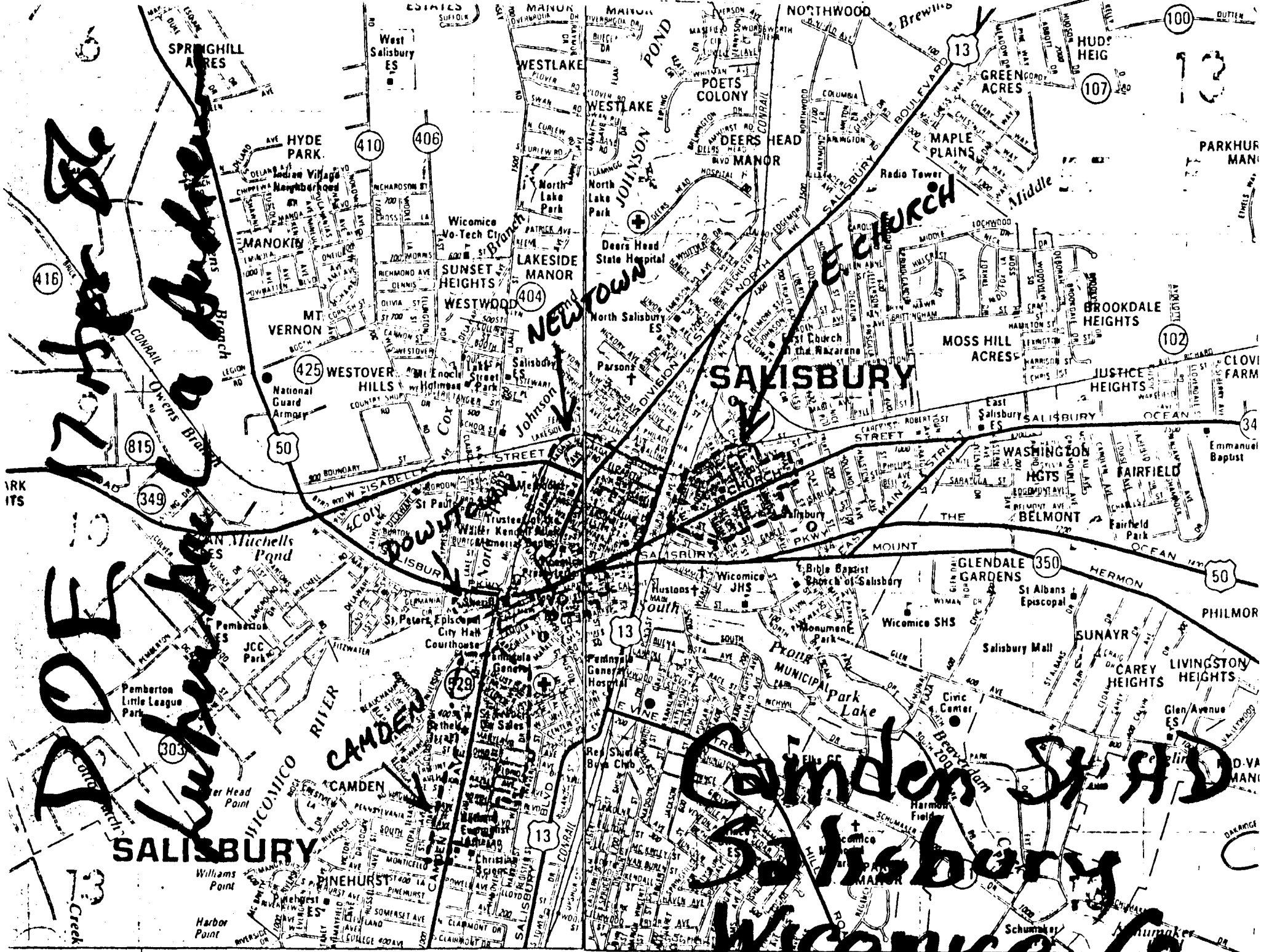
13 The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.

14 On the northeast corner of Newton and Camden, a residence now used as an office by an accountant has been declared one of the oldest residences in Salisbury and shown on 1877 maps.

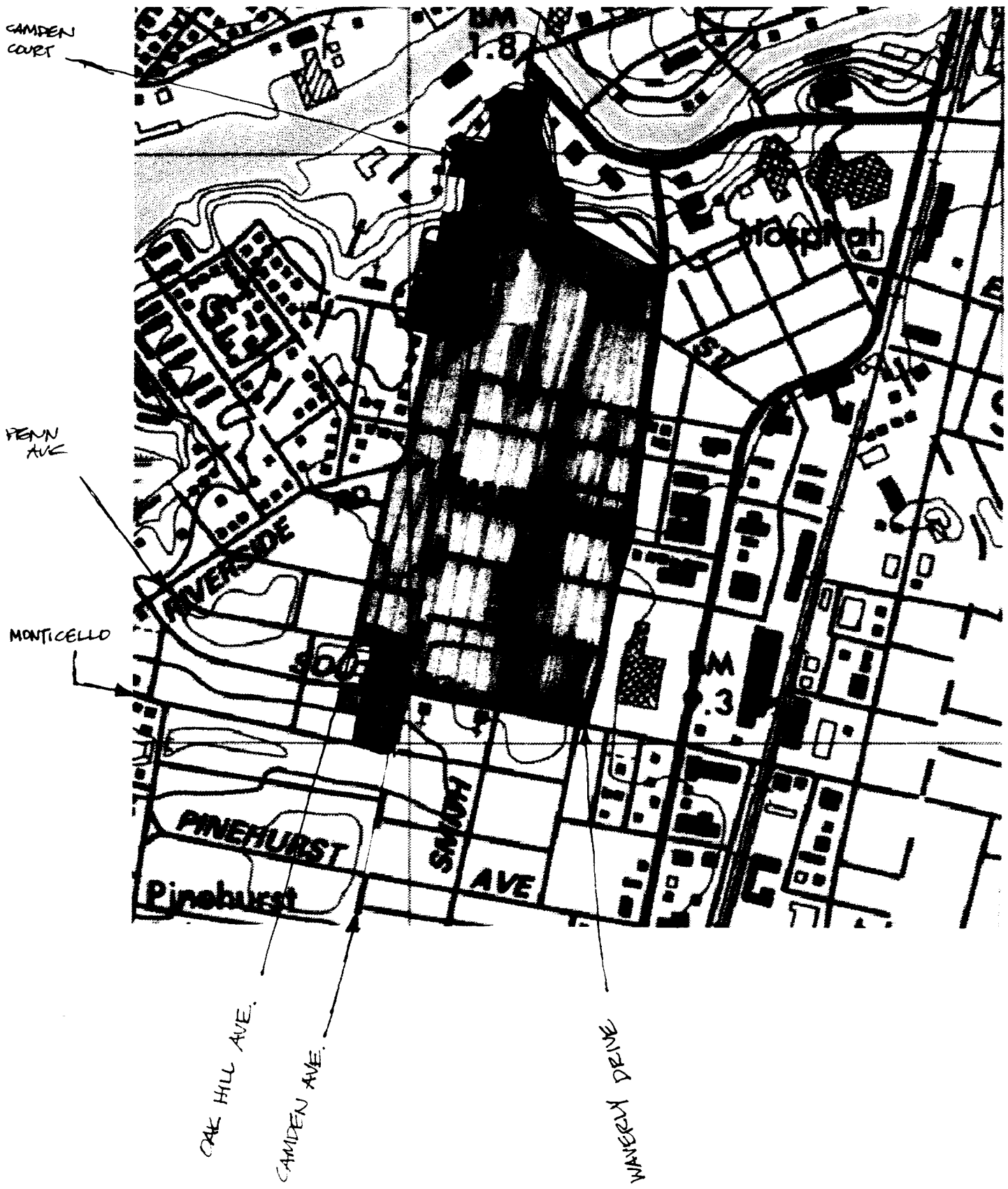
15 The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

WI-552

Camden Historic District
Salisbury, Md.



CAMDEN HISTORIC DISTRICT (AKA NEWTON)
SALISBURY, WICCOMICO COUNTY, MD
WT. - 552



Real Property Data Search ()

Search Result for WICOMICO COUNTY

View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Number:District - 13 Account Identifier - 050295

Owner Information

Owner Name: BENZIN PATRICK J
Benzin Casey B

Use: RESIDENTIAL
Principal Residence: YES

Mailing Address: 709 Camden Ave
Salisbury MD 21801-

Deed Reference: /04828/ 00293

Location & Structure Information

Premises Address: 709 Camden Ave
Salisbury 21801-0000

Legal Description: 17,760 SQFT
709 Camden Ave
City of Salisbury

| | | | | | | | | | |
|-----------|-------|---------|---------------|--------------|----------|--------|------|------------------|----------|
| Map: | Grid: | Parcel: | Neighborhood: | Subdivision: | Section: | Block: | Lot: | Assessment Year: | Plat No: |
| 0111 | 0016 | 0310 | 13030702.23 | 0000 | | | | 2025 | |
| Plat Ref: | | | | | | | | | |

Town: Salisbury

| | | | | |
|-------------------------|-------------------------|------------------------|--------------------|------------|
| Primary Structure Built | Above Grade Living Area | Finished Basement Area | Property Land Area | County Use |
| 1900 | 2,488 SF | | 17,760 SF | |

| | | | | | | | |
|---------|----------|---------------|----------|---------|----------------|--------|-----------------------------------|
| Stories | Basement | Type | Exterior | Quality | Full/Half Bath | Garage | Last Notice of Major Improvements |
| 2 | NO | STANDARD UNIT | SIDING/ | 3 | 1 full | | |

Value Information

| | | | | |
|--------------------|------------|---------------------|----------------------|---------------------|
| | Base Value | Value | Phase-in Assessments | |
| | | As of 01/01/2025 | As of 07/01/2024 | As of 07/01/2025 |
| Land: | 19,700 | 23,000 | | |
| Improvements | 63,600 | 100,500 | | |
| Total: | 83,300 | 123,500 | 83,300 | 96,700 |
| Preferential Land: | 0 | 0 | | |

Transfer Information

| | | |
|--------------------------------|----------------------|------------------|
| Seller: Wessel William Richard | Date: 04/08/2021 | Price: \$240,000 |
| Type: ARMS LENGTH IMPROVED | Deed1: /04828/ 00293 | Deed2: |

| | | |
|--|----------------------|-----------------|
| Seller: White Thomas R Jr & Dietland F | Date: 12/21/2018 | Price: \$85,000 |
| Type: ARMS LENGTH IMPROVED | Deed1: /04416/ 00161 | Deed2: |

| | | |
|--|----------------------|------------|
| Seller: White, Thomas R Jr & Charlotte P | Date: 04/25/1979 | Price: \$0 |
| Type: ARMS LENGTH MULTIPLE | Deed1: /00919/ 00067 | Deed2: |

Exemption Information

| | | | |
|-----------------------------|-------|------------|------------|
| Partial Exempt Assessments: | Class | 07/01/2024 | 07/01/2025 |
| County: | 000 | 0.00 | |
| State: | 000 | 0.00 | |
| Municipal: | 000 | 0.00 0.00 | 0.00 0.00 |

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No ApplicationDate:

Salisbury Historic District Commission

Hearing Notification

| | |
|----------------------------------|--|
| Hearing Date: | April 23, 2025 |
| Time: | 7:00 pm |
| Location: | Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 306 |
| Case Number: | #25-05 |
| Commission Considering: | Alterations – Add siding, windows, back patio, front porch |
| Owner's Name: | Adjalma Da Silva |
| Applicant Name: | Adjalma Da Silva |
| Agent/Contractor: | N/A |
| Subject Property Address: | 227 Broad St. Salisbury, MD 21801 |
| Historic District: | Newtown Historic District |
| Use Category: | Office & Service Residential |
| Chairman: | Mr. Scott Saxman |
| HDC Staff contact: | Jennifer Jean Associate Planner (410) 548-3170 |

Salisbury Historic District Commission

125 N. Division Street
Room 304
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application

\$150 Fee Received _____ (date)

Date Submitted: 03-21-25

Date Accepted as Complete: _____

Subject Location: 227 BROAD ST.

Application by: ADALMA SILVA

Applicant Address: 105 DIAMOND AVE.

Applicant Phone: 410 845 0762

Case #: _____

Action Required By (45 days): _____

Owner Name: ADALMA SILVA

Owner Address: 105 DIAMOND AVE. SALISBURY

Owner Phone: 410 845 0762

Owner Email: ADALMA.SILVA@HOT.MAIL.COM

Work Involves: ☒ Alterations ☐ New Construction ☒ Addition Other _____
☐ Demolition ☐ Sign ☐ Awning Estimated Cost _____

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Please see attached paper work, previously given.

* Replace Wood windows custom made just like previous wood windows.

* Replace Fiber cement siding color white.

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ☐ Yes ☒ No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ☐ Yes ☒ No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on _____ (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's
Signature [Signature]

Date 03-21-25

Application Processor (Date)

Secretary, S.H.D.C. (Date)



City of
Salisbury

EXPIRED BUILDING PERMIT NOTICE

2/11/2025

DA SILVA, ADJALMA R.
105 DIAMOND AVE
SALISBURY MD 21804

RE: 227 Broad St.

Permit No.: 202301588

Dear permit holder,

Pursuant to the enforcement of Section 105.5 of the current Building Code, our records indicate that your permit has expired. This section states: *"A permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance or after commencement of work if more than 180 days pass between inspections. The building official is authorized to grant, in writing, one or more extensions of time, for periods not more than 180 days each. The extension shall be requested in writing and justifiable cause demonstrated."*

Please re-submit for a new permit if you plan on continuing work. New Historic approvals will also be contingent on this re-submission.

Without a final approval or a Certificate of Occupancy, the building or space under construction may not be legally used or occupied. Failure to obtain the required Certificate of occupancy may deny insurance claims, prevent future real-estate transactions, or make the owner liable for citations not to exceed \$500.00 per day, per violation.

Your immediate attention to this matter is appreciated. Should you have any questions or concerns, please contact me at 410-548-3130.

Sincerely,
Building Inspector
City of Salisbury

Department of Building, Permitting & Inspections
125 N. Division St., Rm. B13 Salisbury MD 21801
410-548-3130 (fax) 410-548-3183
www.salisbury.md

PROJECT INFORMATION

Description: Residential Addition

Location: 227 Broad St.
Salisbury, Maryland

Occupancy: Single Family -R-

Code Compliance: International Residential Code 2018

Construction: VB

Building Area: 1st Floor : 947 sqft
2nd Floor: 947 sqft
Total: 1,894 sqft

CONSTRUCTION NOTES

- ALL WINDOW AND DOOR HEADERS ARE 2x12 SPF #2 OR BETTER.
- ALL LUMBER IS TO BE #2 SPF OR BETTER.
- METAL HURRICANE STRAPPING MUST CONNECT EACH RAFTER TO BOTTOM MEMBER OF DOUBLE TOP PLATE.
- NOTCHING ON RAFTERS TO BE 13/16" MAXIMUM.

FOUNDATION ASSEMBLY

EXISTING

FLOOR ASSEMBLY

R-19 INSULATION
2x10 FLOOR JOIST @ 16" O.C.
3/4" T&G PLYWOOD SUBFLOOR
FINISHED FLOORING

EXTERIOR ASSEMBLY

VINYL SIDING
VAPOR BARRIER
1/2" PLYWOOD SHEATHING
R-21 FIBERGLASS INSULATION OR FILL CAVITY IN EXISITNG WALLS
2x6 STUDS @ 16" O.C.
1/2" GYPSUM BOARD INTERIOR

ROOF ASSEMBLY

ASPHALT SHINGLES
#30 FELT
5/8" PLYWOOD SHEATHING
RAFTERS @16" O.C.
R-38 FIBERGLASS INSULATION
MTL. FASCIA & DRIP EDGE
VENTED VINYL SOFFIT

EGRESS WINDOWS AND TYP. WINDOW NOTES

- ALL BEDROOMS TO HAVE EGRESS WINDOWS INSTALLED OR 2 DOORWAYS INTO ROOM.
- FIRE EGRESS TO BE PROVIDED BY WINDOWS WITH A CLEAR WIDTH >24" CLEAR HEIGHT > 24", AND 5.7 SQ. FT. CLEAR OPENING, MINIMUM.
- ALL WINDOWS TO BE MIN. OF 24" A.F.F. OR HAVE A FALL PREVENTION DEVICE INSTALLED TO NOT ALLOW A CLEAR OPNG. OF MORE THEN 4". DEVICE TO HAVE AUTOMATIC RESET WHEN THE WINDOW IS CLOSED.

DRAWING NOTES:

- ALL DIMENSIONS ARE FROM FACE OF STUDS OR FACE OF CONCRETE

MISS. NOTES:

- SMOKE DETECTORS TO BE INTERCONNECTED AND TO BE HARDWIRE WITH BATTERY BACKUP
- CARBON MONOXIDE DETECTORS TO BE INSTALLED WHEN GAS APPLIANCES ARE TO BE INSTALLED
- HANDRAILS ARE REQUIRED WHEN THERE ARE 3 OR MORE RISERS ON A STAIR MIN. 36" GUARDRAILS REQUIRED WHEN 30" OR MORE ABOVE GRADE BELOW AND OPEN STAIRS OF MORE THEN 30" RISE. NO OPENINGS LARGER THEN 4" BETWEEN PILASTERS AND PICKETS.
- STAIRS THE MAX RISERS SHALL BE 8 1/4 INCHES AND MIN. TREAD DEPTH SHALL BE 9 INCHES

STRUCTURAL NOTES:

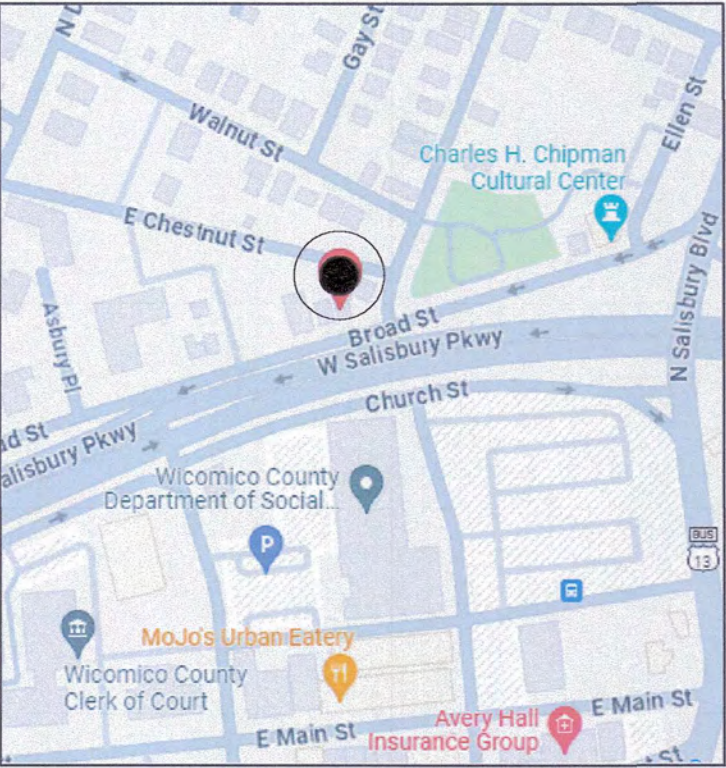
DESIGN BASED ON FOLLOWING MINIMUM PROPERTIES:

- Sawn lumber shall be Spruce-Pine-Fir (SPF) No.1/No.2 or better, graded in accordance with the NFPA National Design Specification with the following base design values:
A. Fb=875 psi (bending - single member use)
B. Fv=135 psi (horizontal shear)
C. Fc=1150 psi (compression parallel to grain)
D. E=1,400,000 psi (modulus of elasticity)
- Laminated Veneer Lumber (LVL) shall be as manufactured by iLevel (Microllam) or equal with the following base design values:
A. Fb=2600 psi (bending)
B. Fv=285 psi (horizontal shear)
C. Fc=2510 psi (compression parallel to glue line)
D. E=2,000,000 psi (modulus of elasticity)
- 1/3 "I" shape, solid web joists (TJI) shall be as manufactured by Weyerhaeuser, or equal.

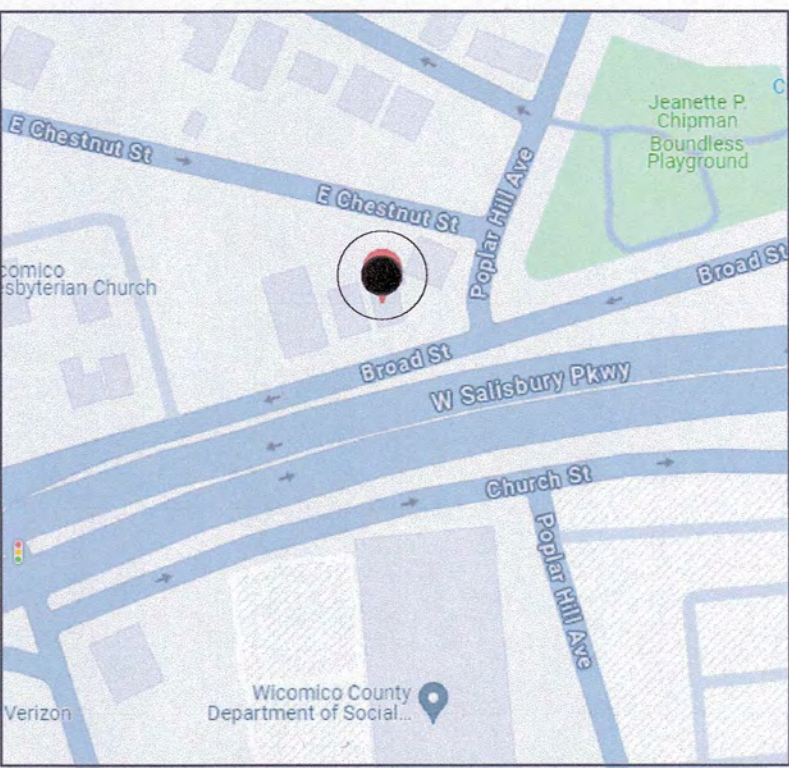
Broad St.

227 Broad St.
Salisbury MD, 21801

VICINITY MAP



LOCATION MAP



DRAWING SCHEDULE

| Drawing List | |
|---------------|-------------------------------------|
| Sheet Number | Sheet Name |
| Index | |
| CS | Cover Sheet |
| Architectural | |
| A-101 | 1st Floor New,Existing, & Demo Plan |
| A-102 | 2nd Floor New,Existing,& Demo Plan |
| A-103 | Roof Plan New, Existing, Demo |
| A-200 | Exterior Elevations |
| A-201 | Exterior Elevations |
| A-300 | Building Details |



CODES:

All work on this project shall be done in accordance with all applicable building codes, ordinances, regulations and any additional requirement so stated in any Law, Ordinance, or Regulation pertaining to construction within the said limits of the authority having jurisdiction over the proposed work, architectural, structural, mechanical, plumbing, electrical, energy conservation, zoning, and fire. It shall be the responsibility of the contractor to conform to all codes applicable to this project.

Contractor is responsible for incorporating changes resulting from review by the Authorities having jurisdiction. Contractor should obtain and retain a copy of review comments with drawings.

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I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

I certify that these documents were prepared or approved by me, and that I am a duly licensed Engineer under the laws of the State of Maryland.



443-614-9224

120 E. Market St. Suite B
Salisbury, Maryland 21801
www.Angell-Design.com

Broad St.

