



# City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION

P.O. BOX 870

125 NORTH DIVISION STREET, ROOMS 203 & 201

SALISBURY, MARYLAND 21803-4860

410-548-4860

FAX: 410-548-4955



RANDY TAYLOR  
MAYOR

ANDY KITZROW  
CITY ADMINISTRATOR

JULIE M. GIORDANO  
COUNTY EXECUTIVE

BUNKY LUFFMAN  
DIRECTOR OF ADMINISTRATION

## **SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION**

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### **AGENDA**

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**REGULAR MEETING**

**March 20, 2025**

ROOM 301, THIRD FLOOR  
GOVERNMENT OFFICE BUILDING

**1:30 P.M.** Convene, Chip Dashiell, Chairman

**Minutes – Meeting of February 20, 2025**

**1:35 P.M. PRELIMINARY/FINAL DEVELOPMENT PLAN APPROVAL – SALISBURY MARYLAND KENNEL CLUB –** Salisbury Maryland Kennel Club, Inc., rep. by Parker and Associates – Winterplace Parkway – LB-1 Light Business & Institutional District – Winterplace Executive Park – M-0039, G-0010, P-0720 – (B. Thayne)

**PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – MITCHELL POND APARTMENTS** – Homes for America, rep. by Lane Engineering, LLC – 1117 Parsons Road – R-5A Zoning District – M-0106, G-0014, P-1118 - #25-006 (A. Rodriquez)

**DISSOLUTION OF THE SALISBURY-WICOMICO COUNTY JOINT PLANNING AND ZONING COMMISSION** (Julie Giordano and Mayor Randy Taylor)

**DISCUSSION – CANNABIS TEXT AMENDMENT** (A. Illuminati and T. Taylor)



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## MINUTES

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The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on February 20, 2025, in Room 301, Council Chambers, Government Office Building, with the following persons participating:

### COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman  
Jim Thomas  
Matt Drew  
Mandel Copeland  
Joe Holloway

### PLANNING STAFF:

Nick Voitiuc, City of Salisbury, Department of Infrastructure and Development ("DID")  
Tracey G. Taylor, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")  
Janae Merchant, Recording Secretary, PZCD  
  
Laura Ryan, City of Salisbury, Department of Law  
Andrew Illuminati, Wicomico County, Department of Law

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Chairman Dashiell called the meeting to order at 1:30 p.m. He thanked everyone for coming to the meeting even with the inclement weather.

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**MINUTES:** December 19, 2024, minutes were brought forward for approval. Mr. Jim Thomas mentioned he was not present at the December meeting. Therefore, on page three (3) of December's minutes, the sentence stating, "Mr. Thomas moved the Planning and Zoning Commission forward a favorable recommendation of this Text Amendment application to the City Council" should be removed. (This was a duplicate entry in the minutes, so it could be removed and not replaced.) Mr. Matt Drew entered a motion to approve, seconded by Mr. Joe Holloway, and duly carried. The revised minutes from the December 19, 2024 meeting were **APPROVED**.

January 16, 2025, minutes were brought forward for approval. Chairman Dashiell requested a motion to approve the minutes. Mr. Holloway entered a motion to approve, seconded by Mr. Jim Thomas, and duly carried. The minutes from the January 16, 2025, meeting were **APPROVED**.

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**PUBLIC HEARING - #WP-2501 SPECIAL EXCEPTION – MEDICAL CLINIC FOR TIDALHEALTH PENINSULA REGIONAL, INC. – Property owned by Best Rental Housing, Inc., located west of the Salisbury corporate limits and binding upon the southerly side of Substation Road, about 200' east of its intersection with West Road in the R-8 Zoning District. M-38, G-1, P-193 (County Staff)**

The Public Hearing began at 1:35 p.m.

Mr. Clark Meadows, Mr. Brock Parker with Parker and Associates, Mr. Richard Duvall, counsel for TidalHealth Peninsula Regional, Inc., Mr. Palmer Gillis, CEO with Gillis Gilkerson, Inc., and Mr. Angel Aguilar, Senior Director of Facilities at TidalHealth, approached the table. Mr. Andrew Illuminati read the public notice and administered the oath to those who testified.

Mr. Meadows presented the Staff Report. TidalHealth is seeking the Commission's approval to establish a medical clinic on the property northwest of the Salisbury corporate limits, binding upon the southerly side of Substation Road, about 200 ft. east of West Road. The clinic will provide for TidalHealth's residency program and enhance its ability to provide quality health care for the local community.

Staff determined the Applicant has satisfied the Special Exception criteria for approval of this request. Staff recommended that the Commission grant the Special Exception for a medical clinic in the R-8 Zoning District, subject to seven (7) conditions.

1. This Special Exception – Medical Clinic – shall be exercised by the issuance of a Wicomico County building permit within one (1) year from the date of approval.
2. Development of the site shall be generally in accordance with the Preliminary Comprehensive Development Plan and the Special Standards set forth in §225-103.1 of the Zoning Code. Minor changes in the plans and/or elevations may be approved by Planning and Zoning staff in accordance with the Commission's approval. Major changes shall require the Commission's review and approval by a public hearing.
3. Any change in the nature of the use, enlargement of the building, or additional buildings and/or structures may require the Commission's review and approval – except as allowed for in Condition #2.
4. This action includes future use and development of Parcel 0193 and the ten (10) southerly abutting properties (p/o Parcel 0284) for a medical clinic. Before the issuance of a building permit, the Applicant shall execute a consolidation plat of the identified properties to create a single parcel.
5. Failure to comply with the above conditions may render approval null and void.
6. The Applicant shall obtain final development/site plan approval from the Planning Commission.
7. The Applicant shall obtain County building permits, as required, and comply with all State and County Codes and regulations set forth therein.

Mr. Duvall mentioned that TidalHealth adopted and accepted all the findings in the Staff Report and requested that the Commission consider it the applicant's presentation of evidence in the hearing. Mr. Parker has prepared a consolidation plat for the ten (10) small lots abutting Morris Street to eliminate the lot lines. The plat will be recorded with the deed to place the property from the current owner to TidalHealth.

Mr. Aguilar added that this location will offer other services, including a community garden, dietary coaching, mental health services, and wellness. They want to reach community members and ensure they get the education and services they need.

Mr. Parker mentioned he was overjoyed to be associated with the project. It brings services to

the community instead of having the community search for outside assistance. He said the current land plan allows for expansion in any direction to meet the community's needs. There will be buffers around the eastern-western property lines, conserving the mature forest in Forest Conservation. They could not achieve a 35 ft. width buffer along the property line as it approaches Morris Street, so they will maintain most of the existing vegetation to comply with the required landscaping buffer.

There was no input from the public.

Mr. Holloway inquired if there would be space for an ambulance to enter and exit the property in case of a catastrophic event. Mr. Aguilar responded, stating the facility would be a family medicine practice, so it would not be able to handle any mass casualties. However, if it became necessary for an ambulance to come to the facility, it would be able to enter and exit the facility. The facility will not be designed to accommodate overnight stays; it will be an outpatient facility.

Mr. Drew asked about removing the existing water and sewer main on the western side of the property. Mr. Parker stated several years ago that two (2) proposed city streets were cut, and utilities were installed within the western road, which dead ends at TidalHealth's property. The utilities do not serve any properties beyond their property, so they will abandon the utilities at the main and Morris Street.

Chairman Dashiell added that this project will positively impact our community, the hospital, and the residents in the area and alleviate stresses and strains on the medical care directly provided by the hospital.

Mr. Gillis mentioned he has been doing business in the county for several years and was glad to see the cooperation from everyone: the executive, legislative, staff, and commission levels.

Mr. Thomas moved to grant a Special Exception for the medical clinic subject to the seven (7) conditions stated in the Staff Report. Mr. Joe Holloway seconded the motion, which was duly carried.

The Public Hearing ended at 2:12 p.m.

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**PRELIMINARY DEVELOPMENT PLAN APPROVAL – MEDICAL CLINIC FOR TIDALHEALTH – TidalHealth, Rep. by Parker and Associates – Morris St. & Richardson St. – Property owned by Best Rental Housing, Inc – R-8 Residential District – M-0038, G-0001, P-193 (B. Thayne) (T. Taylor)**

Ms. Tracey Taylor joined Mr. Parker, Mr. Duvall, Mr. Gillis, and Mr. Aguilar at the table. Ms. Taylor presented the Staff Report.

The applicant requested approval to consolidate and develop unimproved space to construct a new 19,881 sq. ft. medical clinic. The property, consisting of ten 5,000-6,500 square-foot lots and one sizeable 10.86-acre parcel, was initially planned as part of the Westover Hills subdivision and is currently owned by Best Rental Housing Inc. This clinic is intended to serve as an accessible healthcare option to the residential community. The project will use existing access to the City of Salisbury's water and sewer system.

Ms. Taylor mentioned a few high points:

- There will be a dedicated space for a community garden and any other public engagement or community activities.
- There are 104 proposed parking spaces.

- Forest conservation has been addressed.
- The applicant will connect to the City of Salisbury's water and sewer system.
- The area will have access to public transit, and the clinic will be walkable and bikeable.
- The development plan proposes a single point of access on Morris Street and a sidewalk adjacent to the street. It will be served by West and Jersey Roads.

Ms. Taylor added that the Community Impact Statement includes a section on anticipated traffic. However, the applicant has not submitted a formal Traffic Impact Study ("TIS"), as required by the Zoning Code. The Planning Commission must determine if the traffic information submitted in the Community Impact Statement adequately meets the intent of the required formal TIS. If the Planning Commission does not feel the traffic information meets the intent of the formal TIS, then the Commission must require a TIS as a condition of Preliminary Plan approval. Ms. Taylor further asked that the last sentence of paragraph 2 on page 3 of the Staff Report be deleted as it is not the Planning staff's job to determine if the submission meets the intent of the TIS, but rather the Planning Commission's decision.