227 Broad St.
Salisbury MD, 21801

SHEET TITLE: Cover Sheet

PROJECT STATUS: Permit

REVISIONS: MARK DATE DESCRIPTION

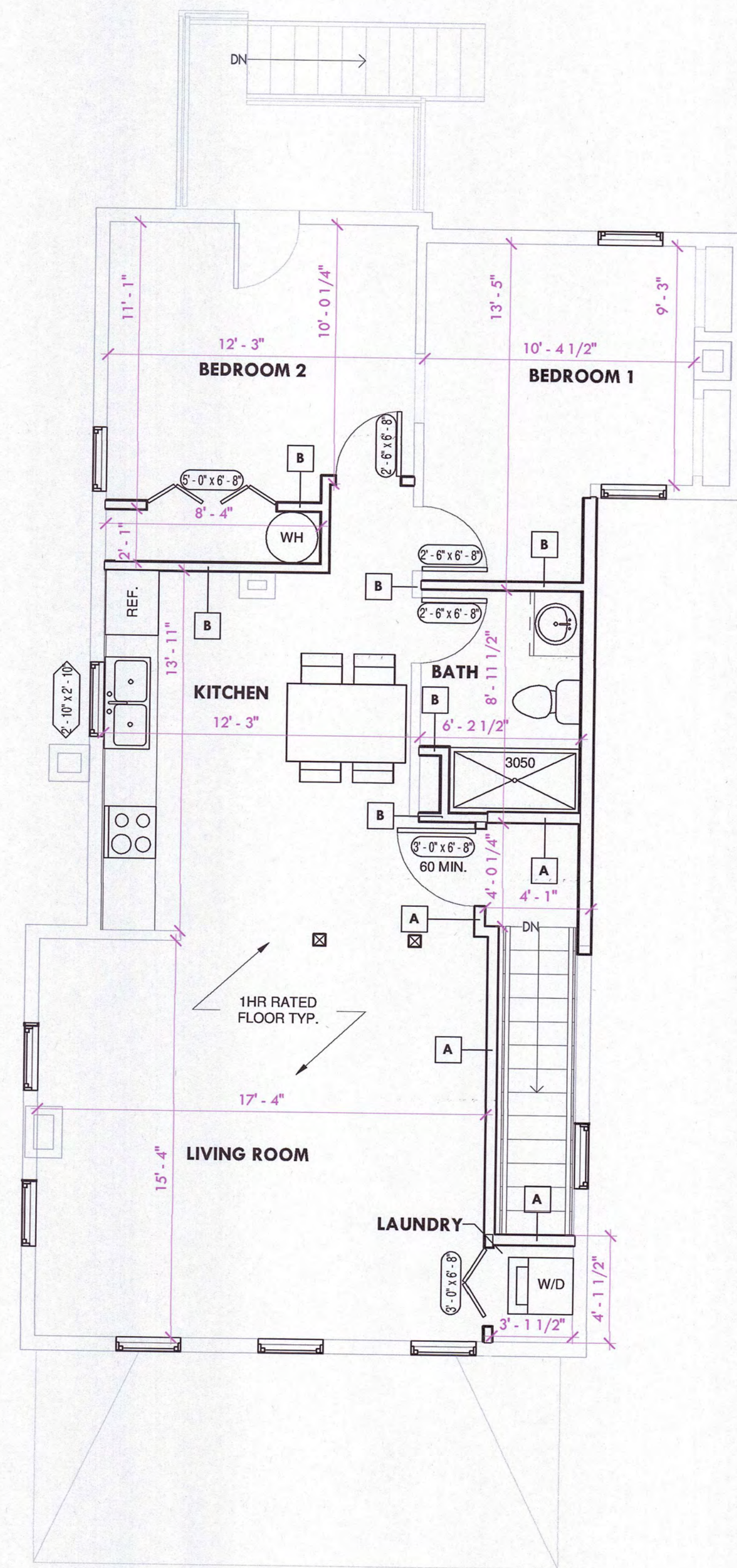
SCALE: As indicated

DRAWN BY: PSA

ISSUE DATE: 6-19-24

PROJECT NUMBER: A-1601

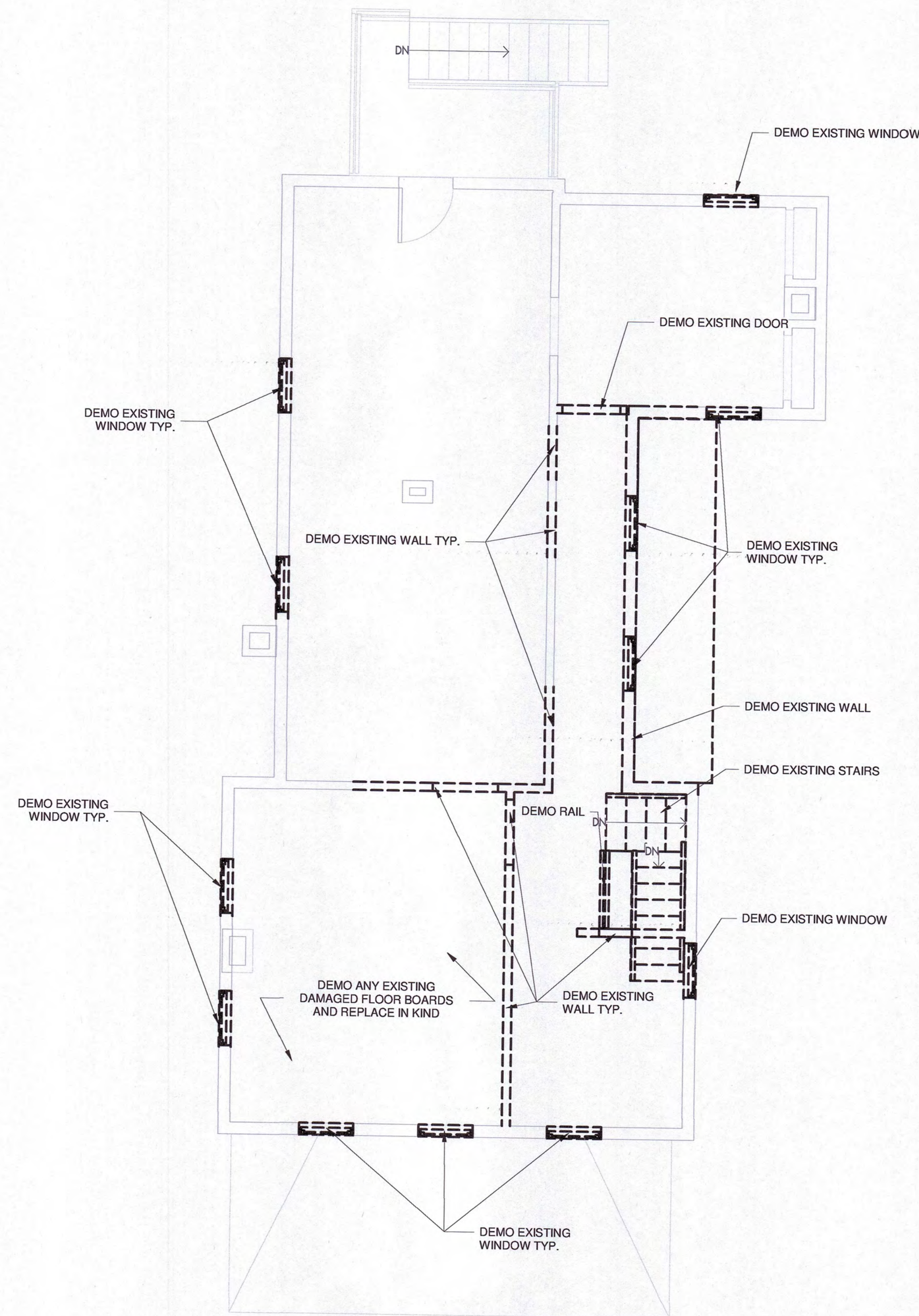
DRAWING NUMBER: CS



NOTES:

1. REPLACE ALL FLOORING FINISHES.
2. EXISTING DUCTWORK TO BE ADJUSTED AS NEEDED FOR NEW LAYOUT
3. ALL WINDOWS TO BE REPLACED WITH SAME SIZE AND DESIGN OF CURRENT WINDOWS

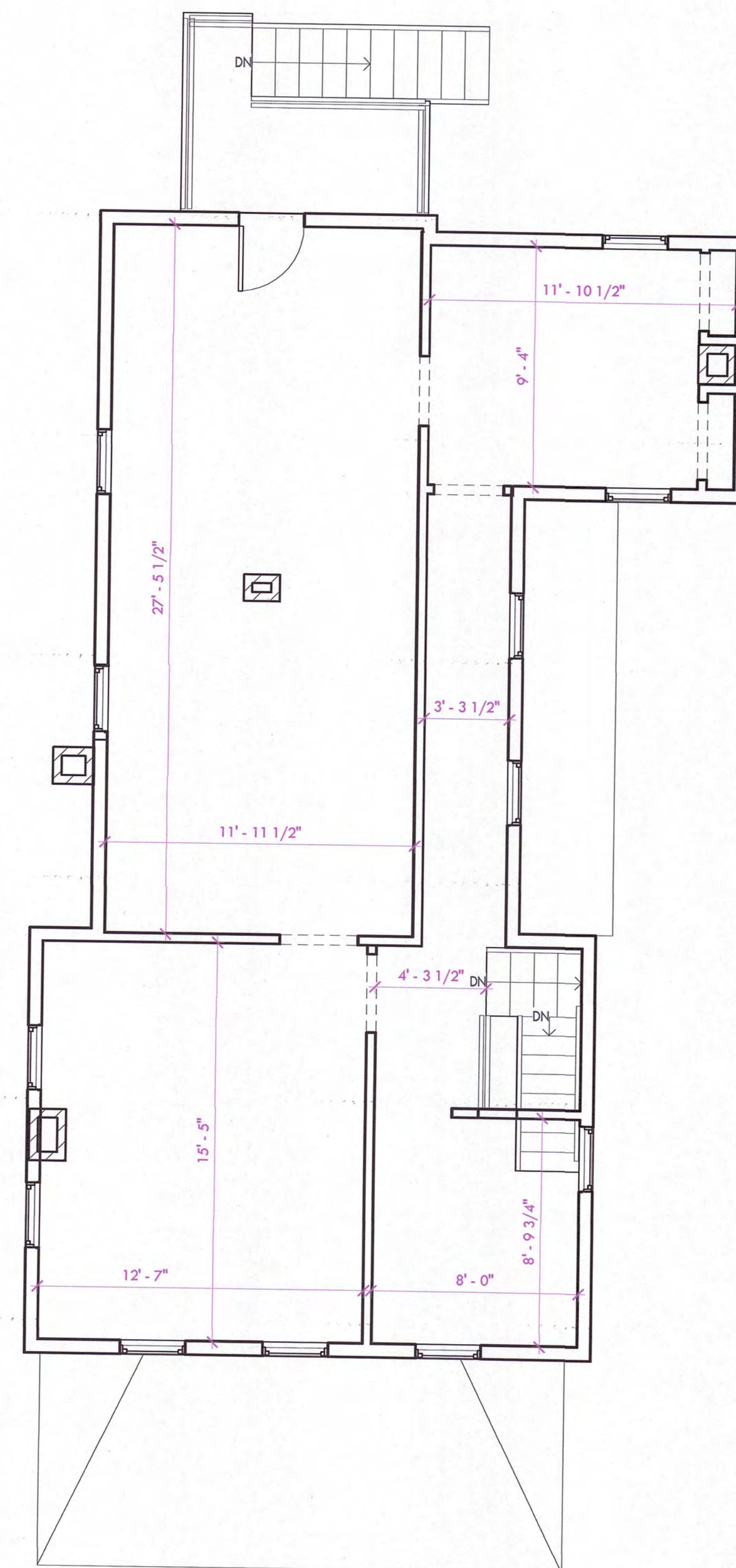
③ Second Floor Plan
1/4" = 1'-0"



NOTES:

1. ALL FLOOR AND WALL STRUCTURES TO BE REVIEWED DURING DEMOLITION. ANY DAMAGED FRAMING TO BE REPLACED IN KIND AS NEEDED.
2. ALL FLOORING FINISHES TO BE REMOVED.
3. TEMP. SUPPORT AND STRUCTURAL WALLS BEFORE REMOVAL OF WALLS AND CEILING AND ROOF.
4. PROTECT EXISTING STRUCTURE DURING CONSTRUCTION
5. ALL EXISTING WINDOWS TO BE REMOVED AND PREP FOR NEW WINDOWS

② Second Floor Demo Plan
1/4" = 1'-0"



① Existing Second Floor Plan
1/4" = 1'-0"

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I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland. License number: _____ Expiration date: _____

ANGELL DESIGN
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Salisbury, Maryland 21801
www.Angell-Design.com
443-614-9224

Broad St.
227 Broad St.
Salisbury MD, 21801

2nd Floor New, Existing, & Demo Plan

Permit

| REVISIONS: | DATE | DESCRIPTION |
|------------|------|-------------|
| MARK | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SCALE: 1/4" = 1'-0"
DRAWN BY: PSA
ISSUE DATE: 6-19-24
PROJECT NUMBER: A-1601
DRAWING NUMBER: A-102

I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of Maryland.

I certify that these documents were prepared or approved by me, and that I am a duly Licensed Engineer under the laws of the State of Maryland.



443-614-9224
120 E. Market St. Suite B
Salisbury, Maryland 21801
www.Angell-Design.com

Broad St.
227 Broad St.
Salisbury MD, 21801

Roof Plan New, Existing, Demo

Permit

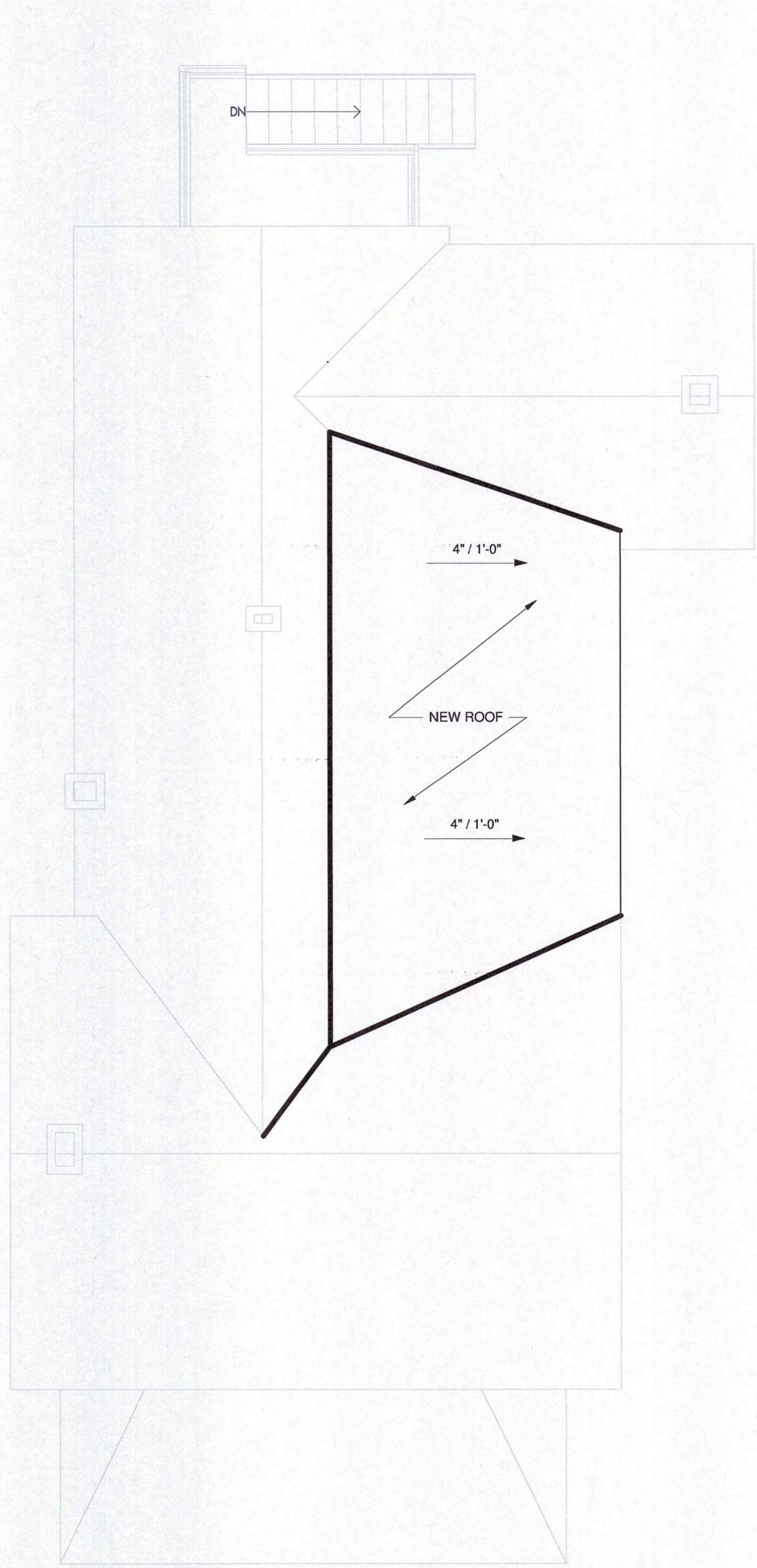
SCALE: 1/4" = 1'-0"

PROJECT NUMBER: A-1601

DRAWN BY: PSA

ISSUE DATE: 6-19-24

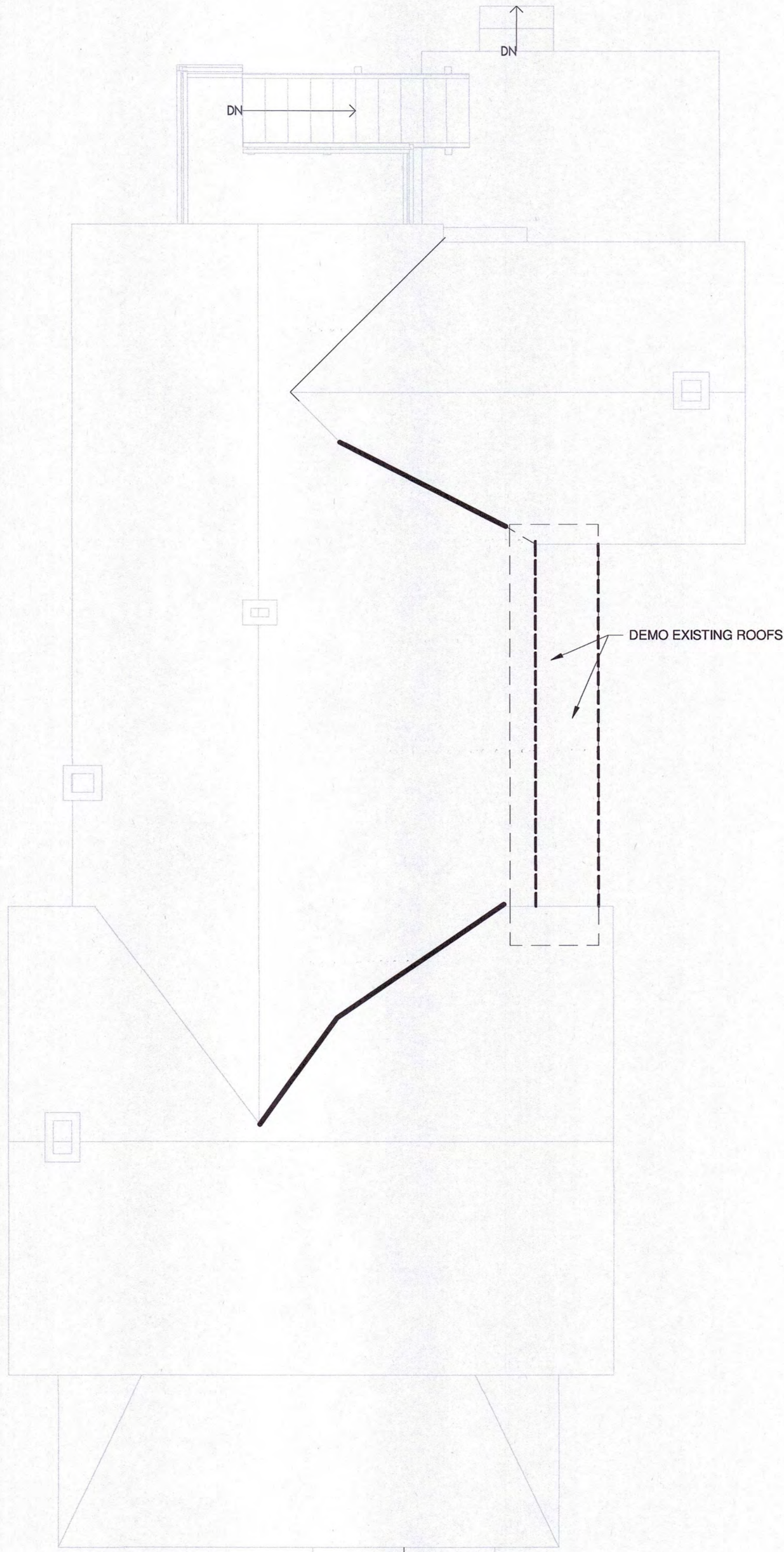
DRAWING NUMBER: A-103



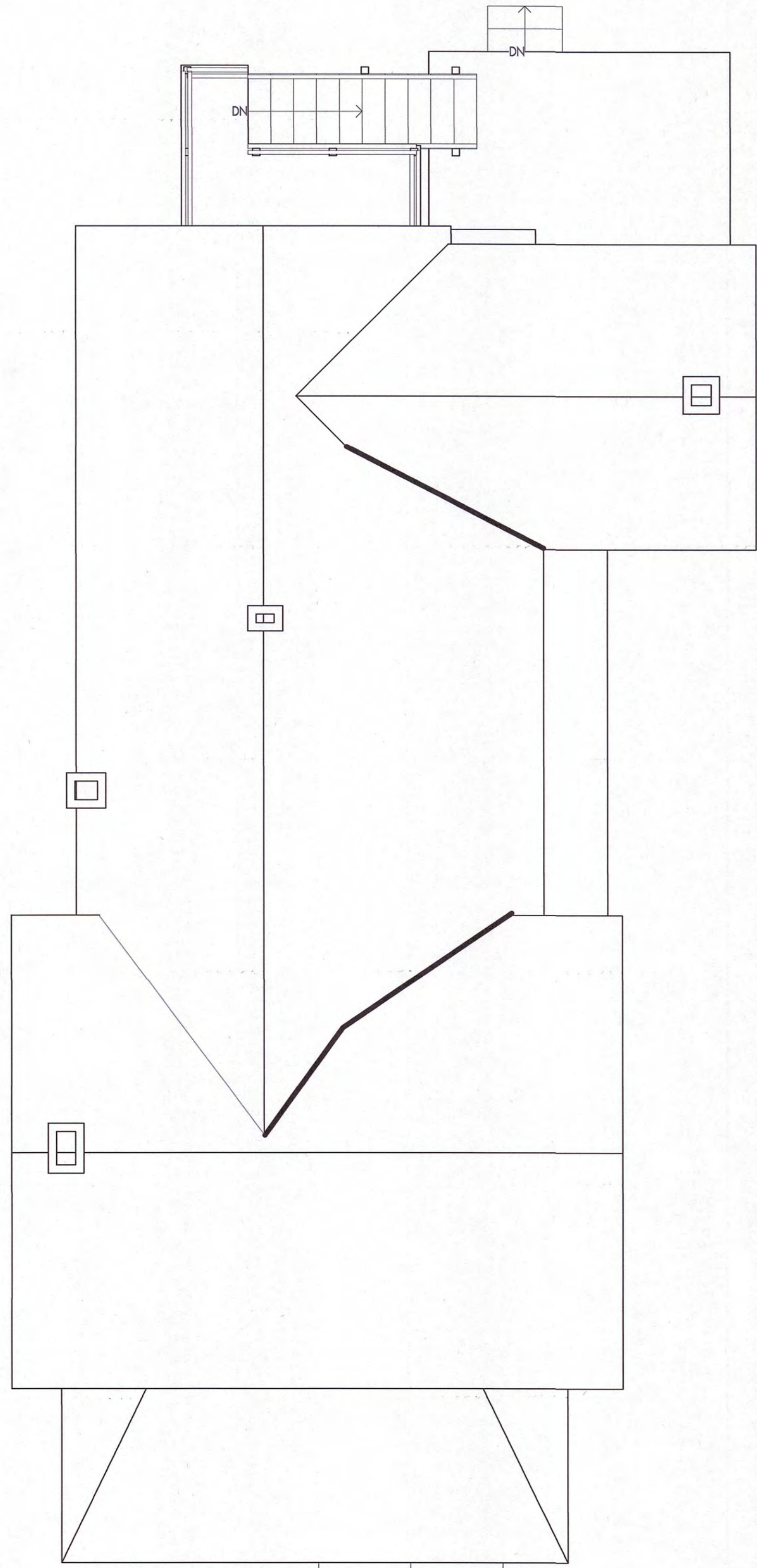
NOTES:

1. NEW ROOF FINISH TO MATCH EXISTING ROOF.
2. REPAIR ANY DAMAGED SHEATHING OR FRAMING IN KIND.

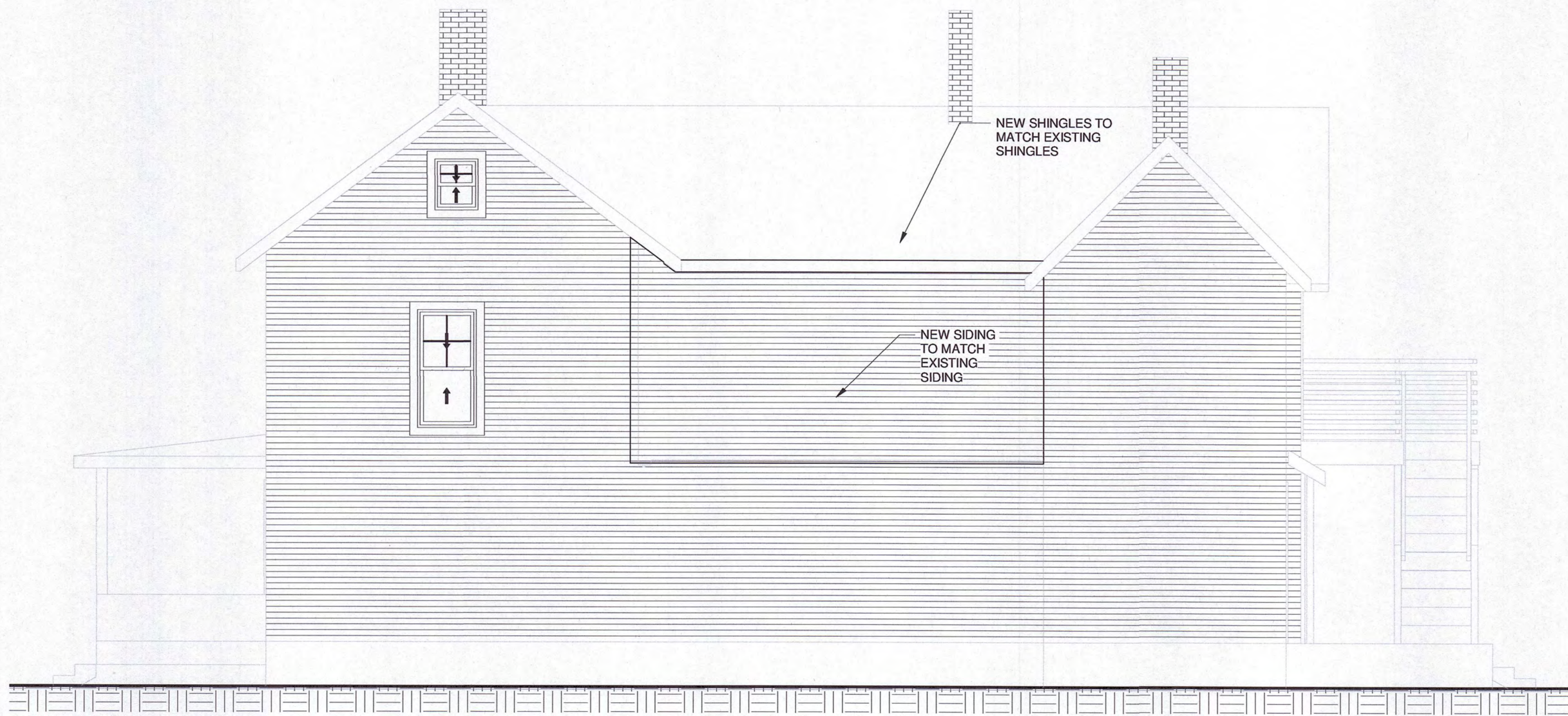
③ New Roof Plan
1/4" = 1'-0"



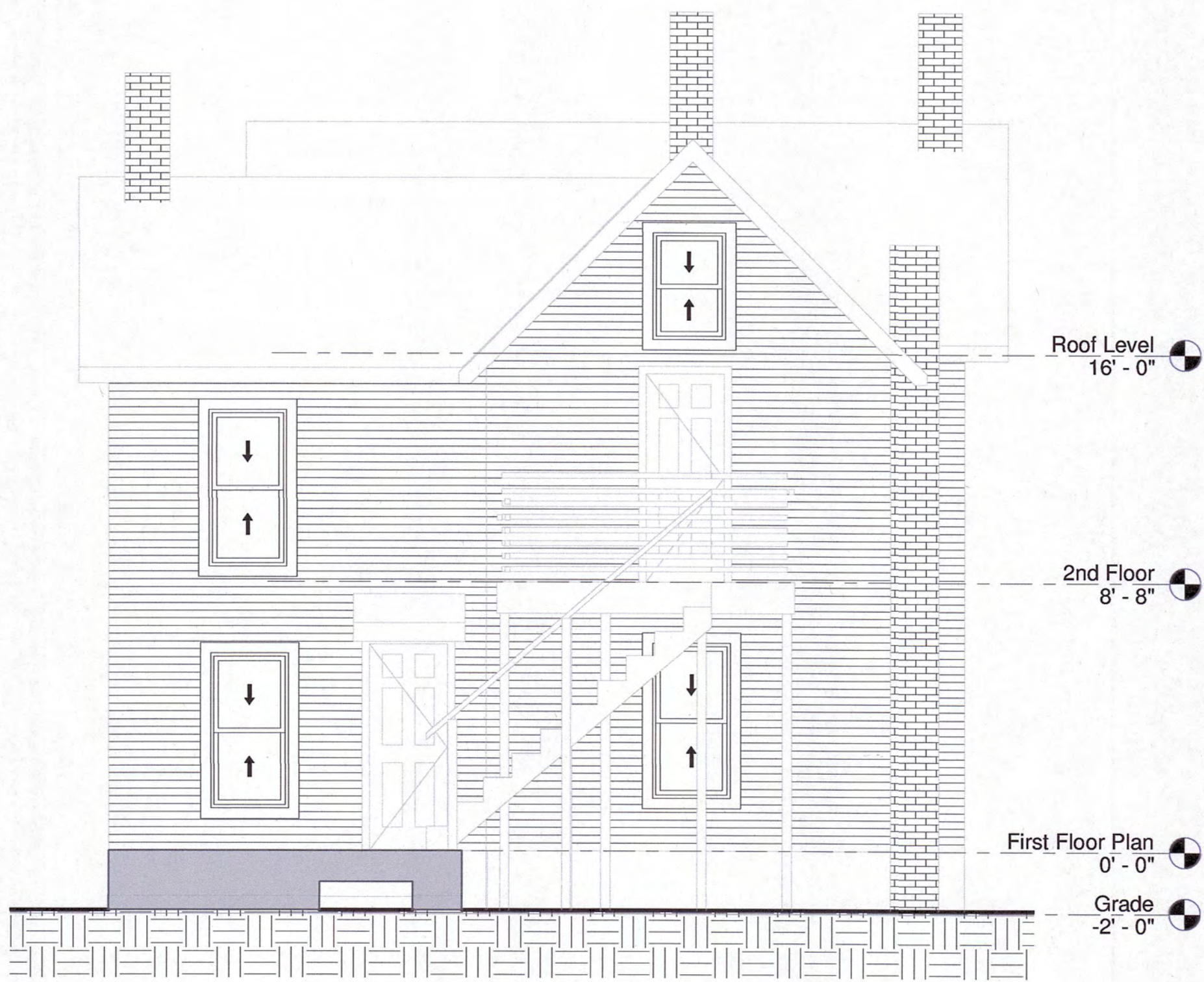
② Demo Roof Plan
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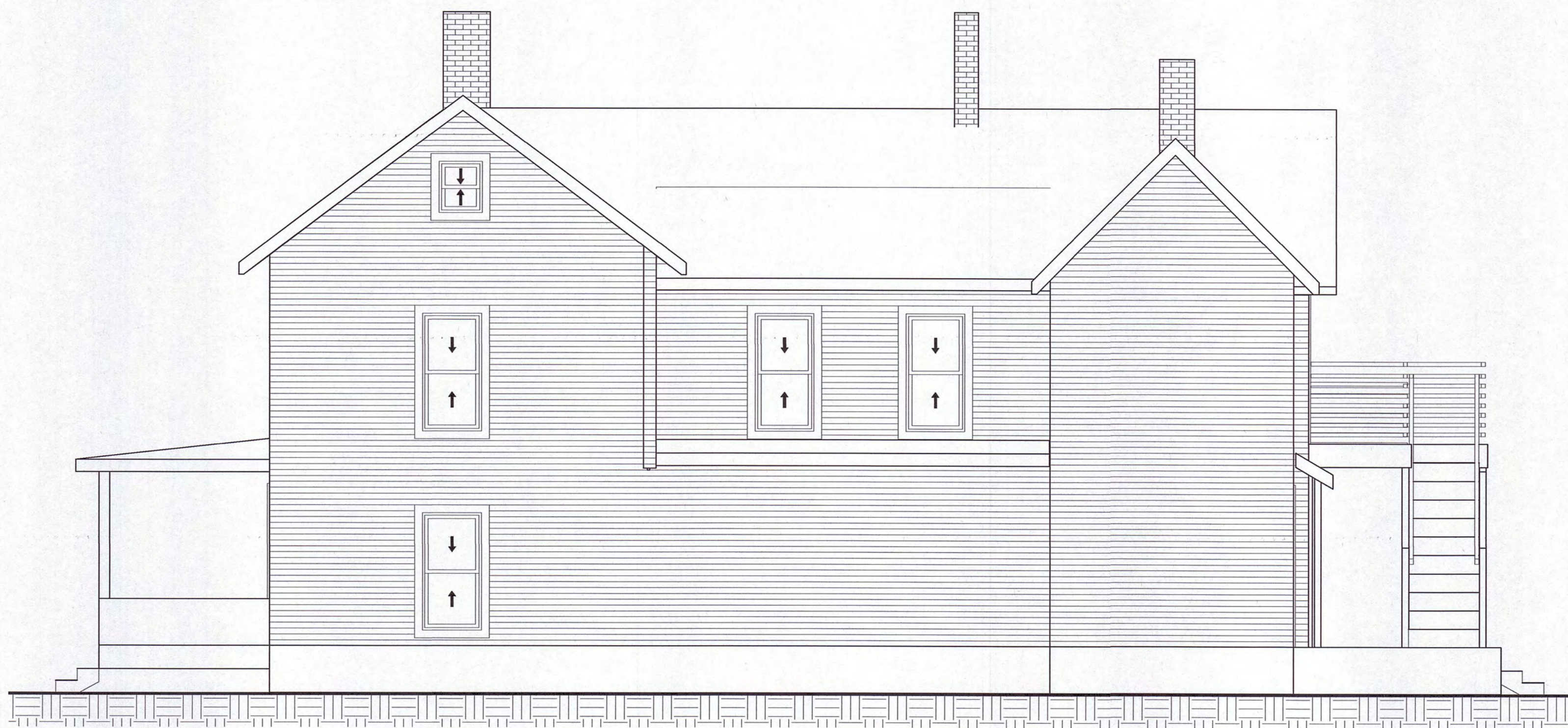
① Existing Roof Plan
1/4" = 1'-0"



④ Left Elevation New
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



② Left Elevation Existing
1/4" = 1'-0"



① Rear Elevation Existing
1/4" = 1'-0"

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I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of License number: Expiration date:

ANGELL DESIGN
120 E. Market St. Suite B
Salisbury, Maryland 21801
www.Angell-Design.com
443-614-3224

Broad St.

227 Broad St.
Salisbury MD, 21801

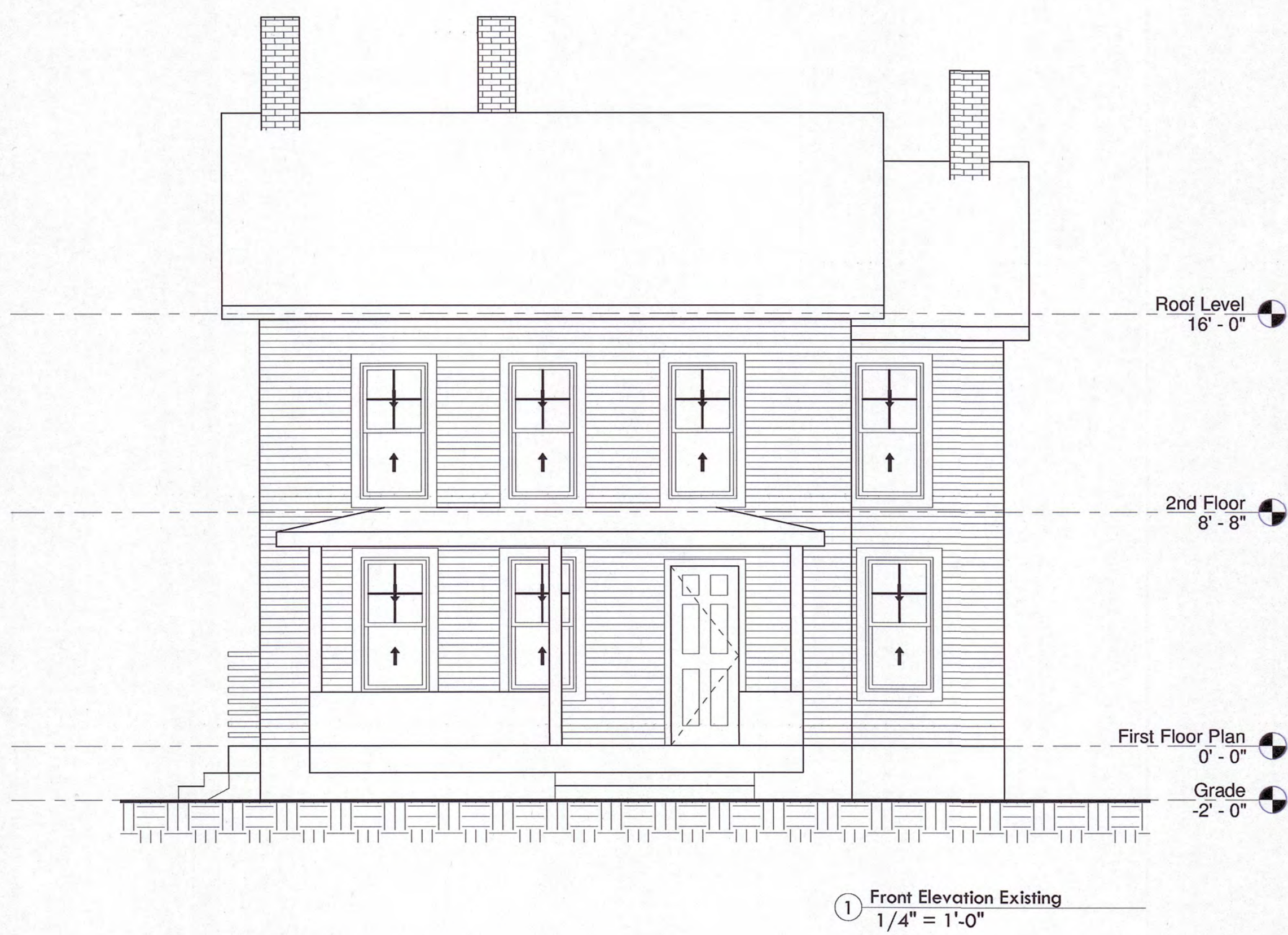
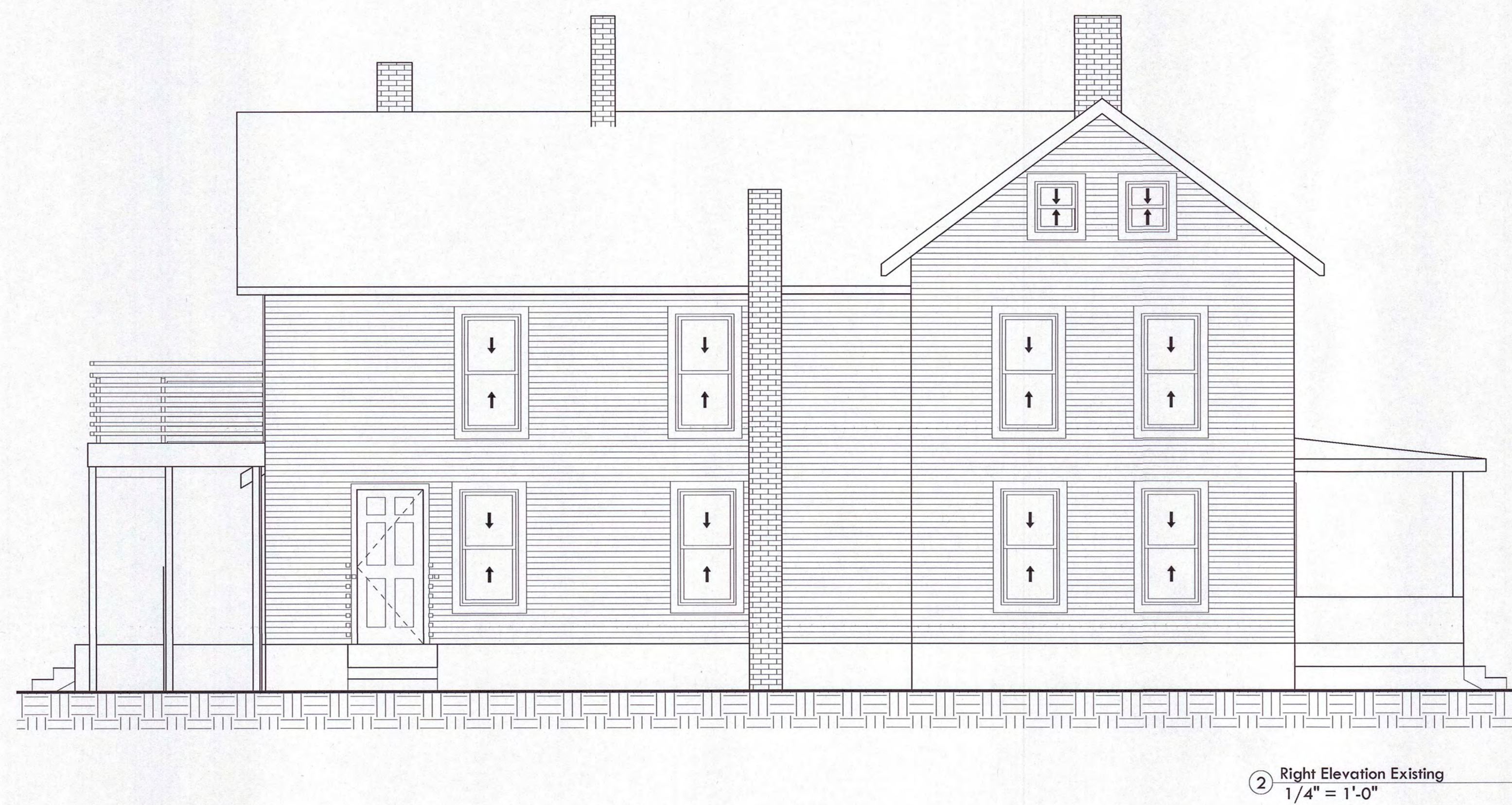
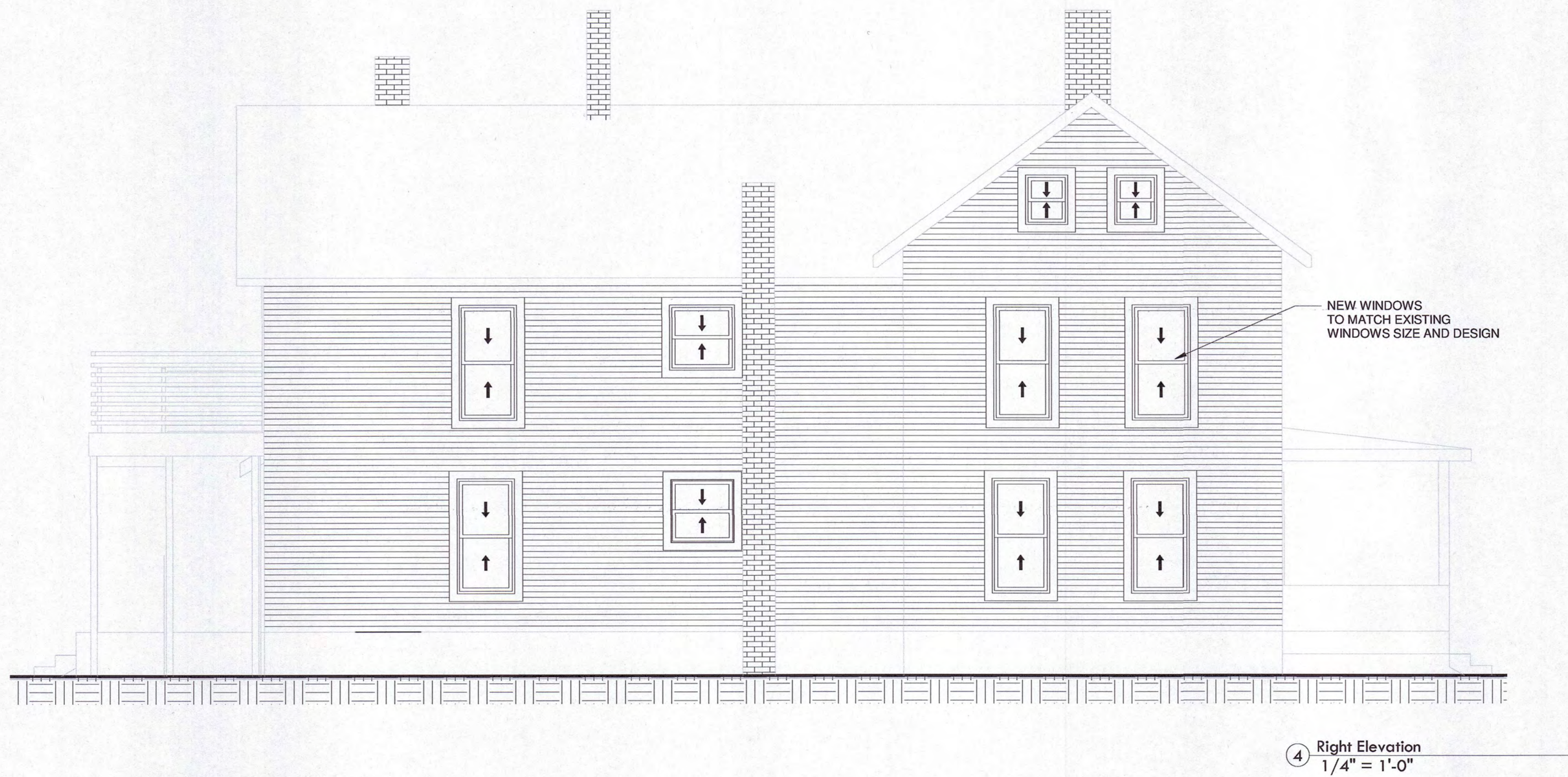
SHEET TITLE:
Exterior Elevations

PROJECT STATUS:
Permit

REVISIONS:
MARK DATE DESCRIPTION

SCALE:
1/4" = 1'-0"
DRAWN BY:
PSA
ISSUE DATE:
6-19-24

PROJECT NUMBER:
A-1601
DRAWING NUMBER:
A-200



THIS DRAWING, THE DESIGN AND CONSTRUCTION FEATURES DISCLOSED ARE PROPRIETARY TO ANGELL DESIGN AND SHALL NOT BE ALTERED OR REUSED WITHOUT WRITTEN PERMISSION.

I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the laws of the State of License number: Expiration date:

I certify that these documents were prepared or approved by me, and that I am a duly Licensed Engineer under the laws of the State of License number: Expiration date:

ANGELL DESIGN
120 E. Market St. Suite B
Salisbury, Maryland 21801
www.Angell-Design.com
443-614-9224

Broad St.

227 Broad St.
Salisbury MD, 21801

SHEET TITLE:
Exterior Elevations

PROJECT STATUS:
Permit

| REVISIONS: | DATE | DESCRIPTION |
|------------|------|-------------|
| MARK | | |
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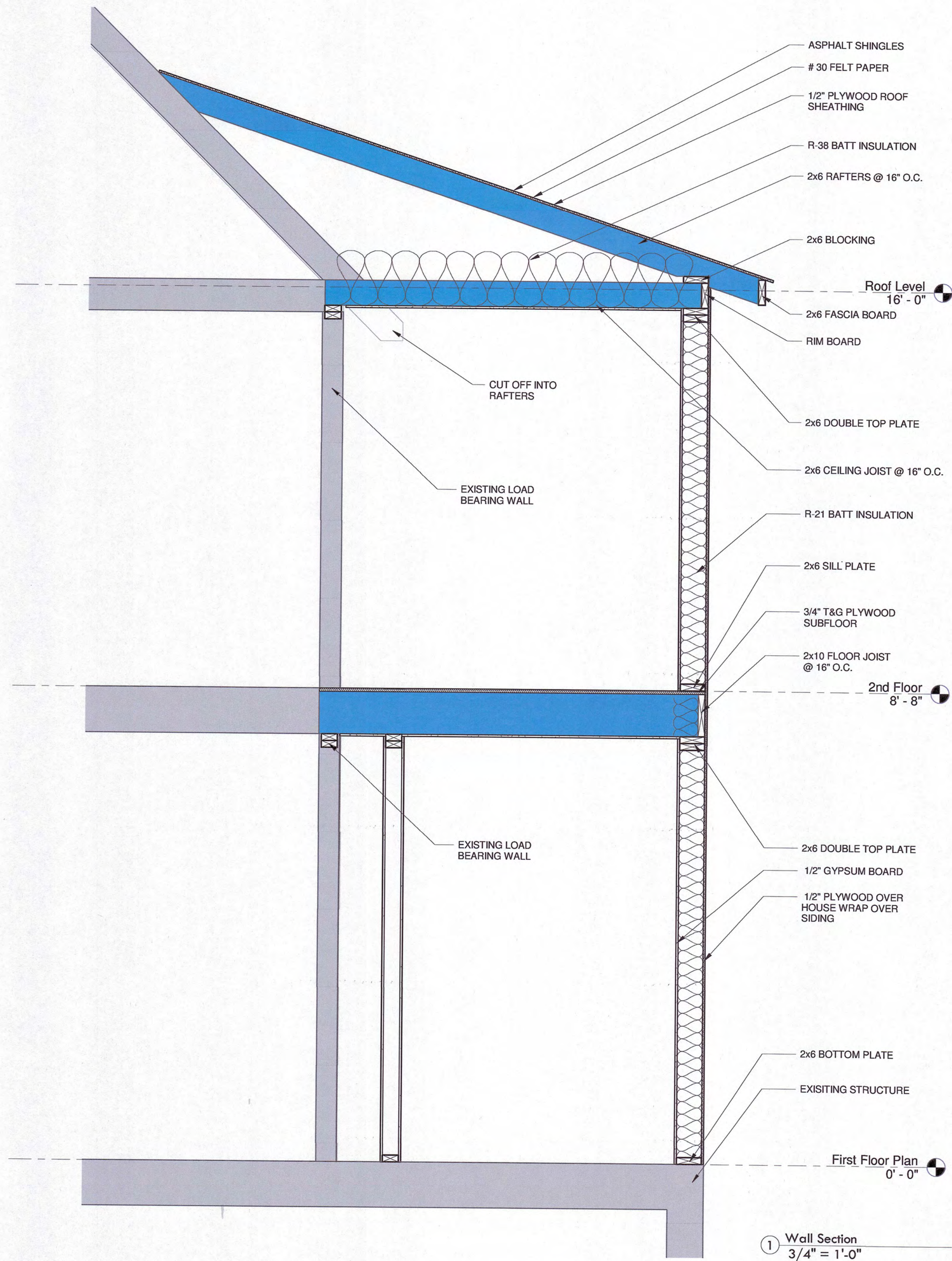
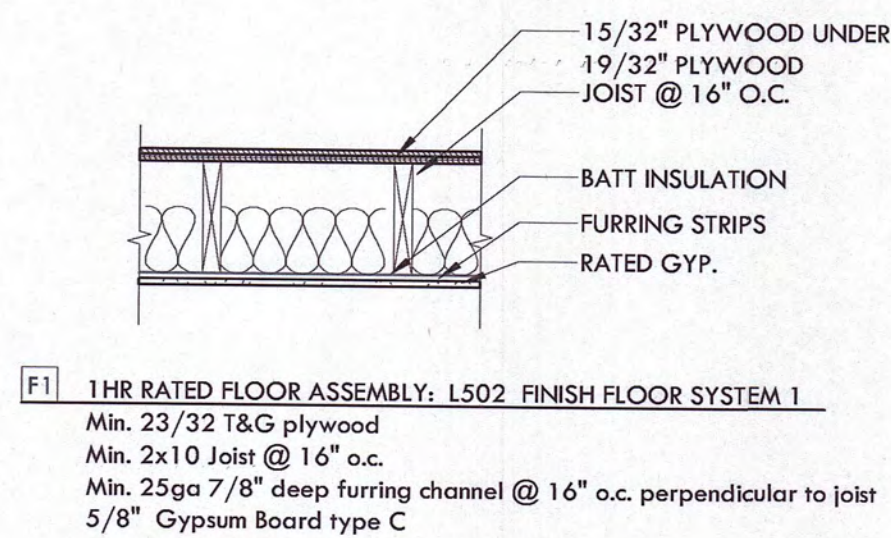
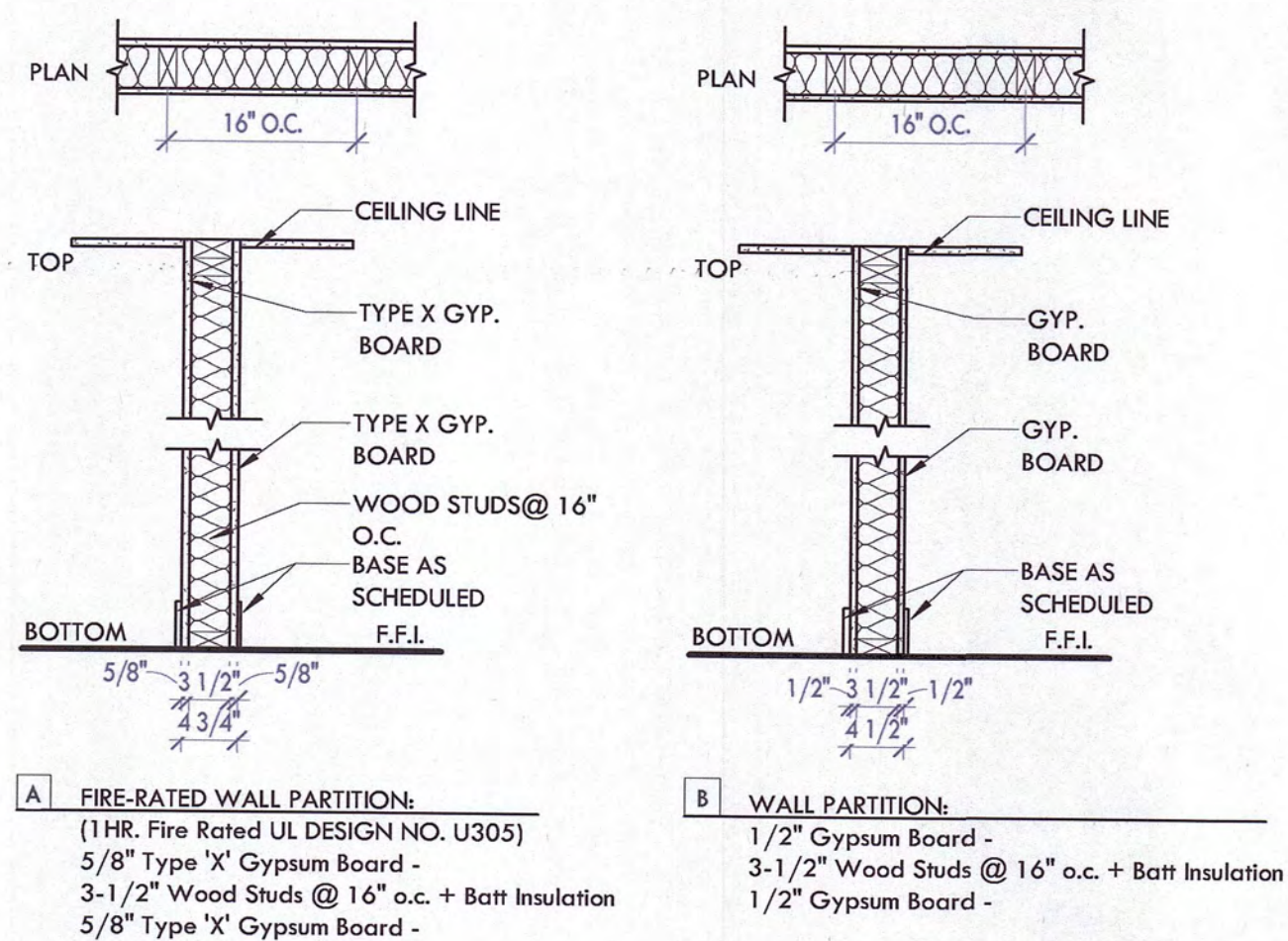
SCALE:
1/4" = 1'-0"

DRAWN BY:
PSA

ISSUE DATE:
6-19-24

PROJECT NUMBER:
A-1601

DRAWING NUMBER:
A-201



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Broad St.
227 Broad St.
Salisbury MD, 21801

| | | | |
|---|---------------------------|----------------------------------|-------------|
| SHEET TITLE: Building Details | | PROJECT STATUS: Permit | |
| SCALE: 3/4" = 1'-0" | PROJECT NUMBER: A-1601 | REVISIONS: | DESCRIPTION |
| DRAWN BY: PSA | DRAWING NUMBER: A-300 | MARK | DATE |
| ISSUE DATE: 6-19-24 | | | |

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of April 23, 2025

| | |
|--|--|
| Case Number: | #25-05 |
| Commission Considering: | Alterations – Add siding, windows, back patio, front porch |
| Owner Name: | Adjalma Da Silva |
| Owners Address: | 105 Diamond Ave Salisbury, MD 21804 |
| Applicant Name: | Adjalma Da Silva |
| Applicant's Address: | 105 Diamond Ave Salisbury, MD 21804 |
| Agent/Contractor: | N/A |
| Subject Property Address: | 227 Broad St Salisbury, MD 21801 |
| Historic District: | Newtown Historic District |
| Use Category: | OSR |
| Zoning Classification: | OSR – Office & Service Residential |
| Structure / Site Description: | |
| Built Date: | 1925 |
| Enclosed Area: | 2,058 sq. ft. (SDAT Real Property Database) |
| Lot Size: | 3,597 sq. ft. (SDAT Real Property Database) |
| Number of Stories: | Unspecified |
| Contributing Structure: | Yes |
| Wicomico County Historic Survey on file: | Yes; WI-153 |
| Nearby Properties on County Survey: | Yes |
| Properties included below but not limited to: | |
| • | WI-21, Wicomico Presbyterian Church |

- WI 14, Dr. Humphrey's House (Humphrey Humphreys House)

Explanation of request: The applicant is seeking approval to replace the existing windows with custom-made wood windows and to replace the existing siding with white fiber cement siding. The request also includes demolishing and rebuilding the back patio, as well as replacing the front porch floor and railing with Azek tongue-and-groove flooring and square spindles.