Staff recommended that the Planning Commission grant approval for the proposed Development Plan for TidalHealth subject to the revised six (6) conditions. The original condition was removed as we now know the outcome of the Special Exception hearing.

- ~~1. A Special Exception must be granted for TidalHealth from the Planning Commission in order to permit the construction of a medical clinic within R-8 zoning.~~
2. A plat shall be recorded for the purpose of consolidating all lots included in the proposed development prior to the issuance of any building permits at the site.
3. All proposed signage must be included in the Final Development Plan.
4. Subject to building permit approval by the Planning and Zoning Permits and Inspections Division.
5. Subject to further review and approval for stormwater management by the Wicomico County Public Works Department.
6. This site shall be developed in accordance with the approved Development Plan. Minor plan adjustments may be approved by the Wicomico County Zoning Administrator.
7. Subject to the review and approval of the Forest Stand Delineation and Forest Conservation Plan to be submitted to Planning and Zoning.

Mr. Duvall requested that the Staff Report be included in the official record. He agreed sufficient information was provided for the TIS in Mr. Parker's Community Impact Statement.

Mr. Thomas moved that we accept the findings of the Community Impact Statement submitted by the TidalHealth Representatives regarding a traffic study required in most situations. Mr. Drew seconded the motion, which was duly carried.

Mr. Thomas entered a motion to approve the Preliminary Comprehensive Development Plan for TidalHealth subject to the revised six (6) conditions. Mr. Mandel Copeland seconded the motion, which was duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

**ZONING RECOMMENDATION FOR ANNEXATION – PEMBERTON DRIVE ANNEXATION – David F. Layfield, Jr. - 1501 Pemberton Drive – R-8 Residential – M-0037, G-0023, P-0159 - #202500133 (H. Eure) (N. Voitiuc)**

Mr. Nick Voitiuc and Mr. David Layfield, the Applicant, joined Mr. Parker at the table. Mr. Voitiuc presented the Staff Report.

The City Council referred the 1501 Pemberton Drive annexation to the Planning Commission to review and recommend an appropriate zoning designation. The property is located on the northerly side of Pemberton Drive, adjoining the Sleepy Hollow residential development, and is one (1) lot, totaling 1.10 acres.

Mr. Voitiuc presented a Zoning Analysis and a Development Scenario. Staff recommended that the Planning Commission forward a favorable recommendation to the Mayor and City Council for this property to be zoned R-8A Residential upon annexation.

Mr. Parker added they would like to bring the lot into the city and access its water and sewer.

Mr. Thomas entered a motion to forward a favorable recommendation to the Mayor and City Council for the property at 1501 Pemberton Drive to be zoned R-8A residential. Mr. Holloway seconded the motion, which was duly carried.

Chairman Dashiell stated the request would be **FORWARDED**.

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**PRELIMINARY FINAL SUBDIVISION PLAT APPROVAL – VILLAGE AT SALISBURY LAKE – Salisbury MD LLC, rep. by Parker and Associates – Civic Ave., Glen Ave., and St Albans Dr. – PRD #11 Planned Residential District No. 11 – Village at Salisbury Lake – M-0109, G-0002, P-2518 - #22-014 (A. Rodriguez) (N. Voitiuc)**

Mr. Chris Davis with NAI Coastal joined Mr. Voitiuc and Mr. Parker at the table. Mr. Voitiuc presented the Staff Report.

The Applicant proposed a subdivision on a 46.58 +/- acre tract of land, including 131 single-family lots and 88 townhouse lots; city services and utilities would serve all. Access to the site was proposed from Civic Avenue, Glen Avenue, and St. Albans Drive.

Staff recommended granting the Village at Salisbury Lake Subdivision Final Subdivision Plat Approval subject to six (6) conditions.

1. The Final Plat shall comply with all requirements of the Salisbury Subdivision Regulations and be recorded with the Wicomico County Clerk of Court in the Land Records office.
2. Health Department approval is required prior to the recordation of the Final Plat.
3. The Final Plat shall comply with all requirements of the Forest Conservation Program as administered by Wicomico County Planning and Zoning.
4. A Homeowner's Association shall be created to maintain the open space, recreation, and stormwater management facilities, drainage and maintenance easements, and forest conservation easements. The Homeowner's Association documents shall be presented to the Planning Commission for review and approval prior to recordation.
5. If the developer so chooses to rename "Mallard Lane," a revised 911 Map shall be submitted to the City Surveyor for review and approval.
6. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and other applicable agencies.

Ms. Linda Kent sent an email with attachments, which were added to the record. Two comments brought to the Commission's attention were that Elu Deluca Salisbury Apt., LLC, the applicant, was not currently listed in SDAT and that the LLC was "not in good standing" with the State. Mr. Parker said he would make sure that this information was addressed.

Mr. Thomas entered a motion to approve the Preliminary Comprehensive Development Plan subject to the six (6) conditions listed in the Staff Report. Mr. Holloway seconded the motion, which was duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

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## **ANNOUNCEMENTS**

Mr. Thomas thanked Ms. Taylor and the staff for all their work related to TidalHealth and for working closely with the applicant and counsel.