Areas of Historic Guidelines to be considered:

UNIVERSAL GUIDELINES

Guideline 17: Retain Historic Windows

- Maintain or restore the historic shape, size, alignment, pattern, and details of existing historic windows, particularly those in upper stories of commercial properties.
- Do not infill window openings or cover existing historic windows.
- Consider reopening windows that are presently blocked, if your budget allows.

Guideline 12: Preserve Historic Wood Siding

- Maintain and preserve existing wood siding. Keep paint intact to preserve wood features.
- Repair damaged wood siding by replacing in-kind only the affected boards or shingles. Keep sound material in place.
- Do not replace sound historic siding material with new materials for the sake of convenience.

Guideline 13: Match Existing or Historic Siding

- Where full-scale siding replacement is necessary, match the historic or existing siding on the building. Keep the details (width of wood boards, shingle size, corner and seam details, etc.) consistent with the historic appearance.
- When replacing non-historic siding that was inappropriately applied, choose an appropriate replacement that is consistent with buildings of the type, period, and architectural style.
- Do not cover historically uncovered masonry surfaces with siding. Siding applied to masonry surfaces has the potential to hold moisture and cause damage to the underlying wall.

Guideline 14: Synthetic Siding

Synthetic siding describes a siding product not made from natural materials. Vinyl, asphalt, and fiber cement board are the most commonly found synthetic siding types.

- The use of new synthetic siding may be approved on a case by case basis if one or more of the
- following conditions are met.
- Historic decorative details should not be removed or covered by synthetic siding. These details include but are not limited to cornices, window hoods, moldings, eaves, decorative shingles, and trim.
- Synthetic siding may not be applied over historically uncovered masonry walls.

Guideline 32: General Landscaping

- New decks, patios, swimming pools, and playground equipment requiring a permanent

- foundation should be situated in the rear of properties rather than at the front elevation. Where appropriate, these additions should be screened from view with landscaping or vegetation. Additions of this type require a COA.
- b. Historic landscaping features should be maintained and preserved as any other historic feature on the property. The removal of historic landscaping features, including front lawns, hedge rows, and mature trees should be avoided.

Best Choice:

Maintain existing historic landscape features including lawns, patios, and planting arrangements.

Good Alternative:

Design new patios and planting arrangements to complement the existing historic features of the property.

Not Appropriate:

Replacing a lawn with gravel or synthetic landscaping materials such as Astroturf, or installing artificial plants and/or flowers for the sake of convenience.

GUIDELINES FOR RESIDENTIAL PROPERTIES

Guideline 51: Replacement Windows for Residential Properties

- a. Where window replacement is necessary, the new window should match the historic window in size, type, glazing pattern, and profile.
- b. The number of window panes and the approximate muntin and mullion profile should match the historic window.
- c. Removable, snap-in, or “between the glass” muntins are not historically appropriate.
- d. Maintain the historic window opening size and surrounding trim.
- e. Do not alter the size of the historic window opening to accommodate larger or smaller windows.
- f. Do not remove or cover surrounding trim, including wood and masonry details.
- g. Maintain the window type. For example, do not replace double-hung windows with new casement windows, or replace casement windows with fixed windows.

Guideline 55: Restore Historic Porch Features

- a. Maintain the historic porch or stoop when feasible. Keep wooden surfaces painted and keep up with general maintenance.
- b. If repair or rehabilitation is necessary, keep as much of the historic materials in place as possible. Maintain the porch’s design, proportion, and ornament to the greatest extent possible.
- c. Replace missing porch posts and railings where necessary. Match the size, shape, profile, proportion, and spacing to the original features.
- d. Use of synthetic replacement materials may be allowed if the new material closely approximates the size, scale, texture, and overall appearance of the historic feature.

Guideline 56: Replacement Porches

- a. If porch replacement is necessary in whole or in part, reconstruct it to match the historic porch in size, scale, and overall design. Where possible, detail and ornamentation should be replicated.
- b. Use the same or similar materials wherever feasible.
- c. Avoid applying decorative elements that are not appropriate to the style of the dwelling. Whenever possible, choose accurate details based on historic photographs or similar properties of the same period and style.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review and make determinations on all applications to construct, alter, reconstruct, move or demolish a site or structure within a Historic District whenever “*exterior changes are involved which would affect the historic archeological, or architectural significance of a site or structure, any portion of which is visible or intended to be visible from a public way.*” In reviewing an application and plans, the Commission should consider review criteria, and may decide as to which of said Criteria are applicable.

Staff Findings Prepared By: Jennifer Jean
Infrastructure and Development
125 N Division Street, Suite 304
Salisbury, MD 21801
(410) 548-3170
Date: April 14, 2025

WI-153

Newtown Historic District

Architectural Survey File

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 05-15-2018

**MARYLAND HISTORICAL TRUST
DETERMINATION OF ELIGIBILITY FORM**

Property Name: Newtown Historic District Inventory Number: WI-153
Address: _____ Historic district: ☒ yes ☐ no
City: Salisbury Zip Code: 21801 County: Wicomico
USGS Quadrangle(s): Salisbury
Property Owner: _____ Tax Account ID Number: _____
Tax Map Parcel Number(s): _____ Tax Map Number: 104,106-7
Project: TEA-21 DOE Agency: Maryland Historical Trust
Agency Prepared By: Maryland Historical Trust
Preparer's Name: Nicole Diehlmann Date Prepared: 6/15/2004
Documentation is presented in: MIHP Form WI-153
Preparer's Eligibility Recommendation: ☒ Eligibility recommended ☐ Eligibility not recommended
Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G
Complete if the property is a contributing or non-contributing resource to a NR district/property:
Name of the District/Property: _____
Inventory Number: _____ Eligible: ☐ yes ☐ no Listed: ☐ yes ☐ no
Site visit by MHT Staff ☒ yes ☐ no Name: Nicole Diehlmann Date: 12/15/2003

Description of Property and Justification: *(Please attach map and photo)*

The Newtown Historic District is a mid-19th to early-20th century residential community located in the City of Salisbury. The area is roughly bounded by Broad Street/U.S. Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity.

The Newtown Historic District is comprised of 278 properties. Of the 278 properties, 233 contribute to the district and 45 do not contribute. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended ☒ Eligibility not recommended ☐
Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G
MHT Comments:

Nicole Diehlmann
Reviewer, Office of Preservation Services

Tuesday, June 15, 2004
Date

Peter Kurtze
Reviewer, National Register Program

Tuesday, June 15, 2004
Date

Anne, Shingle Style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended ☒ Eligibility not recommended ☐Criteria: ☒ A ☐ B ☒ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G

MHT Comments:

Nicole Diehlmann

Reviewer, Office of Preservation Services

Peter Kurtze

Reviewer, National Register Program

Tuesday, June 15, 2004

Date

Tuesday, June 15, 2004

Date

Newtown Historic District
WI-153
Salisbury, Wicomico County
1795-1954

The Newtown Historic District is a mid-19th to early-20th century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

Inventory No. WI-153

1. Name of Property

(indicate preferred name)

historic Newtown Historic District

other

2. Location

street and number _____ not for publication

| | | |
|------------|-----------|----------|
| city, town | Salisbury | vicinity |
|------------|-----------|----------|

| | |
|--------|----------|
| county | Wicomico |
|--------|----------|

3. Owner of Property

(give names and mailing addresses of all owners)

| | |
|------|-----------------|
| name | Multiple Owners |
|------|-----------------|

street and number

telephone

| | | | | | |
|------------|-----------|-------|----|----------|-------|
| city, town | Salisbury | state | MD | zip code | 21801 |
|------------|-----------|-------|----|----------|-------|

4. Location of Legal Description

| | | | |
|-------------------------------------|----------------------------|-------|-------|
| courthouse, registry of deeds, etc. | Wicomico County Courthouse | liber | folio |
|-------------------------------------|----------------------------|-------|-------|

| | | | | |
|------------|-----------|-----------------------|------------|---------------|
| city, town | Salisbury | tax map 104, 106, 107 | tax parcel | tax ID number |
|------------|-----------|-----------------------|------------|---------------|

5. Primary Location of Additional Data

- ☐ Contributing Resource in National Register District
☐ Contributing Resource in Local Historic District
☒ Determined Eligible for the National Register/Maryland Register
☐ Determined Ineligible for the National Register/Maryland Register
☐ Recorded by HABS/HAER
☐ Historic Structure Report or Research Report at MHT
 Other:

6. Classification

| Category | Ownership | Current Function | | Resource Count | |
|--|--|--|--|---|-----------------|
| <input checked="" type="checkbox"/> district | <input type="checkbox"/> public | <input type="checkbox"/> agriculture | <input type="checkbox"/> landscape | Contributing | Noncontributing |
| <input type="checkbox"/> building(s) | <input type="checkbox"/> private | <input type="checkbox"/> commerce/trade | <input checked="" type="checkbox"/> recreation/culture | 233 | 45 |
| <input type="checkbox"/> structure | <input checked="" type="checkbox"/> both | <input type="checkbox"/> defense | <input checked="" type="checkbox"/> religion | | |
| <input type="checkbox"/> site | | <input checked="" type="checkbox"/> domestic | <input type="checkbox"/> social | | |
| <input type="checkbox"/> object | | <input type="checkbox"/> education | <input type="checkbox"/> transportation | | |
| | | <input type="checkbox"/> funerary | <input type="checkbox"/> work in progress | 233 | 45 |
| | | <input type="checkbox"/> government | <input type="checkbox"/> unknown | | |
| | | <input type="checkbox"/> health care | <input type="checkbox"/> vacant/not in use | | |
| | | <input type="checkbox"/> industry | <input type="checkbox"/> other: | | |
| | | | | Number of Contributing Resources previously listed in the Inventory | |
| | | | | 12 | |

7. Description

Inventory No. WI-153

Condition

| | |
|---|---------------------------------------|
| <input checked="" type="checkbox"/> excellent | <input type="checkbox"/> deteriorated |
| <input type="checkbox"/> good | <input type="checkbox"/> ruins |
| <input type="checkbox"/> fair | <input type="checkbox"/> altered |

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

The Newtown Historic District is a mid-19th to early-20th century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. The area is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

Newtown is a predominantly residential community on the north side of downtown Salisbury that slowly developed from the mid-19th century into the early 20th century. The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. The district is primarily residential with the exception of a few churches along the southern boundary and some commercial space along Route 13.

Parcels in Newtown were slowly subdivided from a tract of land called "Pemberton's Good Will" beginning in the mid-19th century. Early development was clustered along what is now Broad and Division streets. More development occurred after the Civil War when Isabella, Elizabeth and William streets were partitioned for development from the Poplar Hill Mansion property. The 1877 Atlas for Salisbury shows a street system very close to what exists today, with the exception of Park Avenue, Oakdale Road and Elizabeth Street, which don't appear. Development at that time is clustered on the southern end of the district, principally on Division, Broad, Chestnut and Walnut streets.¹ The neighborhood seems to have been almost built out by the time the September 1899 Sanborn Map was published. That map shows very few vacant parcels left in the community. The area along Oakdale Road, on the property once called The Oaks, was the last portion of the district to be developed.

Despite the long period of development, the Newtown streetscape is rhythmic with an irregular gridiron layout and a relatively consistent setback. Lot sizes are irregular, but the houses are large in scale and placed fairly close together. The houses are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The streets are lined with mature trees.

Newtown is significant for its broad array and distinguished examples of 19th to early 20th century architectural styles. As a result of fires in 1860 and 1886, there are few remaining antebellum houses in Salisbury. Two of them are located in Newtown. Poplar Hill Mansion [WI-8], located at 117 Elizabeth Street, is the oldest known structure in the City of Salisbury. Construction of the two-story, five-bay frame structure with fine federal-style detailing, including a Palladian window, block cornice and decorative fanlight over the entrance door, was begun circa 1795 when Levin Handy purchased the property. This property is currently operated as a house museum. The rear wing of the 1897 Robert D. Grier house [WI-62] at 315 North Division Street, was originally the two-story, five-bay frame Thomas Hooper House which dates to circa 1820. Now functioning as a service wing, the structure was originally a center hall plan house with fine federal detailing.²

The Greek Revival style is well represented in Newtown. Probably the most notable is the three-story, five-bay frame house located at 115 Broad Street, formerly known as "Park Hall," which was the residence of merchant and mill owner General Humphrey Humphreys. According to an inscribed board, the house dates to 1856. The double pile house is three stories tall with a center hall and low pitched roof with wide eaves. The first two stories are clad in weatherboard with 6/6 sash windows while the shorter third story is clad in flush board siding with casement windows. The first and second stories are encased in vertical corner pilasters on which the third floor appears to rest as a classical entablature. The interior also retains Greek-inspired finishes. Similar to this house is the Dr. Cathell Humphreys house (later known as "Mrs. Herold's School") at 325 N. Division Street. This building, constructed c.

¹ Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976), p. 18.

² Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003; Touart, Paul Baker, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files; and "Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 7 Page 1

1860-1870 by General Humphrey Humphrey's brother, is a three-story, three-bay center hall dwelling with weatherboard sheathing on the first two stories and flush board sheathing on the third. The eaves under the hipped roof are marked with large decorative brackets. Other Greek Revival structures remaining in Newtown include Hatfield Manor on Division Street, which was constructed for local merchant Theodore Parsons and his wife, Margaret Bell Parsons. This three-story, five-bay, center-hall structure with flanking two-story wings and a low pitched roof retains its Corinthian columns and bracketed cornice.³

Elihu E. Jackson, a lumber magnate and Governor of Maryland, and his wife Nellie Rider Jackson lived on the large estate known as The Oaks on the north side of Newtown. The house was located on the northwest corner of North Division and West Isabella streets and designed in the Queen Anne style by Jackson C. Gott of Baltimore in 1883-84. At the time, it was the largest house constructed in Salisbury with over twenty rooms. It was located on an elevated site and was decorated with an asymmetrical collection of towers, gables and porches. In August 1887, it was one of the first houses in Salisbury to be electrified. The structure was demolished in the 1920s to make way for new residential development.⁴

Other notable Queen Anne dwellings in Newtown include the 1887-8 Gillis-Grier house [WI-13] at the corner of North Division and William streets (401 N. Division Street). Built for merchant James Cannon, the asymmetrical house sports a three-story octagonal tower with conical roof, brick chimneys with corbelled caps and terra cotta and woodwork panels. In 1897, Robert D. Grier, a foundry owner, purchased property at 501 North Division Street. He moved the existing dwelling and hired Salisbury builder William J. Johnson to construct a new house on the front of the property. The new portion of the house contains many Queen Anne details including a three story circular tower with conical roof and fishscale shingles. Throughout the Newtown district, there are many more modest dwellings with Queen Anne detailing. One example is the 1898 William M. Day house [WI-245] at the corner of East Isabella Street and Poplar Hill Avenue (119 E. Isabella Street). This two-and-a-half story house is sheathed in a mix of narrow weatherboards, decorative panels and fish scale shingles, and contains multisided bays.⁵

The Perry-Cooper house [WI-106] at the corner of William and Gay streets (200 E. William Street) in Newtown is an outstanding example of the Second Empire style. It was constructed in 1897 for Thomas Perry, the owner of the *Salisbury Advertiser*. It maintains its distinctive mansard roof and circular front porch, and is notable for the unusual swag design found in the cornice and window lintels.⁶

The American Four-Square was a popular house type in the early 20th century. They are defined by their two-and-a-half story height, square massing and hipped or pyramidal roof. They were often ornamented with Colonial Revival and Craftsman design motifs. One such example in Newtown is the 1910 L. Atwood Bennett house on Elizabeth Street. Constructed for a Salisbury attorney, the dwelling is notable for its neoclassical porch and exposed rafter ends.⁷

³ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁴ Touart, *At the Crossroads*.

⁵ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁶ Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

⁷ Touart, *At the Crossroads*.

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 7 Page 2

The properties on Oakdale and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, differ from the rest of the district. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style. The eastern half of the block between Isabella Street and Oakdale Road is now a community park.

The Newtown neighborhood also contains several significant institutional buildings. These include the Charles H. Chipman Cultural Center, which was formerly the John Wesley M.E. Church. The John Wesley M.E. congregation was formed in 1837 by a group of free blacks. They constructed a one-story frame church on a Newtown lot they purchased in 1838 at what is now 321 Broad Street. The church was renovated and raised to two stories in 1880, and in 1901 a tower was added to the front. The building now houses a museum interpreting local African-American history.⁸

In 1859, Salisbury's Wicomico Presbyterian Church congregation began construction of a large brick church with Romanesque Revival details at what is now 129 Broad Street. This larger church replaced their former place of worship, a one-story building on Broad Street. The church with its rounded arched windows was dedicated on March 24, 1861. The entrance tower and steeple, designed by Baltimore architectural firm Owens & Sisco, was added in 1910.⁹

The original Asbury Methodist Episcopal Church was destroyed by the 1886 fire, but was reconstructed in 1887-8. The new church, financed by wealthy lumber merchant William H. Jackson, was designed by Baltimore architect Jackson C. Gott in the Romanesque Revival style and constructed in Port Deposit stone. The church was unique because the sanctuary was oriented on a diagonal with a corner pulpit and theatre-style seating. The building now houses the Faith Community Church at 219 N. Division Street.¹⁰

Trinity Methodist Church [WI-64], at the corner of North Division and High Street, was designed by the Baltimore architectural firm, C.E. Cassell & Son, and constructed in 1904-5. Built in the Richardsonian Romanesque style with Port Deposit granite and limestone accents, the building is notable for its windows made by the studios of Louis Comfort Tiffany.¹¹

⁸ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

⁹ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

¹⁰ Touart, *At the Crossroads*.

¹¹ "Architectural Walking Tour of Newtown Historic District."

8. Significance

Inventory No. WI-153

| Period | Areas of Significance | Check and justify below | | | |
|---|--|--|---|--|--|
| <input type="checkbox"/> 1600-1699 | <input type="checkbox"/> agriculture | <input type="checkbox"/> economics | <input type="checkbox"/> health/medicine | <input type="checkbox"/> performing arts | |
| <input checked="" type="checkbox"/> 1700-1799 | <input type="checkbox"/> archeology | <input type="checkbox"/> education | <input type="checkbox"/> industry | <input type="checkbox"/> philosophy | |
| <input checked="" type="checkbox"/> 1800-1899 | <input checked="" type="checkbox"/> architecture | <input type="checkbox"/> engineering | <input type="checkbox"/> invention | <input type="checkbox"/> politics/government | |
| <input checked="" type="checkbox"/> 1900-1999 | <input type="checkbox"/> art | <input type="checkbox"/> entertainment/ | <input type="checkbox"/> landscape architecture | <input type="checkbox"/> religion | |
| <input type="checkbox"/> 2000- | <input type="checkbox"/> commerce | <input type="checkbox"/> recreation | <input type="checkbox"/> law | <input type="checkbox"/> science | |
| | <input type="checkbox"/> communications | <input type="checkbox"/> ethnic heritage | <input type="checkbox"/> literature | <input type="checkbox"/> social history | |
| | <input type="checkbox"/> community planning | <input type="checkbox"/> exploration/ | <input type="checkbox"/> maritime history | <input type="checkbox"/> transportation | |
| | <input type="checkbox"/> conservation | <input type="checkbox"/> settlement | <input type="checkbox"/> military | <input type="checkbox"/> other: _____ | |

Specific dates 1795-1954

Architect/Builder

Construction dates

Evaluation for:

☒ National Register

☒ Maryland Register

☐ not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance projects, complete evaluation on a DOE Form – see manual.)

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the early 20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. The neighborhood maintains its integrity of location, design, setting, materials, association and feeling. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

The City of Salisbury was established in 1732 on fifteen acres of land between the north and east branches of the Wicomico River. Despite its location on the dividing line of what was then Somerset and Worcester counties, by the end of the 18th century, Salisbury had developed into a commercial center. According to architectural historian Paul Touart, much of this growth was fueled by "the speculation and subdivision of additional parts of "Pemberton's Good Will," one of the principal tracts on which the city was laid out. The newly partitioned land was located along the Salisbury-Laurel [Delaware] Road between High Street and modern-day West Isabella Street."¹² A large mill complex was established in 1769 on the north prong of the Wicomico River by Littleton Dennis and Josiah and Gilliss Polk which by 1774 contained two grist mills, a bolting mill and a saw mill on eighty acres of land. The surviving 1798 Direct Tax records for Somerset County show a diversity of commercial, industrial and domestic structures located primarily between the two forks of the Wicomico River. Almost a third of the dwellings were classified as "new," indicating the town was experiencing a growth spurt.¹³

Outside of this developed area were several large land holdings, including the 357-acre plantation owned by Levin Handy. This property was called Poplar Hill, but was originally a portion of "Pemberton's Good Will." Levin Handy purchased the property in 1795 and shortly thereafter began construction of the two-story, five-bay frame structure with fine federal-style detailing now known as Poplar Hill Mansion. The house was not completed by Handy, however. In 1805, John Huston, a doctor who also owned and operated a downtown bank, acquired the property and finished construction.¹⁴

During the late 18th century, a 74.75-acre parcel of "Pemberton's Good Will," located between what is now High and West Isabella streets, was acquired by another of Salisbury's early physicians, Dr. Martin Luther Haynie. Dr. Haynie subdivided the land into smaller, irregularly-sized parcels that fronted the west side of what was then known as Dividing or Boundary Street. The 1798 Federal Direct tax assessment indicates that these properties were located in "Haynie's Settlement" and were mostly unimproved. It is unclear how much development occurred there in the first quarter of the nineteenth century, but by the 1820s, the area was referred to as "New Town" in property transfers.¹⁵

¹² Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

¹³ Touart, *At the Crossroads*; Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood;" and "Architectural Walking Tour of Newtown Historic District."

¹⁴ Touart, *At the Crossroads*.