Ms. Taylor said she would add funds to this year's budget to start updating the County's Comprehensive Plan, which is due to be completed by 2027. The County is also putting out an update to the Wicomico County Comprehensive Water and Sewer Plan for bid.

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With no additional comments, Chairman Dashiell requested a motion to adjourn the meeting. Mr. Thomas made the motion, seconded by Mr. Holloway and duly carried.

The meeting adjourned at 2:57 p.m.

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The next regular Commission meeting will be on March 20, 2025,

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This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning and Community Development Office.

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Charles "Chip" Dashiell, Chairman

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Tracey G. Taylor, Secretary

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Janae Merchant, Recording Secretary



## WICOMICO COUNTY, MARYLAND

DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT  
125 N. DIVISION STREET, ROOM 203  
P.O. BOX 870  
SALISBURY, MARYLAND 21803-0870  
PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano  
County Executive

Bunky Luffman  
Director of Administration

Tracey G. Taylor  
Director

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### STAFF REPORT

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#### MEETING OF MARCH 20<sup>TH</sup>, 2025

**APPLICANT:** Brock Parker on behalf of Salisbury Maryland Kennel Club

**PROPERTY OWNER:** Salisbury Maryland Kennel Club, Inc.

**LOCATION:** The south side of Winterplace Parkway near the end of the cul-de-sac, across from the intersection with Blue Ribbon Road.  
  
County Tax Map #39  
Parcel #720, Grid #10

**ZONING:** LB-1 Light Business & Institutional

**REQUEST:** Development Plan Review – New Proposed Building and Parking

#### I. SUMMARY OF REQUEST:

##### A. Introduction.

The applicant is requesting approval to construct a 11,710 square foot building directly to the west of the existing building at 31663 Winterplace Pkwy. This development plan also proposes the development of the adjacent lot to provide parking for the expanded business. The new building will accommodate equipment storage and provide extra space for training and exhibitions.



**B. Development Scheme.**

The site plan (**Attachment #1**) depicts the location of the existing building, the proposed new building, existing and proposed parking, new stormwater retention features, and landscaped areas. The new building will be approximately 11,710 square feet in area, the existing building is 9,840 square feet. The plan proposes 38 new parking spaces, including 2 handicap spaces, to extend the existing parking lot, as well as 24 overflow parking spaces in a grass area. Two stormwater retention ponds are proposed at the west end of the site.

**C. Site Description.**

The combined area of the existing Parcel 720 Lot 3AA and the new Lot 4A is approximately 4.01 acres. The land is shown on a plat for Winterplace Executive Park dated 2005 (Plat Book 14, Page 900). (**See Attachment #3**) The site is served by private well and septic.

**D. Surrounding Area Development.**

The site is located in Winterplace Executive Park, which was approved by the Wicomico County Board of Appeals in 1992 (#WA-92103). In September 2004, the zoning of the business center changed to LB-1 Light Business and Institutional.

To the north across Winterplace Parkway is Winterplace Park, owned by Wicomico County.

To the east is the Living Stones Church, and to the west of Lot 4A is Winter Place Animal Hospital.

**E. Access to the Site.**

The Site Plan includes existing access cut on the southerly side of Winterplace Parkway as well as a new access point cut at the westerly end of Lot 4A.

**II. SITE PLAN REVIEW:**

Section 225-38D of the Code requires review and approval of a Site Plan by the Planning Commission for all development in the Light Business and Institutional District to protect adjacent residential areas, present an appearance of openness and uncluttered development and limit intensity of use to level compatible with the character of the area.

The Planning Staff has determined that the Site Plan is in general conformance with the Conditional of Approval imposed on Winter Place Executive Park in 1992. The proposed Site Plan is included as Attachment #2.

**A. Code Requirements.**

The expanded development of this site is consisted with the previously approved use permitted inherently in the Light Business and Institutional Zone.

1. **Setbacks:** In approval of the original development plan for Salisbury Kennel Club, the Board required a 50ft front setback, a 30ft rear setback (along US Route 50), and 15ft setbacks on each side. The proposed plan is in keeping with these setbacks.
2. **Parking:** The Board of Appeals granted a variance to Salisbury Kennel Club in 2007 (#WA-0700) to deviate from the parking standard specified in the code such that 29 total paved parking spaces were required at minimum to serve the original building. Based on Section 225-135C, the number of parking spaces required for a commercial structure classified as a “club” is 1 per 200 square feet, plus 1 per employee. The new Development Plan proposes retaining the original 29 spaces provided for the existing building, and creating an additional 38 paved spaces and 24 overflow spaces in a stabilized grass area. 59 total spaces would be required per code to accommodate a 11,710 square foot building such as the one proposed. On February 27<sup>th</sup>, the County Appeals Board approved a deviation from parking requirements in keeping with their 2007 decision such that 57% of the spaces required by code would need to be provided with the new plan (**Attachment #4**).
3. **Landscaping Areas:** The Winter Place Conditions of Approval require the following:
  - a. A 50 ft setback shall be required from all lot lines that abut the two internal streets with the first 15 ft devoted to a landscape strip.
  - b. A 15 ft side yard setback is required for each use with 5 ft adjacent to all property lines devoted to a landscaped strip.
  - c. A 30 ft rear setback is required for all properties. The 30 ft rear setback shall be landscaped for all those lots that abut US Route 50, park, or adjacent lands not owned by the Applicant.
  - d. Landscaping is indicated on the site plan (see plant legend) and seems to naturally extend existing landscaping.
4. **Building Elevations:** The applicant has submitted building elevations for the front, rear, and both sides of the building. Information indicating specific materials for the building was not included. Currently there is no new proposed signage.