¹⁵ Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

Maryland Historical Trust

Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District
Continuation Sheet

Number 8 Page 1

Salisbury continued to grow in the early 19th century, mostly because of its commercial and industrial enterprises and its location on the Wicomico River and the primary north-south road of the Delmarva Peninsula. The area of Newtown was incorporated into Salisbury's corporate limits in 1847. At that time, most of the construction activity within Newtown was limited to parcels bordering on Broad, High, and Dividing streets. The additional acreage within the current-day boundaries of Newtown was still owned by Dr. John and Sarah Huston of Poplar Hill.¹⁶

By the time the railroad reached Salisbury in April 1860, the town boundaries had expanded dramatically and the population neared 2,000 residents. The next several years brought setbacks for the town—an August 1860 fire devastated much of the town, and by 1862 the town was occupied by federal forces seeking confederate sympathizers. By the end of the war, however, Salisbury was recovering from the ravages of fire. Many residents chose to rebuild their houses outside of the commercial district in Newtown. The pace of construction was brisk along Division Street. Three new east-west streets were created from land subdivided from the Poplar Hill property. They were named after the children of Poplar Hill's owners, John and Sarah Huston—Isabella, Elizabeth and William.¹⁷

In 1867, the Maryland legislature passed a new constitution with an amendment authorizing the partition of Somerset and Worcester counties and the creation of a new jurisdiction named after the Wicomico River. Salisbury became the county seat of the new Wicomico County and grew in influence. During the 1870s, an extensive railroad network was developed on the Eastern Shore. Many of these lines intersected at Salisbury, transforming the town into a transportation hub. At the same time, dredging and other improvements to the Wicomico River improved the town's shipping capacity. These positive economic factors lead to a building boom in Salisbury that would last to the end of the century.¹⁸

Fire struck the town once again on October 18, 1886. Ignited in a livery stable downtown, the fire quickly spread throughout the city. Wet blankets were effectively used to protect the roofs of Newtown houses from catching on fire. With help from the Wilmington, Pocomoke City and Crisfield fire departments, the north and easternmost portions of the blaze were extinguished by Broad and Division streets, saving the residence of Dr. Eugene Humphreys [the General Humphrey Humphreys House] at 115 Broad Street. Salisbury quickly recovered from this second major fire and Newtown once again became a center of residential construction.¹⁹

As a result of its ever-growing industrial, commercial and agricultural economy, from the 1880s to the 1920s, Salisbury's population grew from nearly 4,000 to over 10,000 residents. This population growth spurred demand for housing. To meet this need, some local businessmen constructed rowhouse units on smaller parcels of land. There is a series of such brick rowhouse units in Newtown on Poplar Hill Avenue, but the neighborhood remained one of primarily single-family detached houses.²⁰

The properties on Oakdale Road and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, were the last to be developed and represent building trends in the early 20th century. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style.

The Newtown Historic District contains examples of almost all architectural styles popular in the United States from the late 18th to the early 20th century. These high-style structures were built by Salisbury's elite and represent the City's growing importance on Maryland's Eastern Shore.

¹⁶ Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

¹⁷ Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

¹⁸ Touart, *At the Crossroads*.

¹⁹ Touart, *At the Crossroads*.

²⁰ Touart, *At the Crossroads*.

9. Major Bibliographical References

Inventory No. WI-153

"Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003.

-----, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files.

Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976).

10. Geographical Data

Acreage of surveyed property 74.98
Acreage of historical setting 74.98
Quadrangle name Salisbury

Quadrangle scale: 1:24,000

Verbal boundary description and justification

The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. This area contains a concentrated collection of significant historic properties that were originally subdivided from the tract "Pemberton's Good Will." Some properties facing the west side of U.S. Business Route 13 are not included in the district because they do not retain sufficient integrity to contribute to the district's significance.

11. Form Prepared by

| | | | |
|-----------------|---------------------------|-----------|---------------|
| name/title | Nicole A. Diehlmann | | |
| organization | Maryland Historical Trust | date | June 30, 2004 |
| street & number | 100 Community Place | telephone | 410-514-7625 |
| city or town | Crownsville | state | MD |

The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust
DHCD/DHCP
100 Community Place
Crownsville, MD 21032-2023
410-514-7600

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-------|---------------|
| | Contributing | 0107 | 1002 | 2 | 1 | |
| | Contributing | 0107 | 1863 | | PAR B | |
| 209 ASBURY PL | | 0107 | 0749 | | | |
| 211 ASBURY PL | | 0107 | 0750 | | | |
| 213 ASBURY PL | | 0107 | 0751 | | | |
| 101 BROAD ST | Contributing | 0107 | 0753 | | | |
| 115 BROAD ST | Contributing | 0107 | 0752 | | | WI-14 |
| 123 BROAD ST | Contributing | 0107 | 0748 | | | |
| 207 BROAD ST | Contributing | 0104 | 0747 | | | |
| 221 BROAD ST | Contributing | 0107 | 0745 | | | WI-151 |
| 225 BROAD ST | Contributing | 0104 | 0744 | | | |
| 227 BROAD ST | Contributing | 0107 | 0743 | | | |
| 325 BROAD ST | Contributing | 0107 | 0740 | | 2 | |
| 323 N BROAD ST | Contributing | 0107 | 1864 | | 2 | |
| 327 N BROAD ST | | 0107 | 1862 | 0 | 0 | |
| 112 CHESTNUT ST | | 0107 | 0746 | | | |
| 107 E CHESTNUT ST | | 0107 | 0758 | | | |
| 109 E CHESTNUT ST | Contributing | 0107 | 0759 | | | |
| 119 E CHESTNUT ST | Contributing | 0107 | 0760 | | | |
| 121 E CHESTNUT ST | Contributing | 0107 | 0761 | | | |
| 104 W CHESTNUT ST | Contributing | 0107 | 0995 | 5 | 5 | |
| 107 W CHESTNUT ST | Contributing | 0107 | 0957 | 4 | 28 | |
| 111 W CHESTNUT ST | Contributing | 0107 | 0958 | 4 | 1 | |
| 106 COLONIAL CT | Contributing | 0107 | 0952 | 4 | 23 | |
| 104 S COLONIAL CT | Contributing | 0107 | 0953 | 4 | 25 | |
| 217 N DIVISION ST | Contributing | 0107 | 0754 | | | |
| 218 N DIVISION ST | Contributing | 0107 | 0999 | 5 | 4 | |
| 224 N DIVISION ST | Contributing | 0107 | 0998 | 5 | 3 | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 225 N DIVISION ST | Contributing | 0107 | 0757 | | | |
| 226 N DIVISION ST | Contributing | 0107 | 0997 | | | |
| 228 N DIVISION ST | Contributing | 0107 | 0996 | | | |
| 300 N DIVISION ST | Contributing | 0107 | 0956 | | | |
| 301 N DIVISION ST | | 0107 | 0756 | | | |
| 302 N DIVISION ST | Contributing | 0107 | 0955 | 4 | 26 | |
| 304 N DIVISION ST | | 0107 | 0954 | | | |
| 305 N DIVISION ST | Contributing | 0107 | 0773 | | | |
| 308 N DIVISION ST | Contributing | 0107 | 0951 | 4 | 24 | |
| 309 N DIVISION ST | Contributing | 0107 | 0772 | | | |
| 312 N DIVISION ST | Contributing | 0107 | 0950 | 4 | 22 | |
| 313 N DIVISION ST | Contributing | 0107 | 0774 | | | |
| 314 N DIVISION ST | | 0107 | 0949 | 4 | 21 | |
| 315 N DIVISION ST | Contributing | 0107 | 0810 | | | WI-62 |
| 316 N DIVISION ST | Contributing | 0107 | 0948 | 4 | 20 | |
| 319 N DIVISION ST | Contributing | 0107 | 0811 | | | |
| 320 N DIVISION ST | Contributing | 0107 | 0947 | 4 | 19A | WI-110 |
| 321 N DIVISION ST | Contributing | 0107 | 0812 | | | |
| 322 N DIVISION ST | Contributing | 0107 | 0946 | | 0 | |
| 324 N DIVISION ST | Contributing | 0107 | 0945 | 4 | 17 | |
| 325 N DIVISION ST | Contributing | 0107 | 0813 | | | |
| 326 N DIVISION ST | Contributing | 0107 | 1867 | | 0 | |
| 328 N DIVISION ST | Contributing | 0107 | 0943 | 4 | 15 | |
| 401 N DIVISION ST | Contributing | 0107 | 0678 | | | WI-13 |
| 403 N DIVISION ST | Contributing | 0107 | 0677 | 2 | 23 | |
| 407 N DIVISION ST | Contributing | 0107 | 0676 | | | |
| 408 N DIVISION ST | Contributing | 0107 | 0941 | | 0 | |
| 501 N DIVISION ST | Contributing | 0104 | 0635 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 509 N DIVISION ST | Contributing | 0104 | 0634 | | | WI-360 |
| 601 N DIVISION ST | Contributing | 0104 | 0608 | | | WI-361 |
| 605 N DIVISION ST | Contributing | 0104 | 0607 | | | |
| 607 N DIVISION ST | Contributing | 0104 | 0606 | | | |
| 611 N DIVISION ST | Contributing | 0104 | 0605 | | | |
| 613 N DIVISION ST | Noncontributing | 0104 | 0604 | | | |
| 102 ELIZABETH ST | Contributing | 0104 | 0633 | | | |
| 103 ELIZABETH ST | Contributing | 0104 | 0609 | | | WI-364 |
| 104 ELIZABETH ST | Contributing | 0104 | 0632 | | | |
| 105 ELIZABETH ST | Contributing | 0104 | 0610 | | | |
| 106 ELIZABETH ST | Contributing | 0104 | 0631 | | | |
| 107 ELIZABETH ST | Contributing | 0104 | 0611 | | | |
| 108 ELIZABETH ST | Noncontributing | 0104 | 0630 | | | |
| 109 ELIZABETH ST | Contributing | 0104 | 0612 | | | |
| 111 ELIZABETH ST | Contributing | 0104 | 0613 | | | |
| 113 ELIZABETH ST | Contributing | 0104 | 0614 | | | |
| 114 ELIZABETH ST | Contributing | 0104 | 0628 | | | |
| 116 ELIZABETH ST | Contributing | 0104 | 0627 | | | |
| 117 ELIZABETH ST | Contributing | 0104 | 0615 | | | WI-8 |
| 202 ELIZABETH ST | Contributing | 0104 | 0624 | | | |
| 203 ELIZABETH ST | Contributing | 0104 | 0616 | | | |
| 204 ELIZABETH ST | Contributing | 0104 | 0623 | | | |
| 205 ELIZABETH ST | Contributing | 0104 | 0617 | | | |
| 206 ELIZABETH ST | | 0104 | 0622 | | | |
| 208 ELIZABETH ST | Contributing | 0104 | 0621 | | | |
| 210 ELIZABETH ST | Contributing | 0104 | 0620 | | | |
| 306 ELLEN ST | | 0107 | 0702 | | | |
| 324 ELLEN ST | Contributing | 0107 | 0706 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|-------------------|------------------------|------|--------|-------|-----|---------------|
| 305 GAY ST | Contributing | 0107 | 0796 | | | |
| 306 GAY ST | Contributing | 0107 | 0797 | | | |
| 307 GAY ST | Contributing | 0107 | 0795 | | | |
| 308 GAY ST | Contributing | 0107 | 0798 | | | |
| 309 GAY ST | Contributing | 0107 | 0794 | | | |
| 310 GAY ST | | 0107 | 0799 | | | |
| 311 GAY ST | Contributing | 0107 | 0793 | | | |
| 312 GAY ST | Contributing | 0107 | 0800 | | | |
| 313 GAY ST | Contributing | 0107 | 0792 | | | |
| 317 HAPPY LANE | | 0107 | 0730 | | | |
| 101 HIGH ST | | 0107 | 1000 | 6 | 1 | |
| 105 HIGH ST | Contributing | 0107 | 1001 | 6 | 2 | |
| 107 HIGH ST | Contributing | 0107 | 1005 | | | |
| 109 HIGH ST | Contributing | 0107 | 1006 | 6 | 4 | |
| 106 HIGH ST | Contributing | | 1003 | | | |
| 111 HIGH ST | Contributing | | 1007 | | | |
| 113 HIGH ST | | | 1008 | | | |
| 102 E ISABELLA ST | Contributing | 0107 | 0675 | | | |
| 103 E ISABELLA ST | Contributing | 0104 | 0636 | | | WI-328 |
| 104 E ISABELLA ST | Contributing | 0107 | 0674 | | | |
| 105 E ISABELLA ST | Contributing | 0104 | 0637 | | | |
| 106 E ISABELLA ST | Contributing | 0107 | 0673 | | | |
| 107 E ISABELLA ST | Contributing | 0104 | 0638 | | | |
| 108 E ISABELLA ST | Contributing | 0107 | 0672 | | | |
| 109 E ISABELLA ST | Contributing | 0104 | 0639 | | | |
| 110 E ISABELLA ST | Contributing | 0107 | 0671 | | | |
| 111 E ISABELLA ST | Contributing | 0104 | 0640 | | | |
| 112 E ISABELLA ST | Contributing | 0107 | 0670 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|--------------------|------------------------|------|--------|-------|-----|---------------|
| 113 E ISABELLA ST | Contributing | 0104 | 0641 | | | |
| 114 E ISABELLA ST | Contributing | 0107 | 0669 | | | |
| 116 E ISABELLA ST | Contributing | 0107 | 0668 | | | |
| 117 E ISABELLA ST | Contributing | 0104 | 0642 | | 2 | |
| 118 E ISABELLA ST | Contributing | 0107 | 0667 | | | |
| 119 E ISABELLA ST | Contributing | 0104 | 0643 | | | WI-245 |
| 120 E ISABELLA ST | Contributing | 0107 | 0664 | | | |
| 204 E ISABELLA ST | Contributing | 0107 | 0662 | | | |
| 205 E ISABELLA ST | Contributing | 0104 | 0648 | | | |
| 206 E ISABELLA ST | Contributing | 0107 | 0661 | | | |
| 207 E ISABELLA ST | Contributing | 0104 | 0649 | | | |
| 209 E ISABELLA ST | Contributing | 0104 | 0650 | | | |
| 210 E ISABELLA ST | Contributing | 0107 | 0660 | | | |
| 211 E ISABELLA ST | Contributing | 0104 | 0651 | | | |
| 213 E ISABELLA ST | Contributing | 0104 | 0652 | | | |
| 214 E ISABELLA ST | Contributing | 0107 | 0659 | | | |
| 215 E ISABELLA ST | Contributing | 0104 | 0653 | | | |
| 216 E ISABELLA ST | | 0107 | 0658 | | | |
| 220 E ISABELLA ST | Contributing | 0107 | 0657 | | | |
| 222 E ISABELLA ST | Contributing | 0107 | 0656 | | | |
| 104 W ISABELLA ST | Contributing | 0107 | 0976 | 3 | 6 | |
| 108 W ISABELLA ST | Contributing | 0107 | 0975 | 3 | 5 | |
| 110 W ISABELLA ST | Contributing | 0107 | 0974 | 3 | 4 | |
| 205 W ISABELLA ST | Contributing | 0104 | 0925 | | 24 | |
| 208 W ISABELLA ST | Contributing | 0106 | 0977 | | 1 | |
| LEMMON HILL LN | | | 1010 | | | |
| 305 LEMMON HILL LN | Contributing | | 1009 | | | |
| 313 LEMMON HILL LN | Contributing | | 1011 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|--------------------|------------------------|------|--------|-------|-------|---------------|
| 315 LEMMON HILL LN | Contributing | | 1012 | | | |
| 309 LESTER CT | Contributing | 0107 | 0804 | | | |
| 101 OAKDALE ROAD | Noncontributing | 0104 | 0912 | 3 | 1 2 3 | |
| 105 OAKDALE ROAD | Noncontributing | 0104 | 0913 | | | |
| 107 OAKDALE ROAD | Contributing | 0104 | 0914 | | | |
| 201 OAKDALE ROAD | Contributing | 0104 | 0915 | | | |
| 207 OAKDALE ROAD | Noncontributing | 0104 | 0916 | | 10A | |
| 208 OAKDALE ROAD | | 0104 | 0931 | | | |
| 212 OAKDALE ROAD | Noncontributing | 0104 | 0930 | | | |
| 213 OAKDALE ROAD | Noncontributing | 0104 | 0917 | | | |
| 215 OAKDALE ROAD | Contributing | 0104 | 0918 | | | |
| 219 OAKDALE ROAD | | 0104 | 0919 | | | |
| 221 OAKDALE ROAD | | 0104 | 0920 | | | |
| 223 OAKDALE ROAD | Noncontributing | 0104 | 0921 | | | |
| 225 OAKDALE ROAD | Noncontributing | 0104 | 0927 | | | |
| 300 PARK AVE | Contributing | 0106 | 0991 | 2 | 1 | |
| 302 PARK AVE | Contributing | 0106 | 0990 | 2 | 2 | |
| 303 PARK AVE | Contributing | 0107 | 0959 | 4 | 2 | |
| 304 PARK AVE | Contributing | 0106 | 0989 | 2 | 3 | |
| 305 PARK AVE | Contributing | 0107 | 0960 | 4 | 4 | |
| 306 PARK AVE | Contributing | 0106 | 0988 | 2 | 4 | |
| 307 PARK AVE | Contributing | 0107 | 0961 | 4 | 4 | |
| 308 PARK AVE | Contributing | 0106 | 0987 | 2 | 5 | |
| 309 PARK AVE | Contributing | 0107 | 0962 | | | |
| 310 PARK AVE | Contributing | 0106 | 0986 | 2 | 6 | |
| 311 PARK AVE | Contributing | 0107 | 0963 | 4 | 6 | |
| 312 PARK AVE | Contributing | 0106 | 0985 | 2 | 7 | |
| 314 PARK AVE | Contributing | 0106 | 0984 | 2 | 8 | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|---------------------|------------------------|------|--------|-------|-------|---------------|
| 315 PARK AVE | Contributing | 0107 | 0964 | | | |
| 316 PARK AVE | Contributing | 0106 | 0983 | | 4 | |
| 317 PARK AVE | Contributing | 0107 | 0965 | 4 | 8 | |
| 318 PARK AVE | Contributing | 0106 | 0982 | 2 | 10 | |
| 319 PARK AVE | Contributing | 0107 | 0966 | 4 | 9 | |
| 320 PARK AVE | Contributing | 0106 | 0981 | 2 | 11 | |
| 321 PARK AVE | Contributing | 0107 | 0967 | 4 | 10 | |
| 323 PARK AVE | Contributing | 0107 | 0968 | | 0 | |
| 400 PARK AVE | Contributing | 0106 | 0980 | 2 | 12 | |
| 402 PARK AVE | Contributing | 0106 | 0979 | 2 | 13 | |
| 403 PARK AVE | Contributing | 0107 | 0972 | 3 | 2 | |
| 405 PARK AVE | Contributing | 0107 | 0973 | 3 | 3 4 | |
| 406 PARK AVE | Contributing | 0106 | 0978 | 2 | 14 | |
| 500 PARK AVE | Contributing | 0104 | 0928 | 2 | 5 6 | |
| 504 PARK AVE | Contributing | 0104 | 0932 | | | |
| 507 PARK AVE | Contributing | 0104 | 0936 | | | |
| 508 PARK AVE | Contributing | 0104 | 0933 | | | |
| 511 PARK AVE | Contributing | 0104 | 0937 | | | |
| 513 PARK AVE | Noncontributing | 0104 | 0938 | 1 | 14 17 | |
| 519 PARK AVE | Noncontributing | 0104 | 0939 | | | |
| 106 PARSONS ST | Noncontributing | 0107 | 0807 | | | |
| 107 PARSONS ST | Contributing | 0107 | 0808 | | | |
| 108 PARSONS ST | Contributing | 0107 | 0806 | | | |
| 109 PARSONS ST | Contributing | 0107 | 0809 | | | |
| 110 PARSONS ST | Contributing | 0107 | 0803 | | | |
| 112 PARSONS ST | Contributing | 0107 | 0802 | | | |
| 114 PARSONS ST | Contributing | 0107 | 0801 | | | |
| 300 POPLAR HILL AVE | Noncontributing | 0107 | 0742 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|---------------------|------------------------|------|--------|-------|-----|---------------|
| 304 POPLAR HILL AVE | Contributing | 0107 | 0741 | | | |
| 310 POPLAR HILL AVE | Contributing | 0107 | 0782 | | | |
| 314 POPLAR HILL AVE | Contributing | 0107 | 0783 | | | |
| 316 POPLAR HILL AVE | Contributing | 0107 | 0784 | | | |
| 318 POPLAR HILL AVE | Contributing | 0107 | 0785 | | | |
| 319 POPLAR HILL AVE | Contributing | 0107 | 0718 | 3 | 9 | |
| 320 POPLAR HILL AVE | Contributing | 0107 | 0786 | | | |
| 321 POPLAR HILL AVE | | 0107 | 0717 | | | |
| 322 POPLAR HILL AVE | Contributing | 0107 | 0787 | | | |
| 323 POPLAR HILL AVE | Contributing | 0107 | 0716 | | | |
| 324 POPLAR HILL AVE | Contributing | 0107 | 0788 | | | |
| 325 POPLAR HILL AVE | | 0107 | 0715 | | | |
| 326 POPLAR HILL AVE | Contributing | 0107 | 0789 | | | |
| 327 POPLAR HILL AVE | | 0107 | 0714 | | | |
| 329 POPLAR HILL AVE | Contributing | 0107 | 0713 | | | |
| 404 POPLAR HILL AVE | Contributing | 0107 | 0687 | | | |
| 405 POPLAR HILL AVE | Contributing | 0107 | 0690 | | 3A | |
| 406 POPLAR HILL AVE | Contributing | 0107 | 0666 | | | |
| 407 POPLAR HILL AVE | Contributing | 0107 | 0689 | | 2 | |
| 408 POPLAR HILL AVE | Contributing | 0107 | 0665 | | | |
| 409 POPLAR HILL AVE | Contributing | 0107 | 0688 | | 32 | |
| 411 POPLAR HILL AVE | Contributing | 0107 | 0663 | | | WI-246 |
| 501 POPLAR HILL AVE | Contributing | 0104 | 0647 | | | |
| 504 POPLAR HILL AVE | Contributing | 0104 | 0644 | | 3 | |
| 505 POPLAR HILL AVE | Contributing | 0104 | 0646 | | | |
| 507 POPLAR HILL AVE | Contributing | 0104 | 0645 | | | |
| 508 POPLAR HILL AVE | Contributing | 0104 | 0626 | | | |
| 511 POPLAR HILL AVE | Contributing | 0104 | 0625 | | | WI-247 |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|----------------------|------------------------|------|--------|-------|-----|---------------|
| 315 E RAILROAD AVE | Contributing | 0107 | 0986 | | | |
| 416 N SALISBURY BLVD | Contributing | 0107 | 0655 | | | |
| 510 N SALISBURY BLVD | Contributing | 0104 | 0654 | | | |
| 104 WALNUT ST | | 0107 | 0771 | | | |
| 107 WALNUT ST | Contributing | 0107 | 0775 | | | |
| 108 WALNUT ST | Contributing | 0107 | 0769 | | | |
| 110 WALNUT ST | | 0107 | 0755 | | | |
| 111 WALNUT ST | Contributing | 0107 | 0776 | | | |
| 113 WALNUT ST | Contributing | 0107 | 0777 | | | |
| 114 WALNUT ST | Contributing | 0107 | 0767 | | | |
| 115 WALNUT ST | Contributing | 0107 | 0778 | | | |
| 116 WALNUT ST | Contributing | 0107 | 0766 | | | |
| 119 WALNUT ST | Contributing | 0107 | 0779 | | | |
| 200 WALNUT ST | Contributing | 0107 | 0765 | | | |
| 201 WALNUT ST | | 0107 | 0780 | | | |
| 204 WALNUT ST | Contributing | 0107 | 0764 | | | |
| 205 WALNUT ST | Contributing | 0107 | 0781 | | | |
| 206 WALNUT ST | Contributing | 0107 | 0763 | | | |
| 208 WALNUT ST | | 0107 | 0762 | | | |
| 100 E WILLIAM ST | Noncontributing | 0107 | 0814 | | | |
| 104 E WILLIAM ST | Contributing | 0107 | 0815 | | | |
| 106 E WILLIAM ST | Contributing | 0107 | 0816 | | | |
| 107 E WILLIAM ST | Contributing | 0107 | 0679 | | | |
| 108 E WILLIAM ST | Contributing | 0107 | 0817 | | | |
| 109 E WILLIAM ST | Contributing | 0107 | 0680 | | | |
| 110 E WILLIAM ST | Contributing | 0107 | 0818 | | | |
| 111 E WILLIAM ST | Contributing | 0107 | 0681 | | | |
| 112 E WILLIAM ST | Contributing | 0107 | 0819 | | | |

Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

| Address | Contributing Resource? | Map | Parcel | Block | Lot | Inventory No. |
|------------------|------------------------|------|--------|-------|-----|---------------|
| 113 E WILLIAM ST | Noncontributing | 0107 | 0682 | | | |
| 114 E WILLIAM ST | Contributing | 0107 | 0820 | | | |
| 115 E WILLIAM ST | Contributing | 0107 | 0683 | | | |
| 200 E WILLIAM ST | Contributing | 0107 | 0791 | | | WI-106 |
| 201 E WILLIAM ST | Contributing | 0107 | 0684 | | | |
| 202 E WILLIAM ST | Contributing | 0107 | 0790 | | | |
| 203 E WILLIAM ST | Contributing | 0107 | 0685 | | | |
| 205 E WILLIAM ST | Contributing | 0107 | 0686 | | | |
| 300 E WILLIAM ST | Contributing | 0107 | 0712 | | | |
| 301 E WILLIAM ST | Contributing | 0107 | 0692 | | 29A | |
| 303 E WILLIAM ST | Contributing | 0107 | 0694 | I | 26A | |
| 304 E WILLIAM ST | Contributing | 0107 | 0711 | | | |
| 305 E WILLIAM ST | Contributing | 0107 | 0694 | I | 27B | |
| 306 E WILLIAM ST | Contributing | 0107 | 0710 | | | |
| 307 E WILLIAM ST | Contributing | 0107 | 0695 | | | |
| 308 E WILLIAM ST | Contributing | 0107 | 0709 | | | |
| 309 E WILLIAM ST | Contributing | 0107 | 0696 | | | |
| 310 E WILLIAM ST | Contributing | 0107 | 0708 | | | |
| 311 E WILLIAM ST | Contributing | 0107 | 0697 | | 3 | |
| 312 E WILLIAM ST | Contributing | 0107 | 0707 | | | |
| 102 W WILLIAM ST | Contributing | 0107 | 0971 | 4 | 14 | |
| 104 W WILLIAM ST | Contributing | 0107 | 0970 | 4 | 13 | |
| 108 W WILLIAM ST | Contributing | 0107 | 0969 | | 0 | |
| 108 WILSON ST | | 0104 | 0603 | | | |
| 120 WILSON ST | Noncontributing | 0104 | 0602 | | | |
| 122 WILSON ST | Noncontributing | 0104 | 0601 | | | |

W1-153
 NEWTOWN HD
 Salisbury Quad

18

SALISBURY BUSINESS REFERENCES.

Office.
 S. F. TOADYNER, Clerk of the Court.
 L. T. HUMPHREYS, Deputy Clerk.
 WILLIAM BURKHEAD, Register of Wills.
 W. H. CATWELL, Foreman.
 JAMES GILLIES, Judge of Orphans' Court.
 RICHARD P. DABNEY, Commissioner.
 SAM'L E. FOGG.

Attorneys at Law.
 LEMUEL MALONE, Attorney at Law.
 S. STAPLEY TOADYNER, " "
 J. A. PARSONS, " "
 THOMAS HUMPHREYS, " "

Carrriage and Blacksmiths.
 T. B. FERRERY, Blacksmith and Carriage-maker.
 All work promptly and neatly done. Shop on Spring Hill Ave.
 JAMES L. HENRY, Blacksmith and Wagonwright.
 Shop at his residence.

Dry Goods, Clothing and Groceries.
 JOHN WHITE, Dealer in Dry Goods, Groceries, Hardware, Cutlery, etc., No. 101 Main St.
 W. A. AND S. A. GRAM, Dealers in Cloth, Dry Goods, Groceries, etc., No. 47 Main St.
 B. L. WILLES AND SON, Wholesale and Retail Dealers in Groceries, Provisions, Hardware, Clothing, etc., No. 101 Main St.
 J. T. RAYMAN, Dealer in Groceries, Tobacco, Station and General Merchandise. No. 101 Main St.

Editors.
 LEMUEL MALONE, Editor of the "Salisbury Advertiser."
 F. C. KELL, Editor and Publisher of the "Eastern Shoreman."

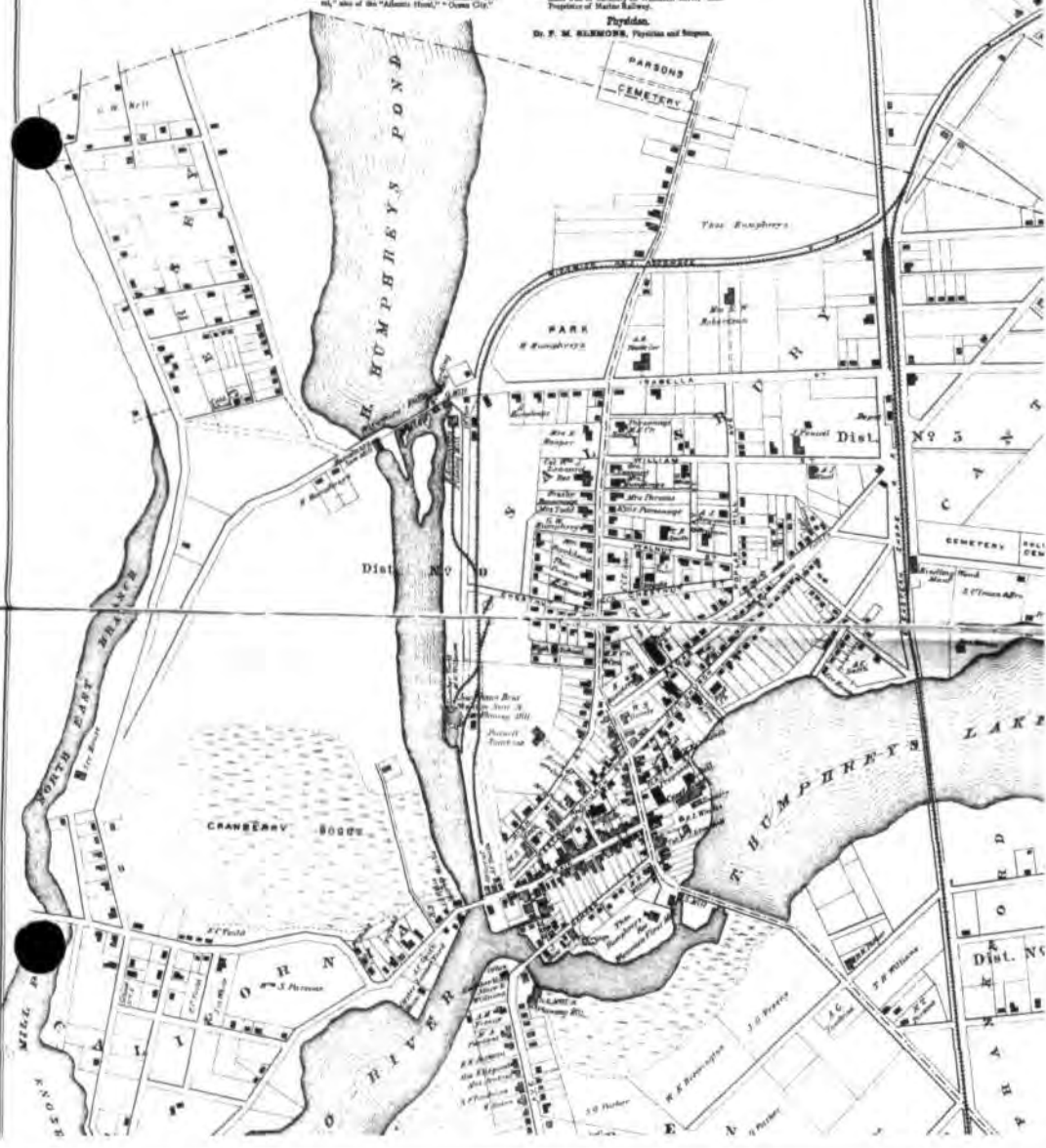
Print Dealer.
 W. H. CATWELL, Dealer in, and Printer of, all kinds of Printing. No. 101 Main St.

Hotel.
 JOHN THAYER, Proprietor of the "Palmetto Hotel," No. 101 Main St.

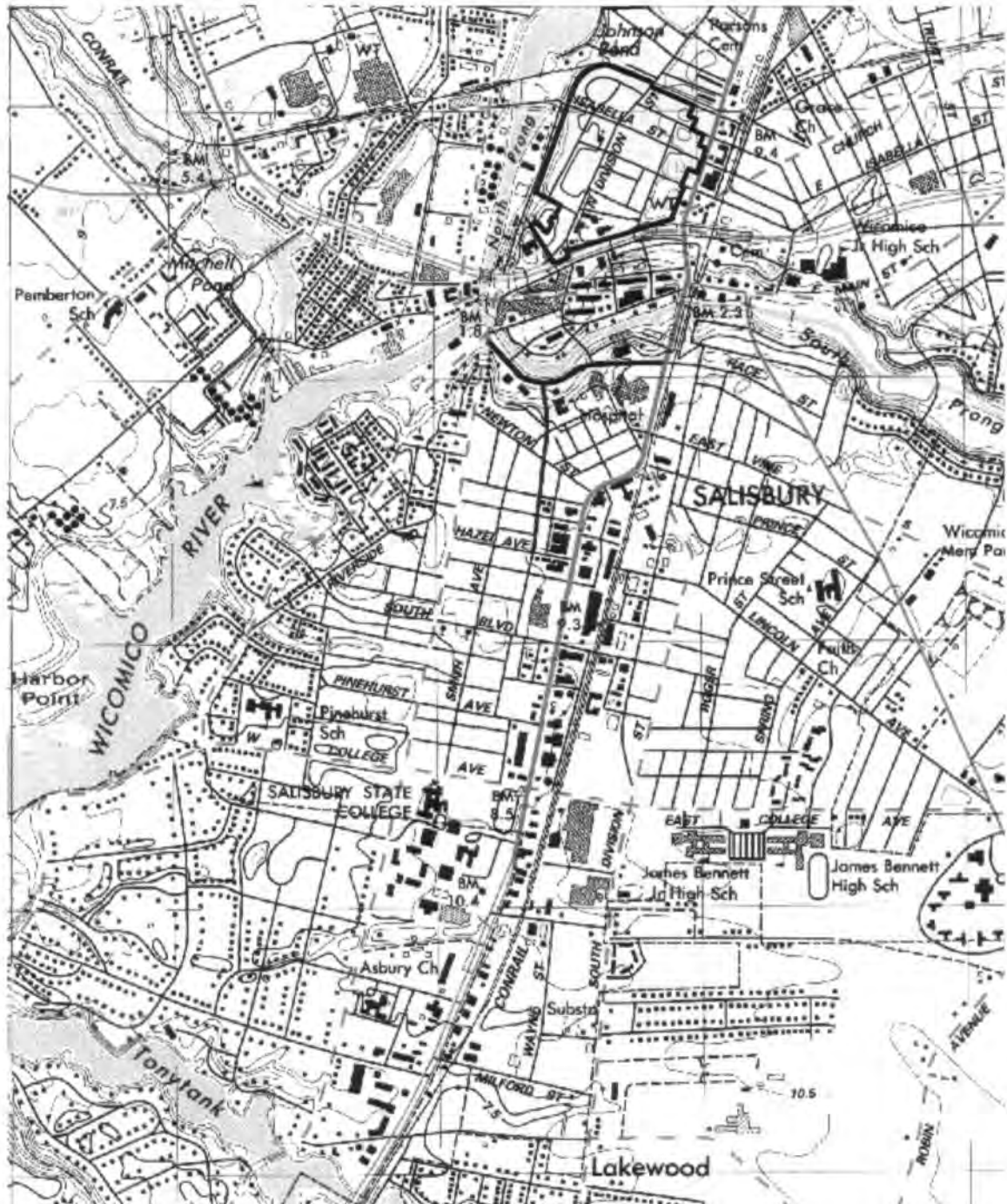
Lumber Dealers.
 A. C. SMITH AND CO., Wholesale Dealers in Lumber, Shingles, Sash, Doors, Blinds and Building Materials. Salisbury, Md.
 R. HUMPHREYS, Manufacturer of, and Wholesale and Retail Dealer in Lumber, Shingles, Sash, Doors, Blinds, etc., No. 101 Main St.
 JOHN WILLIAMS, Farmer and Proprietor of Saw and Lumber Mill, 1/2 mile north of Salisbury.
 GEO. W. HUGHES, Farmer and Proprietor of "Peachy Mill," 1/2 mile north of Salisbury. No. 101 Main St.
 M. A. PARSONS, Proprietor of S. & S. Mill, 1/2 mile west of Salisbury on Wicomico River. Also Proprietor of Marble Quarry.

Physician.
 Dr. F. M. ELLISON, Physician and Surgeon.

SALISBURY
 WICOMICO CO.
 Dist. N^o 95 & 8



WI-153
Newtown Historic District
Wicomico County
Salisbury Quadrangle





WI-153

West Side Park Avenue

Newtown Historic District

Wicomico Co. MD

Nicole Liermann

3/4/04

MD SHPO

Facing South

#1 of 4



W1-153

South Side W. 1st Street

Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/04

MD SHPO

Facing East

#2 of 4



WI-153

Park Avenue (500 & 507)

Newtown Historic District

Wicomico County, MD

Nicole Diehlmann

3/4/04

mt. 5000

Facing East

#3 of 4



W1-153

SE Corner of Elizabeth & Division Streets

Newtown Historic District

Wicomico Co MD

Nicole Dehlmann

3/4/2004

MD SHPO

Facing SE

#4 of 4

INTRODUCTION: A group of Salisburians 1974-5 promoted a movement to preserve the uniqueness of an old neighborhood known as Newtown. The culmination of this group's efforts was the acceptance of Ordinance #1142 by the Mayor and Council of Salisbury on Feb. 10, 1975, which created the Newtown Historic District.

The purpose of Ordinance #1142 as quoted from the Ordinance, is to "regulate the construction, alteration, reconstruction, moving and demolition of structures of historic and architectural value together with their appurtenances and environmental settings within respective specified limits. This regulation is designed to safeguard the heritage of the City by preserving districts herein which reflect elements of its cultural, social, economic, political or architectural history; to stabilize and improve the property values in such districts in the City, to foster civic beauty, to strengthen the local economy and to promote the use and preservation of such historic districts in the City for the education, welfare and pleasure of the residents of the City of Salisbury."

Ordinance #1142 also provided for the establishment of a Historic District Commission whose duty it is to carry out the purpose of the Ordinance. In Section 2 of the Ordinance under item D-3-4 "Powers and Procedures" the Commission is required to give consideration to "a, b, c, d, e and Item 4".

- "a. The historic or architectural value or significance of the structure and its relations to the historic value of the surrounding area.
 - "b. The relationship of the exterior architectural features of such structure to the rest of the structure and to the surrounding area.
 - "c. The general compatibility of exterior design, arrangement, texture and materials proposed.
 - "d. Special features in historic areas such as their architectural integrity and spatial relationships among buildings. Spatial relationships include courtyards, street patterns, scale of buildings, and open space.
 - "e. To any other factors, including aesthetic factors, which the Commission deems to be pertinent.
- "4. The Historic District Commission shall pass only on exterior features of a structure and shall not consider interior arrangement, nor shall it disapprove applications except in regard to the considerations set forth above."

The "uniqueness" which is seen and felt in the Newtown Area can be described by a statement of repetitions and continuities throughout the district which lend the character to the area which the Commission merits as important to save. This pleasing flavor consists of the sum of the following details blending with one another to form a whole, which is historically and architecturally significant for Salisbury:

1. Massive late 19th and early 20th century Victorian style houses along N. Division Street corridor with strong support from similar houses on William, Elizabeth, Walnut and Isabella Streets; a parallel corridor in intensity of Victorian houses on Park Avenue.
2. Sidewalks with large shade trees encouraging pedestrian traffic.
3. A lack of large or overlighted commercial signs.
4. The retention of residential appearance in some commercial properties.
5. Repetition of the following architectural details:
 - a. Large front porches with ballusters.
 - b. Palladian windows.
 - c. Victorian "gingerbread" trim.
 - d. Colored glass windows.
 - e. Diagonal and diamond shaped pane windows.
 - f. Beveled, leaded glass windows.
 - g. East lake carving motif.
 - h. Decorative cornices, brackets, and corner boards or pilasters.
 - i. Shaped shingles i.e.; fish scale, diamond saw tooth.
 - j. Shuttered windows.
 - k. Towers, cupolas, balconies.
 - l. Predominance of clapboard.

These specific details in addition to considerations mandated by the Ordinance were used as criteria to form a classification system for Newtown properties.

COMMISSION'S SURVEY

The Commission surveyed in February 1976 each property in the Newtown area. The findings have been classified and recorded. The information, with a picture of the property, is recorded on 3 x 5 cards in a file held by the Commission. The survey will be used in future identification of properties

be used to provide the landmark list mentioned in Section V of Salisbury Historic District Commission, Rules and Regulations. The landmark list itemizes those properties which should be protected for their historical or architectural merit. Other graphic materials, i.e. maps will be composed from this information to show growth, change, or comparisons. WI-153

CLASSIFICATION CATEGORIES

Each property has been classified according to the following categories. A coding system is used in order to abbreviate the information.

The classification categories are:

- A. Street and House No. (No abbreviations)
- B. Style of House-indicate height and materials, type

Abbreviations:

| | |
|-----------------------|-------------------|
| Clapboard = CB | 1 Story = 1S |
| Aluminum Siding = Al | 2 Story = 2S |
| Asbestos Shingle = AS | 3 Story = 3S |
| Wood Shingle = WS | With Attic = W/A |
| Brick = B | |
| Stucco = Stu | Victorian - Vict. |
| Asphalt Shingle = Asp | Colonial - Col. |
| Formstone = F | Rancher - Ran. |

- C. Approximate Date (No abbreviation)

- D. Use

Abbreviations:

Apartment = Apt
Single family = SF
Commercial = Com
Duplex = Dup
Public - Public

- E. Condition

#1 = Sound, recently painted or renovated.

#2 = Fair, needs paint and some repair.

#3 = Poor condition needs extensive repair and paint. Deteriorated.

- F. Rating Historical/Architectural

A = Must be retained, historically significant and/or exhibits many architectural details listed above and is a superior example of a period in architectural development.

B = Should be preserved, represents good example of development and style, exhibits some details from above lists and supports the environ visually by size, shape or materials.

C = Houses or buildings adjoining A or B properties and should be judged with considerable thought.

WI-153

D = Should be judged most leniently, has no significance architecturally or historically, lacks close proximity to A or B houses, or is deteriorated beyond reasonable or economic restoration.

G. House has had structural exterior modification since being built (porch removed, siding changed, trim removed, addition, etc.)

Abbreviation:

m = modified

um = unmodified.

H. General Comment: Any further piece of information which would be worthy of consideration, pertaining to history, structure, preservation or modification. Empty lots would be described in this space.

An example of the classification and coding system would be as follows for Poplar Hill Mansion:

Elizabeth 115/2S W/A CB Col./1800/Public/#1/A/m

General Comment: This house is registered with Maryland Historic Trust and is the oldest home in Newtown. Modifications have been made to front porch and removal of old kitchen.

It is the hope of the Historic District Commission that these criteria and classifications will assist in preserving the charm, character and prosperity of the Newtown District for the benefit of Salisbury's residents and posterity.

2Sw/a/WS&AL/1910 Vict/SF/
2/B/M

2Sw/a/CB/1915 Vict/SF/1/
B/UM

2Sw/a/CB/1904 Vict/Apt/1
B/M Comment: This was the
home of Capt. Robert G. Evans
of Nanticoke, 1916 rear house
added.

2Sw/a/CB/1900 Vict/SF/1/B
UM

2S/CB/1930 Dutch Col./SF/
1/C/UM

2Sw/a/CB/1898/Apts/1/B/M

2Sw/a/CB/1800 Georgian/
Pub/1/AA/M Comment: "Poplar
Hill Mansion" the oldest house
in the City of Salisbury.
Front porch and rear kitchen
area modified owned by City of
Salisbury & maintained by the
"Friends of Poplar. Restored
1975-76 by Wicomico County.