**III. PLANNING COMMENTS:**

Planning Staff is supportive of the proposed development with the recommendations noted below.

**IV. STAFF RECOMMENDATION:**

Staff recommends that the Planning Commission grant Development Plan Approval for Salisbury Maryland Kennel Club subject to the following conditions:

1. The 30-day window following the February 27<sup>th</sup> Board of Appeals meeting must pass without appeal so that the parking deviation necessary for approval of this plan can be granted.
2. The site shall be developed in accordance with the approved Development Plan. Minor plan adjustments may be approved by the Wicomico County Zoning Administrator.
3. Subject to building permit approval by the Planning and Zoning Permits and Inspections Division.
4. Subject to further review and approval for stormwater management by the Wicomico County Public Works Department.
5. A corrected plat dissolving the lot line between the two existing lots must be recorded prior to the issuance of any building permits for the site.
6. Any future proposed signage must be approved by the Planning Commission.

**ATTACHMENTS:**

**ATTACHMENT 1: PROPOSED DEVELOPMENT PLAN**

**ATTACHMENT 2: AERIAL**

**ATTACHMENT 3: WINTERPLACE PARK PLAT**

**ATTACHMENT 4: FEB. 27<sup>TH</sup> PARKING DEVIATION**

**ATTACHMENT 5: WINTERPLACE PARK SPECIAL EXCEPTION WA-92103**



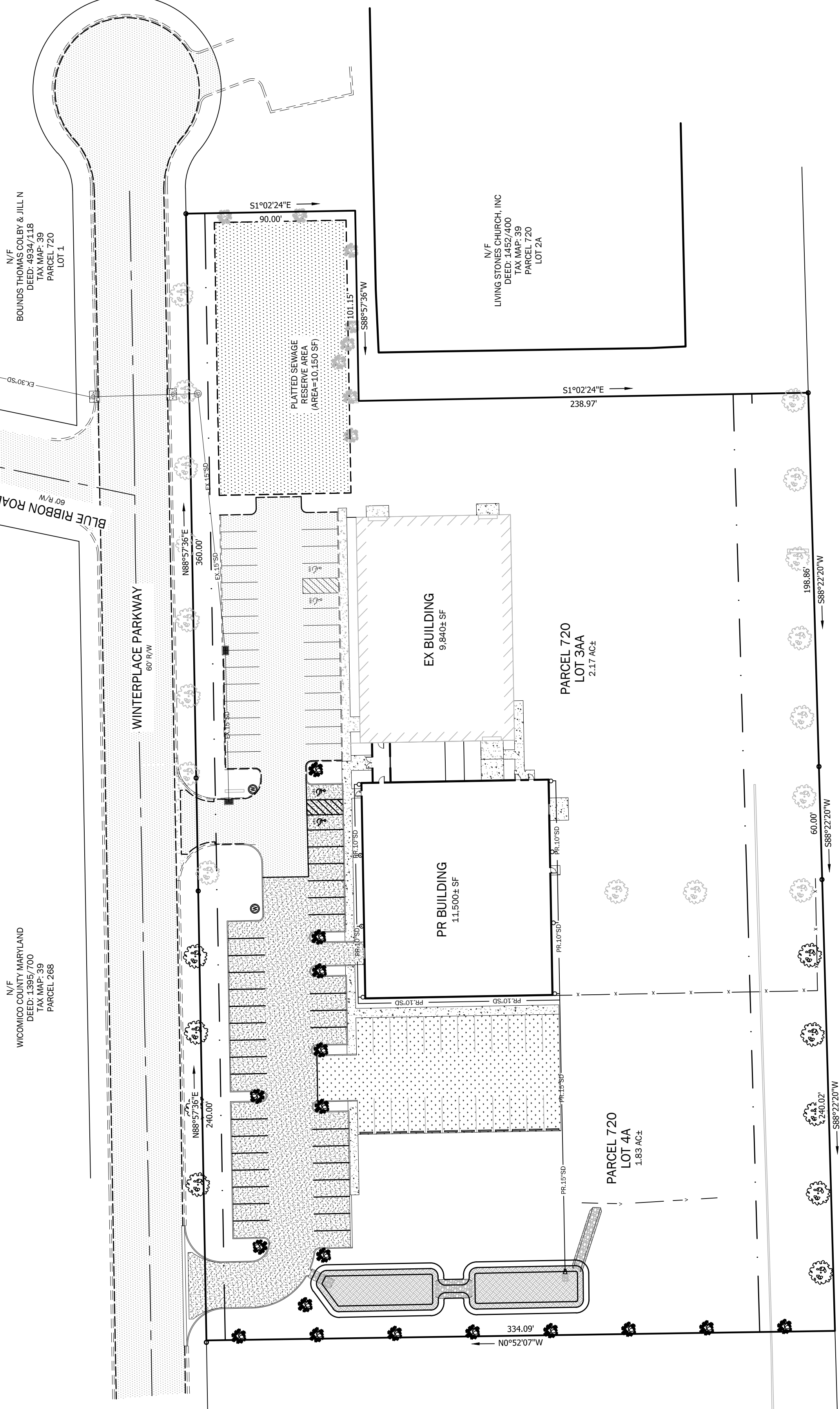
# SALISBURY MARYLAND KENNEL CLUB

## WICOMICO COUNTY, MD COMPREHENSIVE DEVELOPMENT PLAN



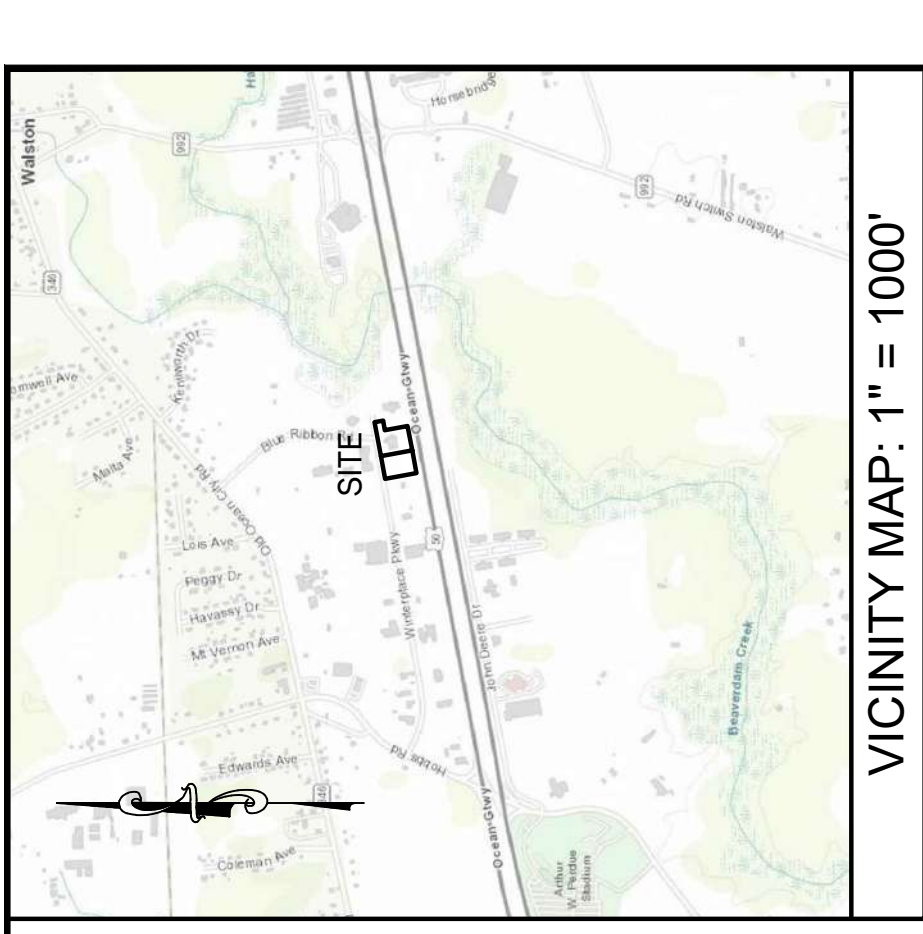
N/F  
WICOMICO COUNTY MARYLAND  
DEED: 13947700  
PARCEL 258  
LOT 1

N/F  
BOUNDS THOMAS COLBY & JILL N  
DEED: 49347218  
PARCEL 1720  
LOT 1



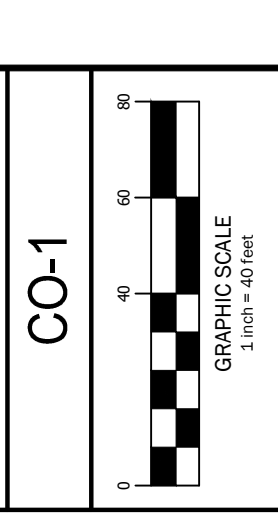
N/F  
ALFRED H & SINOBAW RAYNE  
DEED: 15144716  
TAX MAP: 39  
PARCEL 720  
LOT 5

N/F  
LIVING STONES CHURCH, INC  
DEED: 13947700  
TAX MAP: 39  
PARCEL 720  
LOT 2A



VICINITY MAP: 1" = 1000'

SHEET LIST	
CO-1	TITLE SHEET
AR-1	ARCHITECTURAL ELEVATIONS



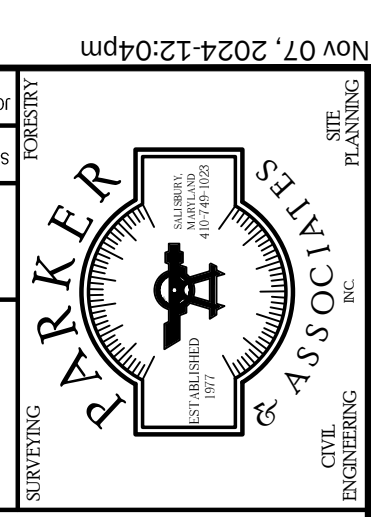
REVISIONS		
NO.	DATE	DESCRIPTION

**TITLE SHEET**

ROAD NAME: WINTERPLACE PARKWAY  
FOR: DALE WITHERS  
PARSONS ELECTRONIC, WICOMICO COUNTY, MARYLAND

DATE: 11/07/24  
SCALE: 1" = 40'

PROJECT NO: 21000-001-001  
SHEET NO: 10



**GENERAL NOTES**

1. THE PROPERTIES SHOWN HEREON ARE CURRENTLY OWNED BY:  
SALISBURY MARYLAND KENNEL CLUB, INC.  
31683 WINTERPLACE PKWY  
SALISBURY, MD 21804  
P.O. BOX 1881  
TELEPHONE: 410-548-2110

2. DEED REFERENCES: 2640/524 AND 6287/1

3. PLAT REFERENCES: 14/900

4. OTHER REFERENCES: DECLARATION OF COVENANTS AND RESTRICTIONS: 1349/226; MAINTENANCE AND INSPECTION AGREEMENT OF STORMWATER MANAGEMENT FACILITIES: 1394/287.

5. TOTAL NUMBER OF LOTS = TWO

6. TOTAL AREA LOT 3A = 2,217 AC; LOT 4A = 1.83 AC.

7. THIS PROJECT IS A DEVELOPMENT OF A BUSINESS & INSTITUTIONAL DISTRICT.

8. THIS PROPERTY IS LOCATED WITHIN G.P.B. MANAGEMENT ZONE B-3.

9. NO PERMANENT BUILDING OR STRUCTURE SHALL BE PERMITTED WITHIN AREA DESIGNATED AS SEWAGE DISPOSAL AREA AS SHOWN ON THIS PLAT.

10. NO BUILDING OR STRUCTURE MUST BE LOCATED WITHIN THIRTY FEET OF DESIGNATED WELL SITES.

11. SEWAGE DISPOSAL SYSTEMS MUST BE LOCATED AT HIGHEST ELEVATION OF SEWAGE RESERVE AREAS.

12. APPROVAL BY THE WICOMICO COUNTY HEALTH DEPARTMENT WILL BE LIMITED BY THE NATURE AND VOLUME OF WASTE. NO PERMITS WILL BE ISSUED UNTIL THE SITE PLAN AND SEWAGE VOLUMES HAVE BEEN REVIEWED AND APPROVED BY THE WICOMICO COUNTY DEPARTMENT OF HEALTH.

13. THE FOLLOWING NOTE IS A STANDARD NOTE REQUIRED BY THE WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS ON ALL SUBDIVISION PLATS: THESE LOTS MAY BE SUSCEPTIBLE TO PERIODIC LOCALIZED STORM WATER DRAINAGE PROBLEMS. LOT OWNERS ARE ENCOURAGED TO PREPARE THE SITE AND CONSTRUCT STRUCTURES SO AS TO MINIMIZE THE IMPACT OF THESE POTENTIAL STORM WATER DRAINAGE PROBLEMS.

14. THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PANEL #240450260E (PANEL 260 OF 375), DATED 8/17/2012, AS BEING IN FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD.

15. THIS PROPERTY IS SUBJECT TO THE WICOMICO COUNTY STORMWATER MANAGEMENT ASSOCIATION AND IS SUBJECT TO THE CONDITIONS, EASEMENTS, AND RESTRICTIONS THEREOF.

16. THIS PROPERTY IS LOCATED WITHIN THE CONICAL SURFACE OF THE SALISBURY WICOMICO COUNTY REGIONAL AIRPORT AND IS SUBJECT TO THE RESTRICTIONS THEREOF (ELEVATION 201.7 TO 401.7).

17. IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY PARKER & ASSOCIATES IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION, CLIENTS OR CONTRACTORS SHALL PROVIDE PARKER AND ASSOCIATES AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE ERROR, OVERSIGHT, OR OMISSION. PARKER AND ASSOCIATES SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.

18. CONTRACTOR IS TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HEREON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-495-0023.

19. CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS (ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY). ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.