2S w/a/AL/1905 Vict/SF/2/B
M

2S w/a/AS/1910/Apts/2/C/M

2S/CB/1920/P/T/D/UM
2S/B/1920/SF/2/D/UM
1S/B/1970/COM/I/D/UM

WI-153

1S/WS(Red)/1930/COW/1/D/UM

1S/Cinder Block/1970/COM/
D/UM

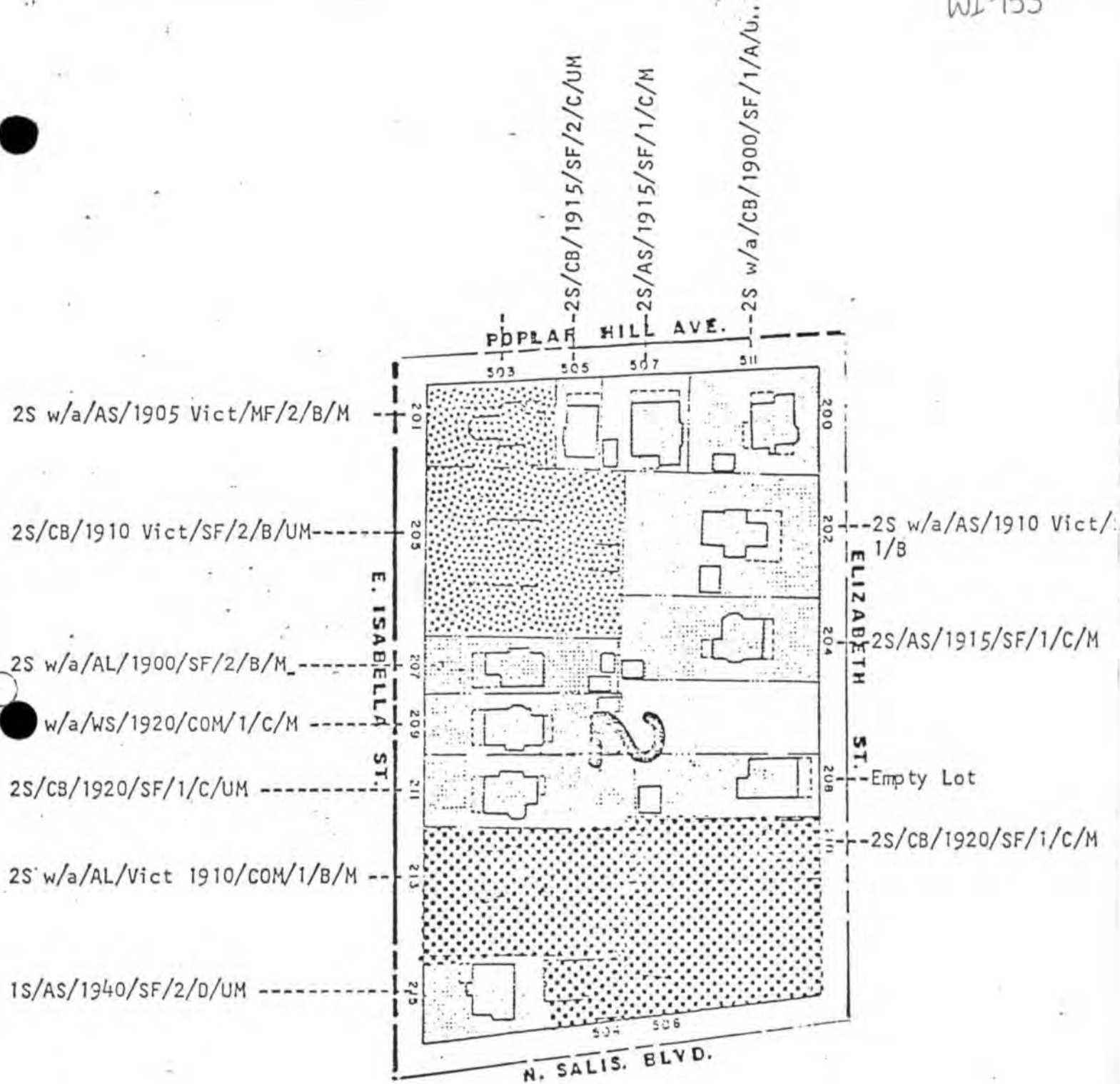
1S/B&AL/1970/COM/1/D/UM

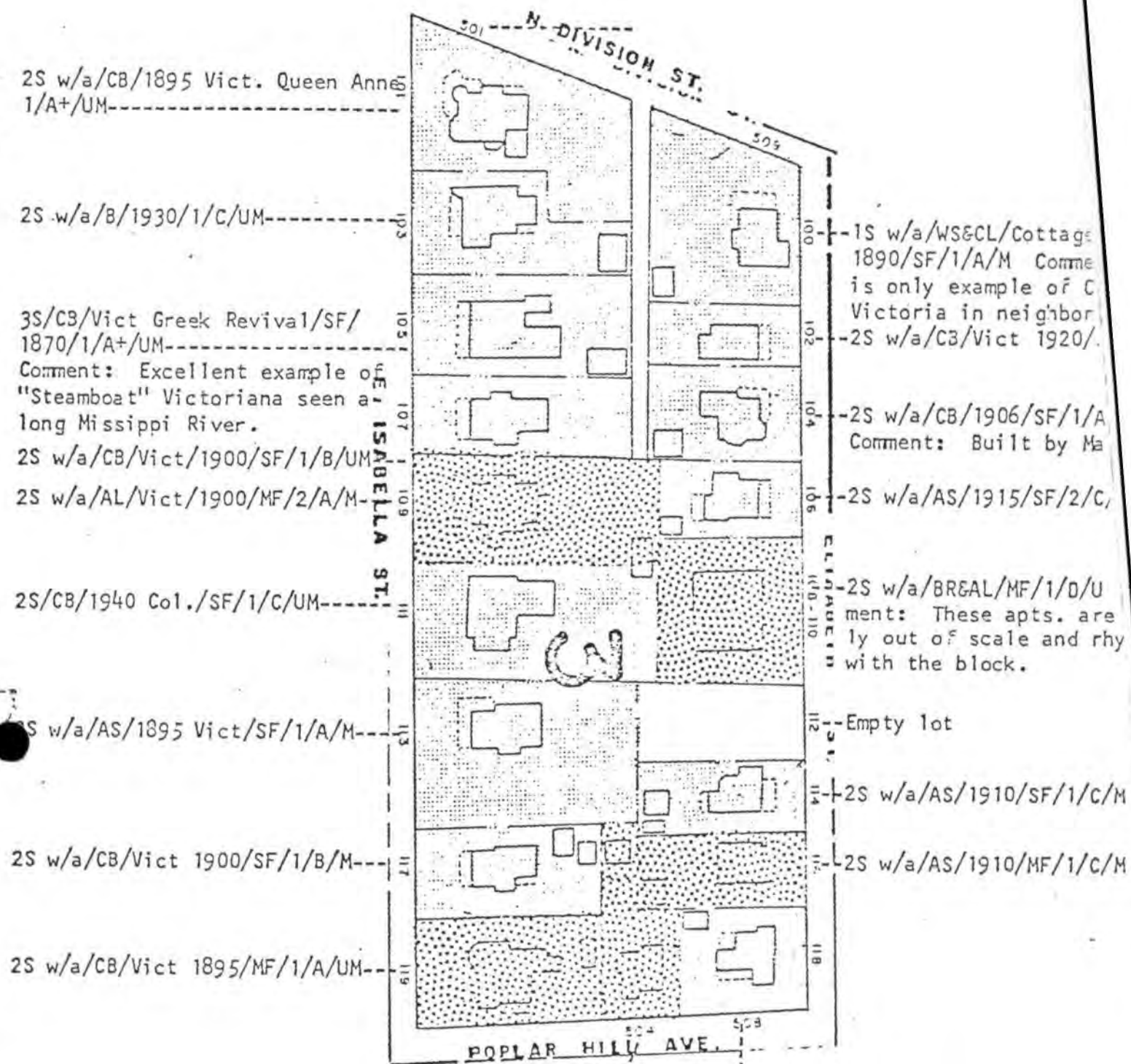
Poplar Mansion Back Yard

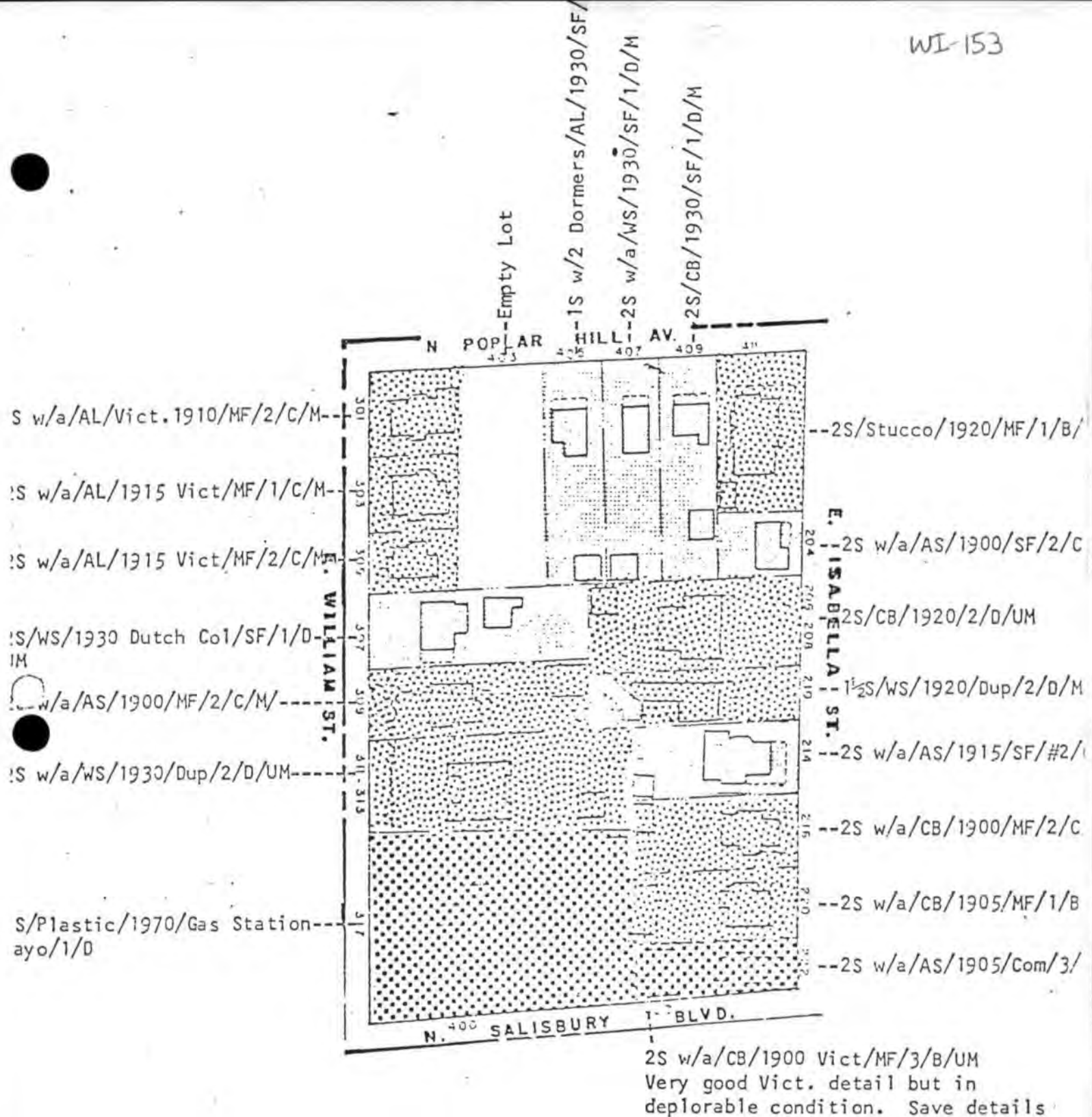
Truck Parking Lot

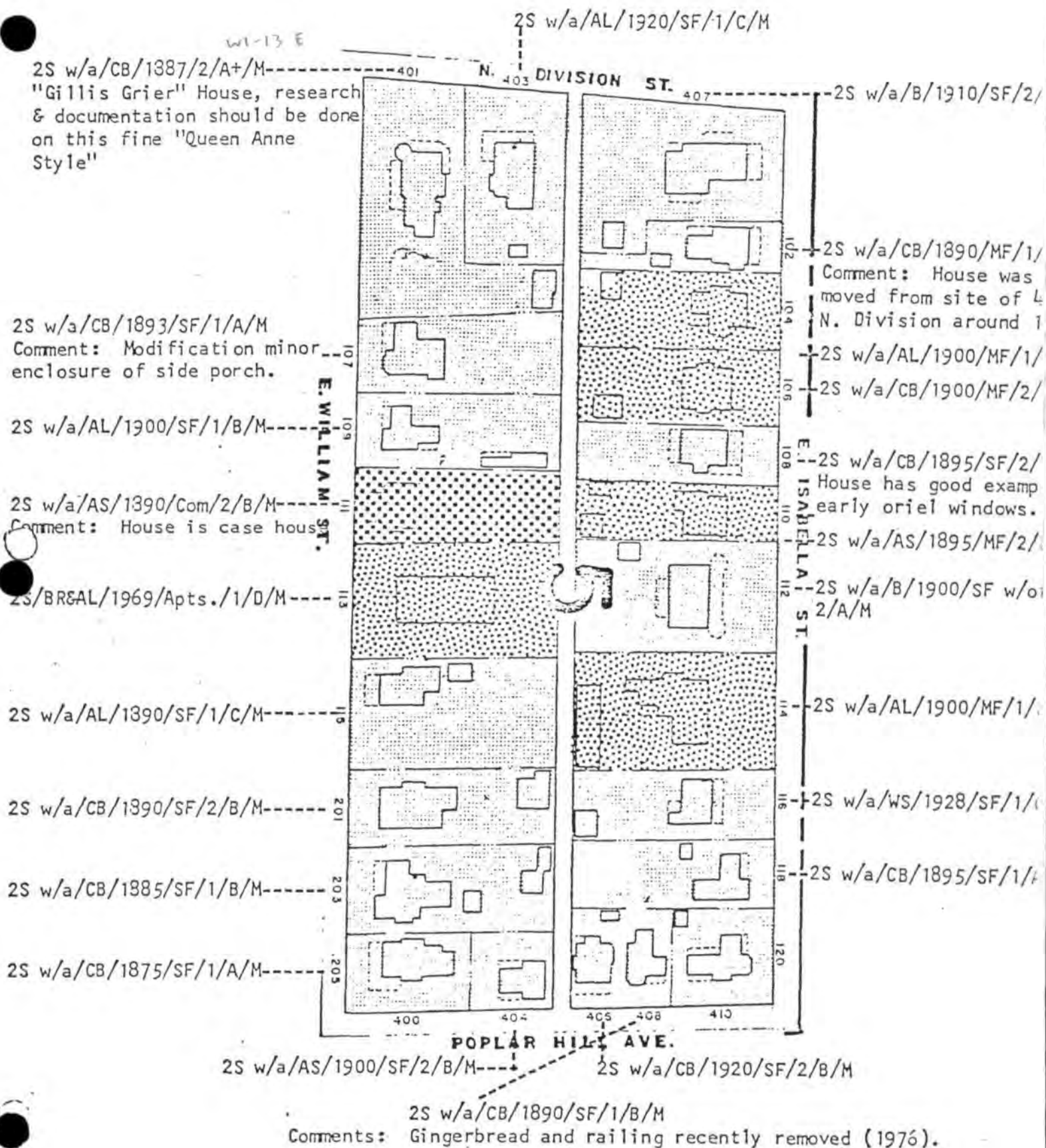
1S/B/1965/1st National Bank/1/D/M
Comment: "C" rating is given as
this corner is an entrance to Historic
District and consideration should be gi

N. SALIS. BLVD.









1S/B/1976 Renovation/Auto Shop/2/0/M

N. SALIS. BLVD.

2S/B/1905/Apts./1/C
IM probably/ Eyebrows
over windows.

2S w/a/CB/1915/SF/3

2S w/a/1900/SF/3/C/
4-nice center diamond
shaped windows
2S/AS/upstairs win-
dows 2-2-1900?/SF/2
2/M

2S w/a/AS/1900/2-fam.
3/C/M-ft. porch removed

2S w/a/Asp/1900/SF/3
2/M

2S/WS/1910/2-fam./3
better than neighbor
hood/C/M-miss porch rail

2S/AS/1910/2 family/
3/C/M

POPLAR HILL AVE.



2S w/a/B/SF/1/C/M
Nattie/Wooten/

2S w/a/AL/1900/SF/1/

2S w/a/WS/1905/SF/1/

2S w/a/CB/1900+, -SF
Being restored

2S w/a/AS/1910/Duple

2S w/a/AS/1910. 20/

2 back doors

2S w/a/AS/1900/Apt/2/

2S/AS/1900/Apt/3/D/M

2S/Asp/1900/SF/3/D/M

AL/1850/Church/1/B/M/

2S w/a/AL/1900/1/C/M/

2S w/a/AS/1890/2/C/M

2S w/a/WS/1890/Apt/3/D/U

2S w/a/AL/1920/SF/2/C/M

2S/Asp/1880/2F/2/C/M

3S/CB/1850/SF/1/A/M/
 Comment: Modification enclosed 2nd floor porch.

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AS/1890/Apt/2/C/M

2S w/a/CB/1910/2F/2/B/M/Comment:
 AS rear
 2S w/a/CB/?/Wic. Historic Society Museum/1/B/UM

2S w/a/CB/1910/SF/2/B/UM

2S w/a/CB/1910/SF/1/2/M

w/a/CB/1900-?/
 rding Home/1/B/
 ment: Nice
 trim.

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

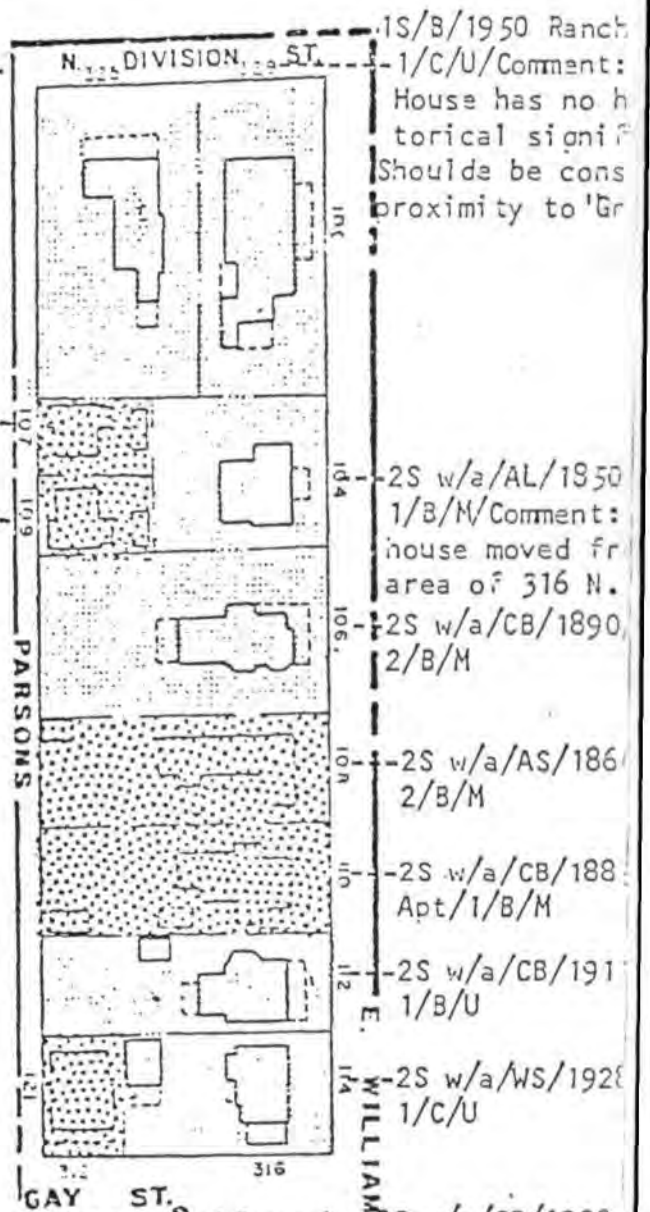
2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M

2S w/a/CB/1900/
 SF/2/B/UM/
 Dup/2/C/M



1S/B/1950 Ranch
 1/C/U/Comment:
 House has no h
 torical signif
 Should be cons
 proximity to 'Gr

2S w/a/AL/1950
 1/B/M/Comment:
 house moved fr
 area of 316 N.

2S w/a/CB/1890/
 2/B/M

2S w/a/AS/186/
 2/B/M

2S w/a/CB/188/
 Apt/1/B/M

2S w/a/CB/191/
 1/B/U

2S w/a/WS/1926/
 1/C/U

2S w/a/CB/1900/
 2/B/UM

2S w/a/AS/188/
 1/A/M

2S w/a/AS/191/
 2F/1/C/M

2S w/a/AS/?/ Multi-
 Family/2/C/M

2S w/a/AS/1900/SF/2
 C/M

2S w/a/AS/1900/SF
 A/C/M/Vict. Window

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1910/SF
 2/C/M

2S w/a/AS/1900+ Vict Col/Apt/2/C/M-
Comment: Mansard Front Roof

2S w/a/AS&WS/1900 Vict. trans/Apt/-
1/F

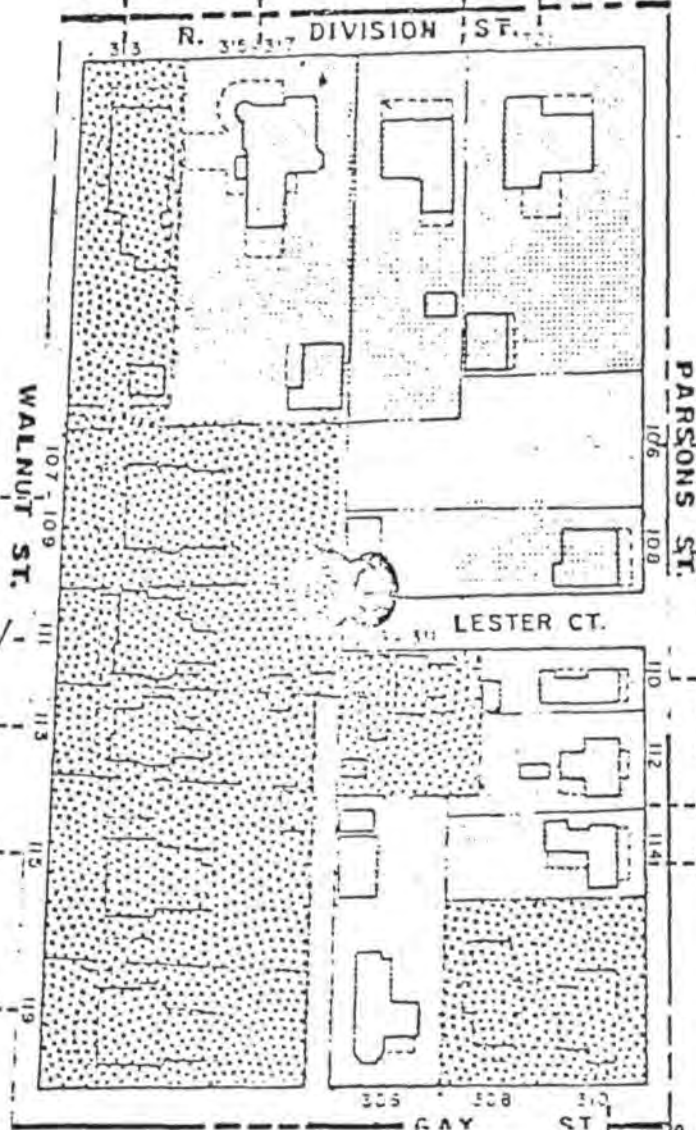
2S w/a/AL-slate/1905+/Apt/2/B/M-----

2S w/a/AL/1935 Col./Dup/1/C/UM-----

2S w/a/AS&WS/1900/Apt/2/B/M-----

309 Lester Ct. 2S w/a/AS/1910+/-/SF/3/D/M

311 Lester Ct. 2S/AS/1870+/-/SF/3/B/M



2S w/a/AL/1876/Apts/1
Comment: Example of r
which destroyed all g
Architectural feature

2S w/a/AL&CB/Fed. Vic
1897/SF/1/A/M House
in 3 sections, has ma
details of Vict. Outb
org. barn & carriage

2S w/a/CB&Slate/1920'
1/B/U

1S w/a/CB&WS/1900+SF/
Comment: Outstanding
of shingle work.

Private garden to

2S w/a/WS/1930+/S
Comment: House hi
large garages in l

2 w/a/AS/1905/SF/
Comment: House ex
sively modified.

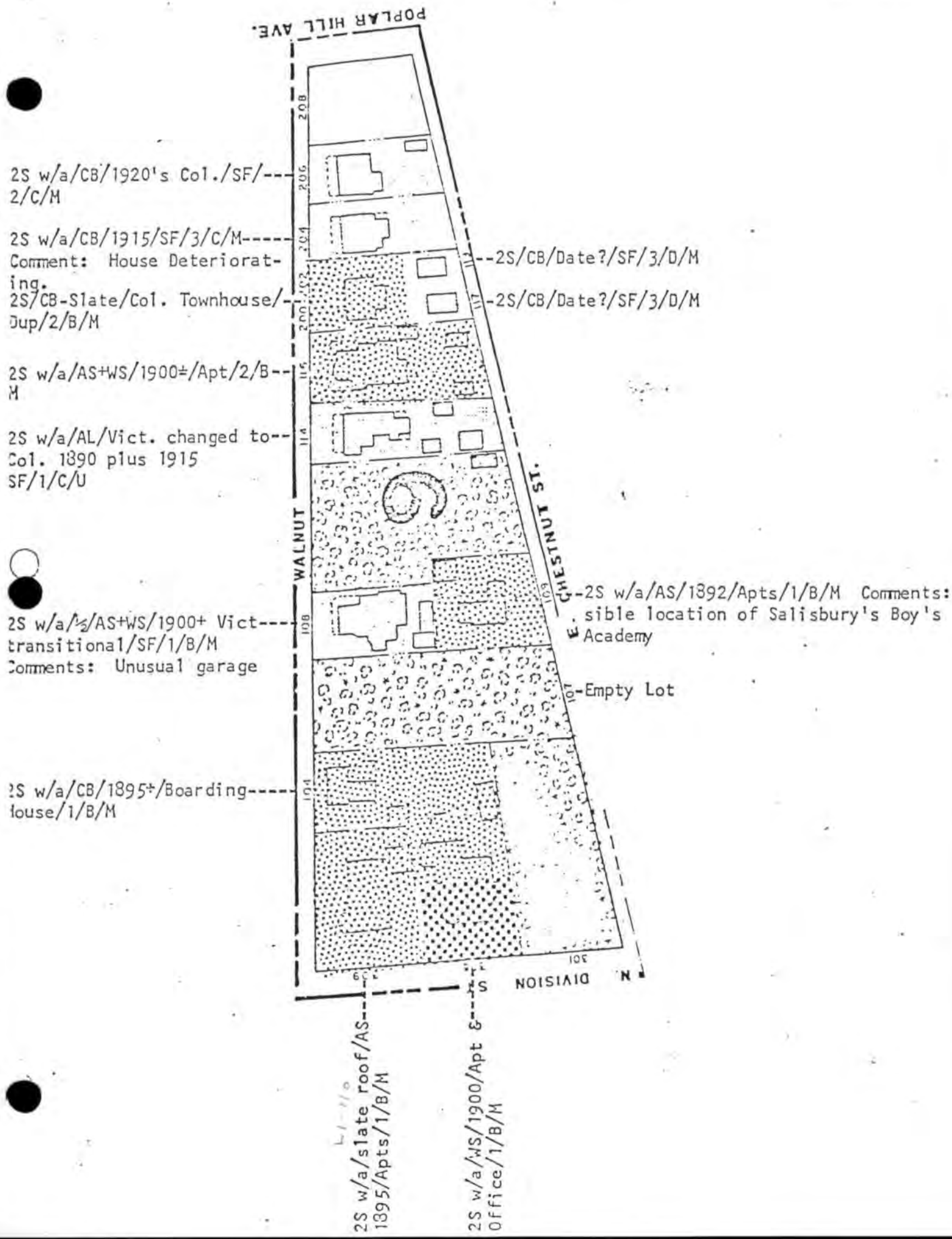
2S w/a/AS/1910+/SI

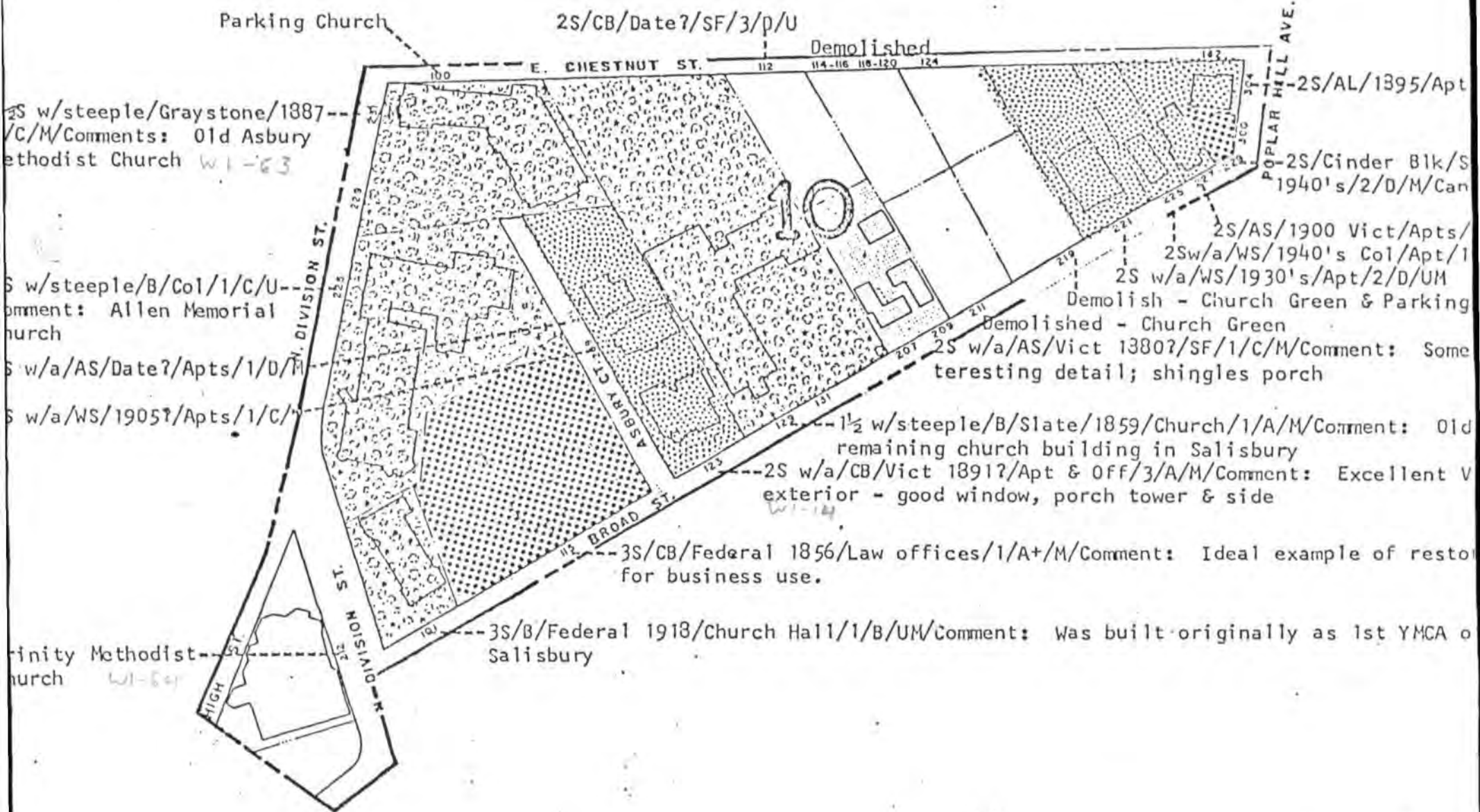
2S w/a/

2S w/a/AS-slate/1895/SF/1/B/M-----

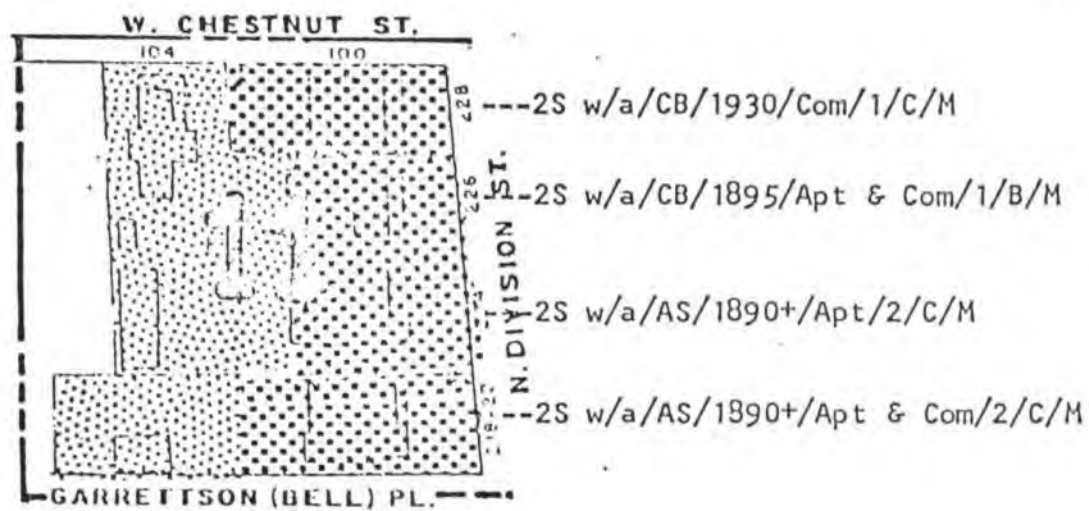
2S w/a/AS/1890's/Apt/3+/D/M/Com-
t: condition and environs of
this house are deplorable.

2S w/a/AS/1890's/Apt/2/D/M-----
Comments: This house has exten-
sive modification & it's surrounds
always appear unkempt.





WI-153



WF-153

2S w/a/CB/1910/SF/1/B/U

2S w/a/CB/1910/SF/1/C/M

W. WILLIAM ST.

S w/a/AL & AS/1900/Apt/1/M

S w/a/CB & WS/1890/Apt/2/B/
Comment: House has good
lect. trim.