**LEGEND**

	EXISTING PLATTED WELL
	EXISTING STORM DRAIN
	EXISTING CURB
	PROPERTY LINE
	EXISTING CHAIN LINK FENCE
	EXISTING CHAIN LINK FENCE
	PROPOSED CHAIN LINK FENCE
	DRAINAGE & MAINTENANCE EASEMENT
	BUILDING SETBACK LINE (BSL)
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING EDGE OF WOODS
	PROPOSED EDGE OF WOODS
	PLATTED SEWAGE RESERVE AREA
	EXISTING PAVEMENT
	PROPOSED PAVEMENT
	STABILIZED GRASS AREA
	ESD SURFACE AREA

**LANDSCAPE LEGEND**

SYMBOL	DESCRIPTION	COUNT
	EXISTING DECIDUOUS SHADE TREE	17
	EXISTING DECIDUOUS FLOWERING ORNAMENTAL TREE	8
	3' CALIBER, 6' TALL (AT PLANTING) DECIDUOUS SPECIMEN TREE	9
	3' SMALL DECIDUOUS FLOWERING ORNAMENTAL SPECIMEN TREE PLANTING LOCATION	17

**LAND USE SUMMARY**

EXISTING LOT 3A	= 94,589 SF / 2.17 AC
EXISTING IMPERVIOUS AREA	= 22,292 SF / 0.51 AC
TOTAL AREA	= 79,721 SF / 1.83 AC
PROPOSED LOT 4A	= 27,189 SF / 0.62 AC
PROPOSED IMPERVIOUS AREA	= 174,310 SF / 4.00 AC
TOTAL AREA LOTS 3A & 4A	= 71,189 SF / 1.63 AC
LIMITS OF DISTURBANCE	= 49,481 SF / 1.14 AC
TOTAL PROPOSED IMPERVIOUS AREA	= 49,481 SF / 1.14 AC

DEVELOPMENT STANDARDS ARE IN ACCORDANCE WITH THE WICOMICO COUNTY ZONING FOR LIGHT BUSINESS AND INSTITUTIONAL DISTRICT, SECTION 225-38.

**MINIMUM ZONING REQUIREMENTS**

ZONING: LB-1 (LIGHT BUSINESS AND INSTITUTIONAL DISTRICT)	MINIMUM LOT WIDTH = 30 FT
	MINIMUM LOT DEPTH = 200 FT
	MINIMUM LOT COVERAGE = 35%
	MINIMUM SETBACKS:
FRONT:	= 4.5 FT
REAR:	= 10 FT (TWO REQUIRED)
SIDE:	= 30 FT
BUILDING HEIGHT:	= 35 FT

**PARKING SUMMARY**

INSTITUTIONAL (PRIVATE CLUB) REQUIREMENTS:  
1 SPACE PER 200 SF GFA PLUS 1 PER EMPLOYEE

EXISTING LOT 3A:  
PROPOSED PARKING SPACES: 28 SPACES  
TOTAL SPACES PROVIDED: 28 SPACES

PROPOSED LOT 4A:  
AREA OF BUILDING EXPANSION = 11,710 SF  
11,710 SF / 200 SF = 59 SPACES REQUIRED  
PROPOSED PAVED SPACES = 27 SPACES  
TOTAL SPACES PROVIDED FOR SPACES = 61 SPACES PROVIDED  
TOTAL SPACES = 61 SPACES PROVIDED

TOTAL SPACES PROVIDED INCLUDES 4 HANDICAP SPACES.

**OWNERS CERTIFICATION**

I HEREBY CERTIFY THAT THESE IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED FOR REVIEW AND APPROVAL BY THE WICOMICO COUNTY ENGINEER AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY.

SALISBURY MARYLAND KENNEL CLUB, LLC  
31683 WINTERPLACE PARKWAY  
P.O. BOX 1881, 21804  
PHONE: (410) 548-2110  
EMAIL: [info@salisburykennelclub.com](mailto:info@salisburykennelclub.com)

DATE: \_\_\_\_\_

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND MARYLAND LICENSE NO. 21184, EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21184, EXPIRATION DATE: JANUARY 25, 2025.

BROCK E. PARKER, P.E., R.L.S.  
SALISBURY, MARYLAND 21801  
PHONE: (410) 749-1023 FAX: (410) 749-1012  
EMAIL: [brock@parker-engineers.com](mailto:brock@parker-engineers.com)

DATE: \_\_\_\_\_









CONSULTANTS

DM DESIGN MATTERS LLC  
ARCHITECTURAL SERVICES

I hereby certify that the plans, specifications, or report herein prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Maryland.

David M. Moore-Holt  
License No. 18571  
Expiration: 07/31/2026  
SINP

NOT FOR CONSTRUCTION

PROJECT  
24.017  
SALISBURY MARYLAND KENNEL CLUB

31663 WINTERPLACE PKWY., SALISBURY, MD 21804

ISSUE DATE  
10/2/2024  
DESIGN DEVELOPMENT

REVISIONS  
NO. DATE:

SCALE  
1/8" = 1'-0"

ELEVATIONS  
AR-1  
A201