S w/a/B/1905/SF/1/B/M

S w/a/CB/1907/SF/1/B/M

S w/a/CB/1895/Apt/1/B/M
Comment: House has nice
currett

S w/a/CB/1900/Apt/2/C/M

S w/a/AS/1890/Apt/1/B/M

S w/a/AL/Date?/Apt/1/D/M

S w/a/CB/1900/SF/1/B/U
Comment: House has oriel
nice stain glass windowsS w/a/AS/1900+/Apt/2/C/M
Comment: House needs paint
and gutters ('76)S w/a/AS/1900/SF/1/C/M
Comment: House has been
extensively modified-2S w/a/B/1909/SF/1/B/
"Holloway House"

-2S w/a/CB/1920/SF/1/B/

-2S w/a/AS/1980/Apt/1/E

-2S w/a/AS/1880/SF/1/B/

-2S w/a/CB/1880/SF/SF/1
Comment: This house is
most unusual in style &
appears to have some 18th
century characteristics

-2S w/a/B/1926/SF/1/

Empty Lot

-2S w/a/B/1900/SF/1/A

-3S/Stu/1940/Apt/1/D/U

-3S/ASP/1870/Apt/2/B/
Comment: House is ve
poorly modified alumi
siding placed May '77

-1S w/a/AS/1930-40/SF/

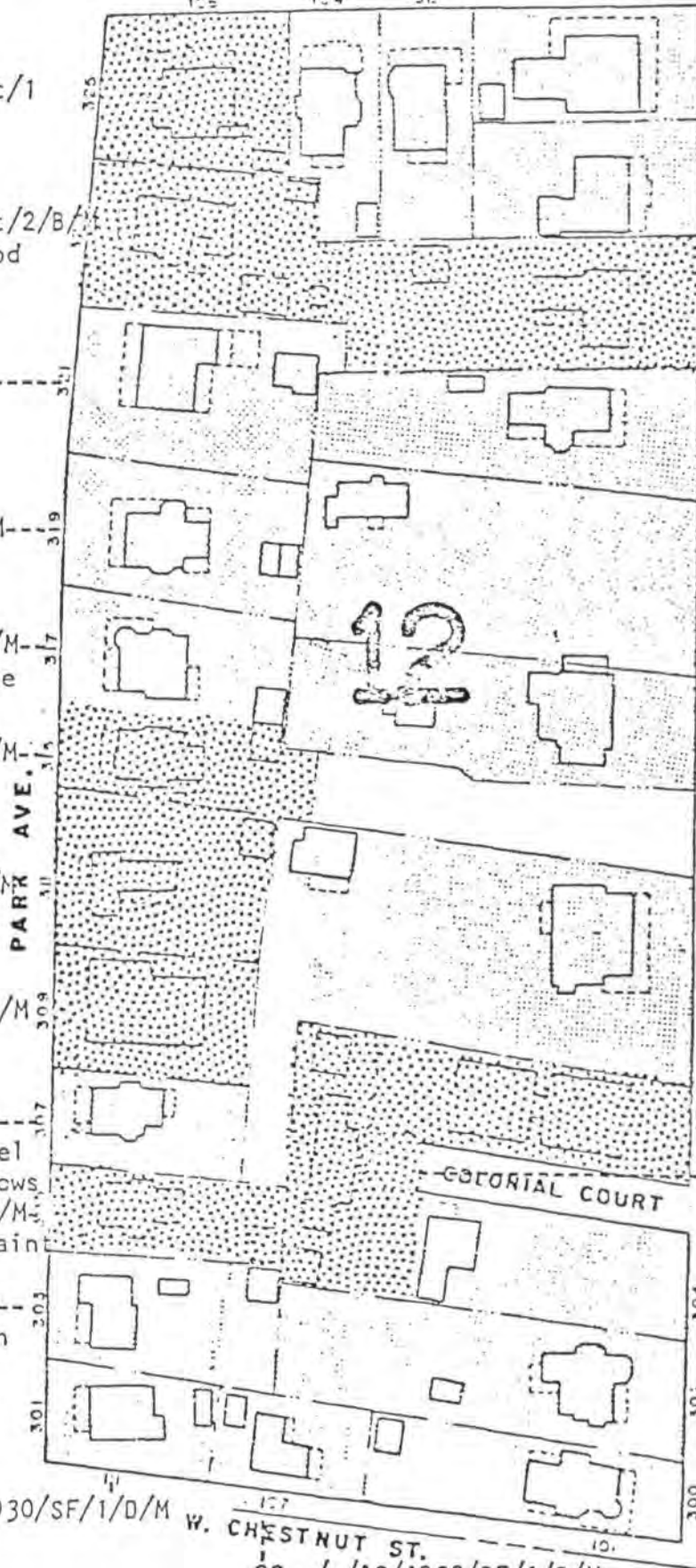
-2S w/a/AS/1880/SF/1/A

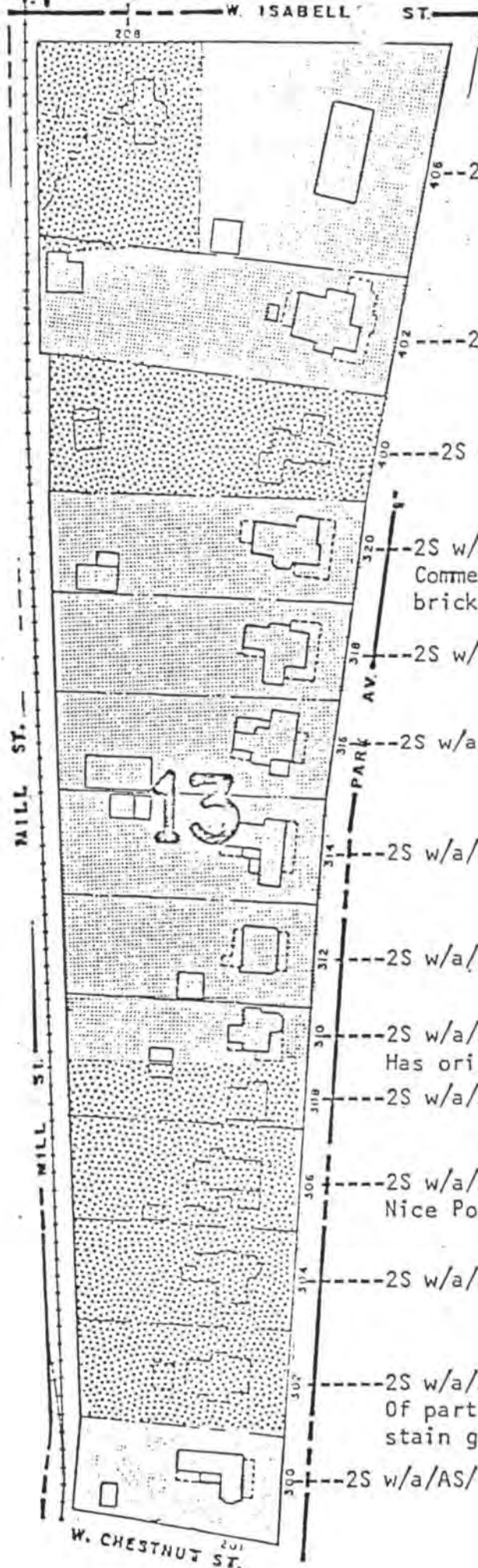
-1S w/a/CB/1890/SF/1/E

2S w/a/WS/1930/SF/1/D/M

W. CHESTNUT ST.

2S w/a/AS/1930/SF/1/D/M





108--2S w/a/B/1920/SF/1/B/U

102--2S w/a/B/1890/SF/1/B/M

400--2S w/a/AL/1890?/Apt/1/A/M

320--2S w/a/AL/1890/SF/1/B/M
Comment: House has handsome
brick Foundation

318--2S w/a/AL/1895?/SF/1/B/M

316--2S w/a/AS/1860?/SF/1/B/M

314--2S w/a/AL/1850/SF/1/B/M

312--2S w/a/AS/1895/SF/2/B/M

310--2S w/a/AS/1880/SF/2/B/M/Comment
Has original slate roof

308--2S w/a/AS/1925/Apt/1/C/M

306--2S w/a/AS/1850/Apt/1/B/M/Comment
Nice Porch Trim

304--2S w/a/AS/1900/Apt/1/B/M

302--2S w/a/AS/1882/Apt/1/B/M/Comment
Of particular note porch rail,
stain glass, top peak detail

300--2S w/a/AS/1891/SF/1/B/M

1/WS/1930/SF/2/C/U-----
1/AL/1380/Apts/2/B/W/Comment:
house has many good Vict. Features.
could be restored.



2S w/a/WS/1325/SF/1/C/U

1-2S w/a/CB/1380/SF/1/B/

2S w/a/WS/1880/SF/14
-Comment: House was
inally Clapboard, Por
added and made close
ground.

-2S w/a/AL/1900/SF/1/

25 w/a/AL/1385/Apt/1/A/M

25 w/a/AS/1395/Com/1/A/M (Church House)

-25 w/steeples/Stone/1922/Bethesda Chur

1S/B/1935/SF/1/D/U

1S/B/1930/SF/1/D/U

2S w/a/WS/1925/1/D/U
ISABELLA ST.

2S w/a/B/1930/SF/1/D/UM

2S w/a/WS/1936/SF/1/D/UM

2S w/a/WS/1945/SF/1/D/U

1S/B/1950/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

2S/BR/1940/SF/1/D/U

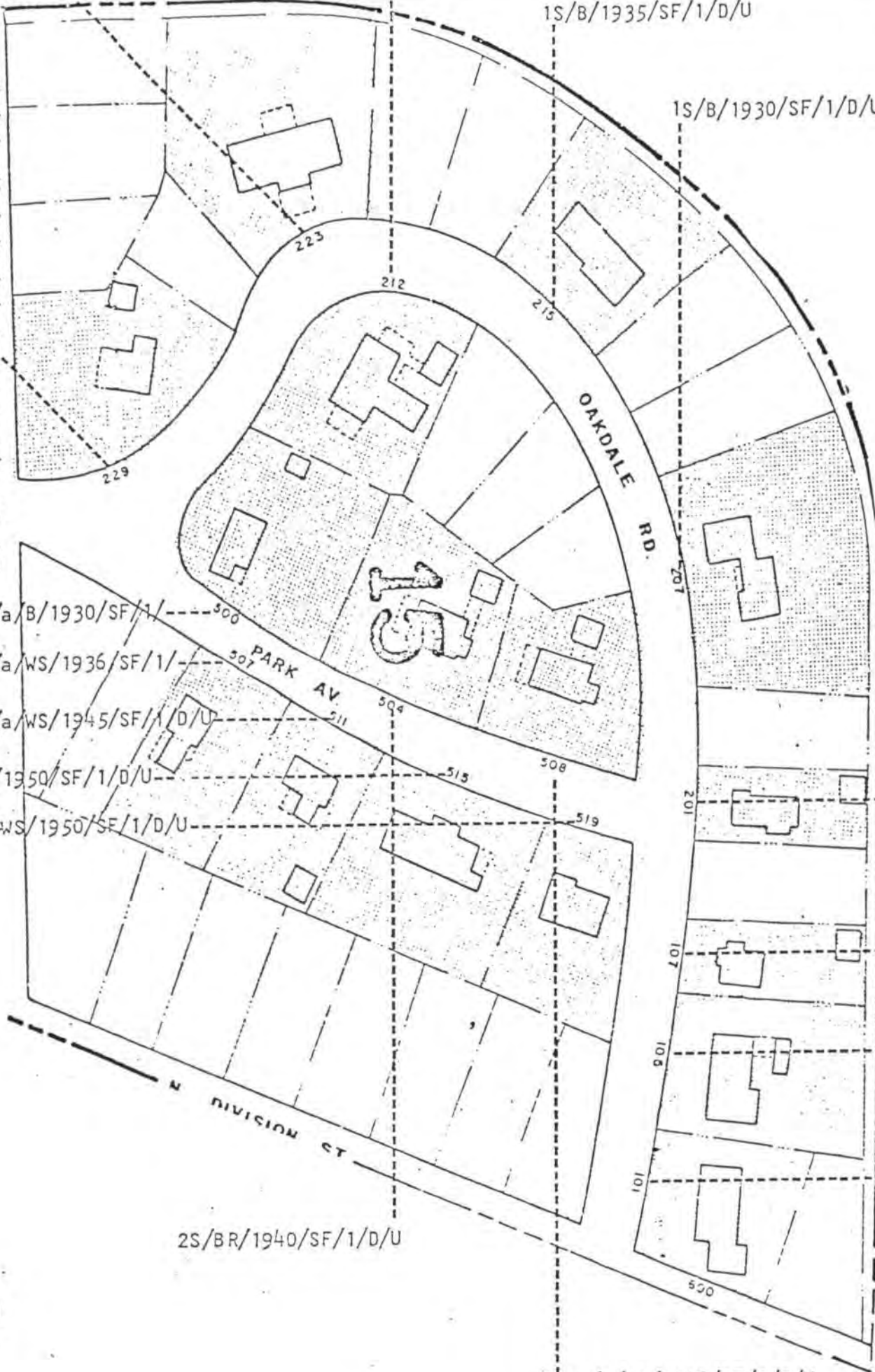
2S w/a/WS/1936/SF/1/D/U

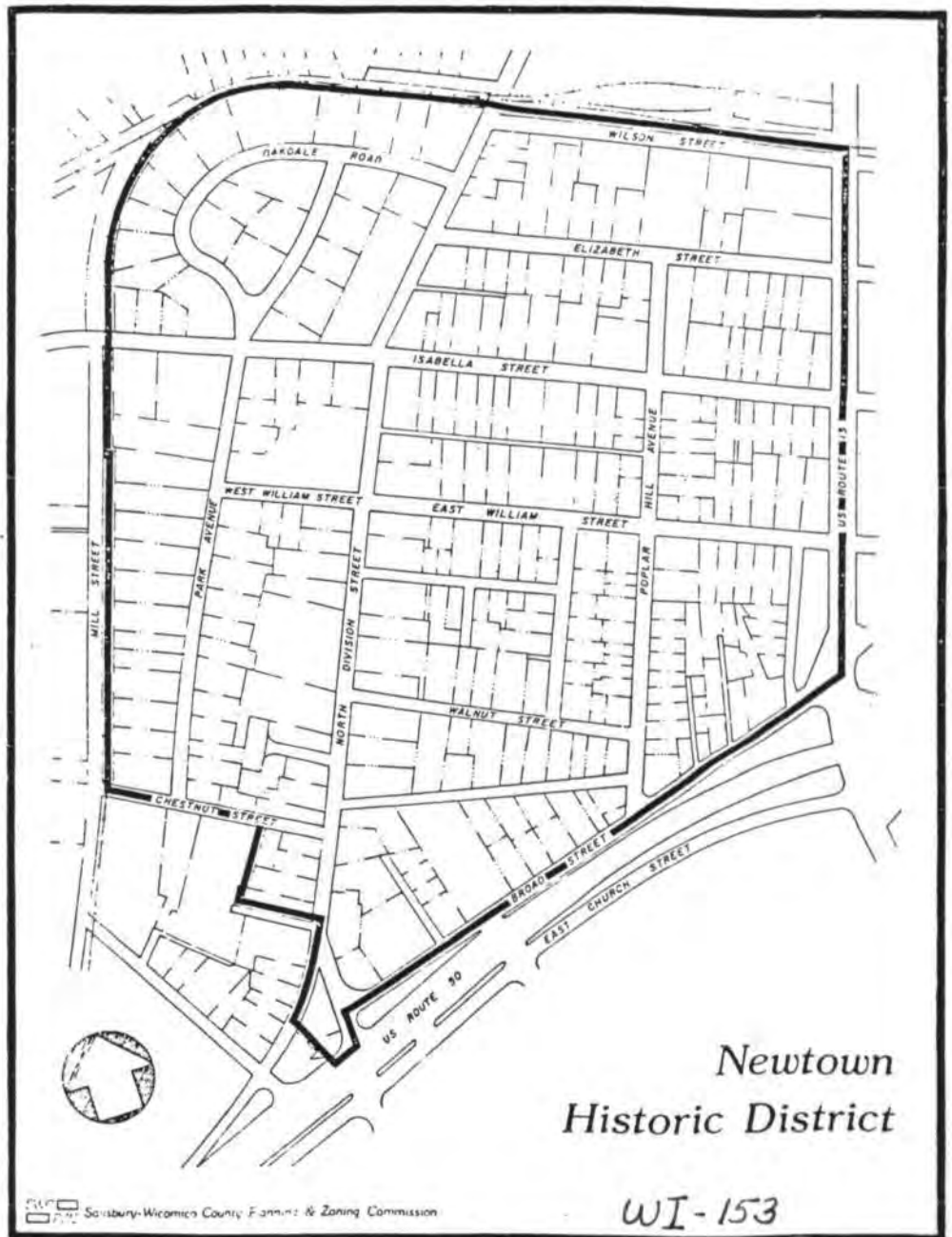
1S/B&WS/191/D/U

2S w/a/CB/1/D/M

1S/B&AL/19D/U

B&AL/1970/U

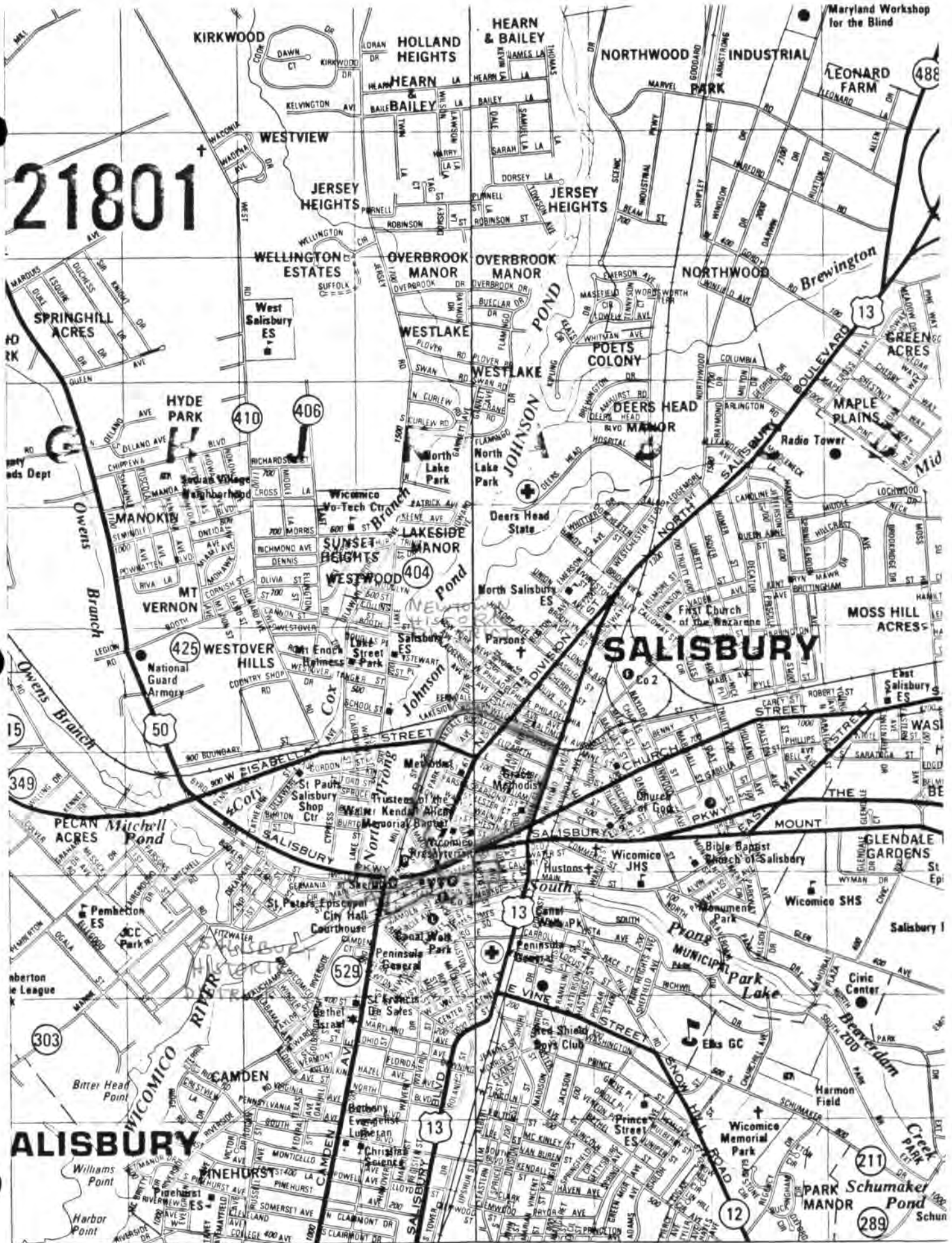




Map 2/23/83

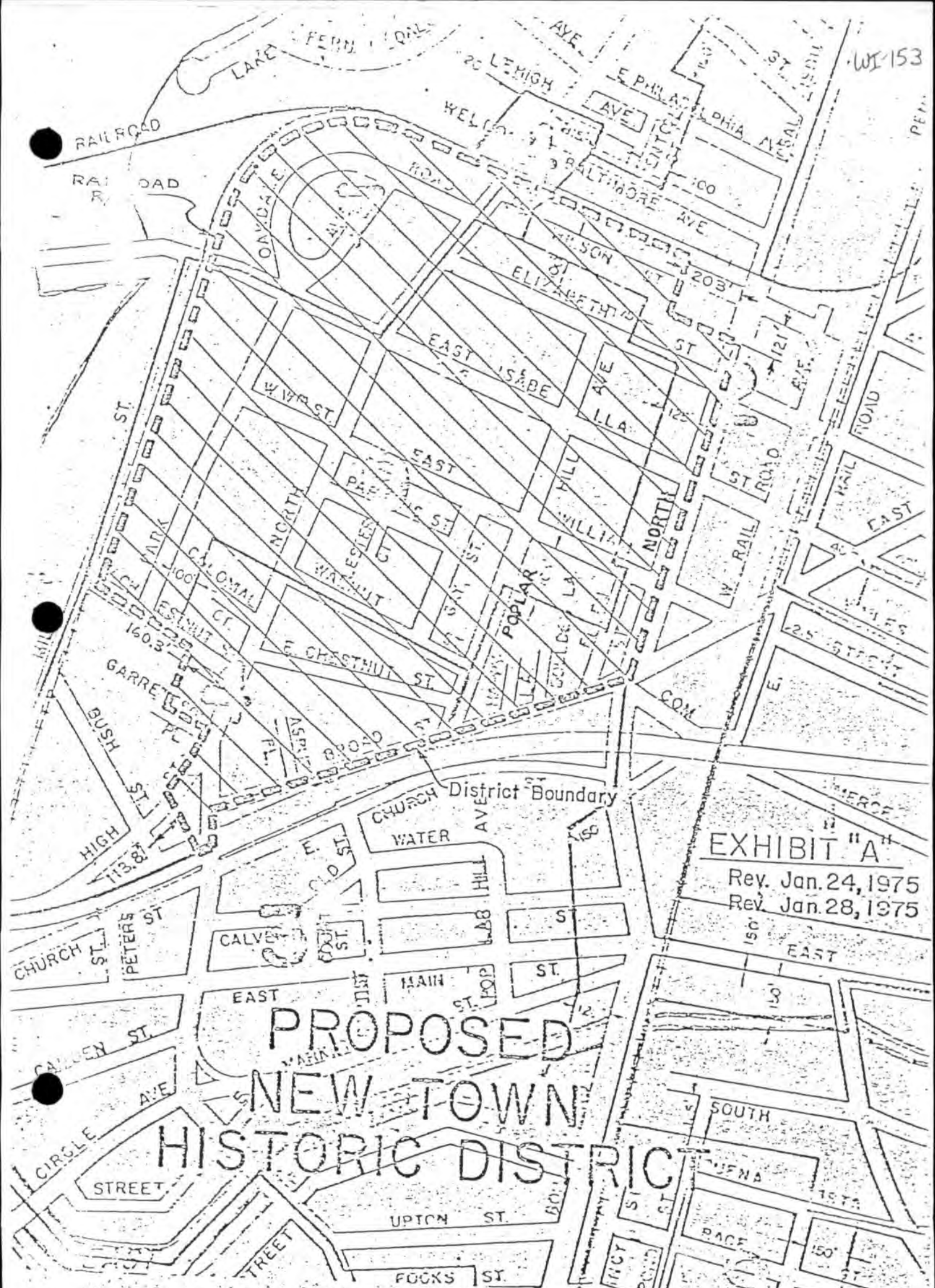
10 11 83

21801



WI-153 Newtown Historic District





boundaries of which shall be established in accordance with the appropriate provisions of the Zoning Regulations of the City of Salisbury as amended from time to time.

- b. As used herein the term "structure" means a combination of material to form a construction that is stable; including among other things, buildings, stadiums, reviewing stands, platforms,

Real Property Data Search ()

Search Result for WICOMICO COUNTY

View Map

View GroundRent Redemption

View GroundRent Registration

Special Tax Recapture: None

Account Number:District - 05 Account Identifier - 007682

Owner Information

Owner Name:DA SILVA ADJALMA RODRIGUES

Use:APARTMENTS

Mailing Address:RAMOS VANUSA

Principal Residence:NO

105 DIAMON AVE

Deed Reference:/05296/ 00428

SALISBURY MD 21804-

Location & Structure Information

Premises Address:227 BROAD ST

Legal Description:3,597 SQFT

SALISBURY 21801-0000

227 BROAD ST

CITY OF SALISBURY

| | | | | | | | | | |
|-----------|-------|---------|---------------|--------------|----------|--------|------|------------------|----------|
| Map: | Grid: | Parcel: | Neighborhood: | Subdivision: | Section: | Block: | Lot: | Assessment Year: | Plat No: |
| 0107 | 0009 | 0743 | 10002.23 | 0000 | | | | 2023 | |
| Plat Ref: | | | | | | | | | |

Town: SALISBURY

| | | | | |
|-------------------------|-------------------------|------------------------|--------------------|------------|
| Primary Structure Built | Above Grade Living Area | Finished Basement Area | Property Land Area | County Use |
| 1925 | 2,058 SF | | 3,597 SF | |

| | | | | | | | |
|---------|----------|--------------------|----------|---------|----------------|--------|-----------------------------------|
| Stories | Basement | Type | Exterior | Quality | Full/Half Bath | Garage | Last Notice of Major Improvements |
| | | MULTIPLE RESIDENCE | / | C3 | | | |

Value Information

| | | | | |
|--------------------|------------|------------|----------------------|------------|
| | Base Value | Value | Phase-in Assessments | |
| | | As of | As of | As of |
| | | 01/01/2023 | 07/01/2024 | 07/01/2025 |
| Land: | 25,100 | 25,100 | | |
| Improvements | 36,500 | 27,900 | | |
| Total: | 61,600 | 53,000 | 53,000 | 53,000 |
| Preferential Land: | 0 | 0 | | |

Transfer Information

| | | |
|----------------------------|----------------------|-----------------|
| Seller: PEAK RE LLC | Date: 09/11/2023 | Price: \$80,000 |
| Type: ARMS LENGTH IMPROVED | Deed1: /05296/ 00428 | Deed2: |

| | | |
|----------------------------|----------------------|------------------|
| Seller: HOULIHAN JOHN P & | Date: 12/21/2021 | Price: \$125,000 |
| Type: ARMS LENGTH MULTIPLE | Deed1: /05008/ 00015 | Deed2: |

| | | |
|----------------------------|----------------------|------------------|
| Seller: WOLFE, W WIRT | Date: 06/11/1996 | Price: \$110,000 |
| Type: ARMS LENGTH MULTIPLE | Deed1: /01491/ 00470 | Deed2: |

Exemption Information

| | | | |
|-----------------------------|-------|------------|------------|
| Partial Exempt Assessments: | Class | 07/01/2024 | 07/01/2025 |
| County: | 000 | 0.00 | |
| State: | 000 | 0.00 | |
| Municipal: | 000 | 0.00 0.00 | 0.00 0.00 |

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date: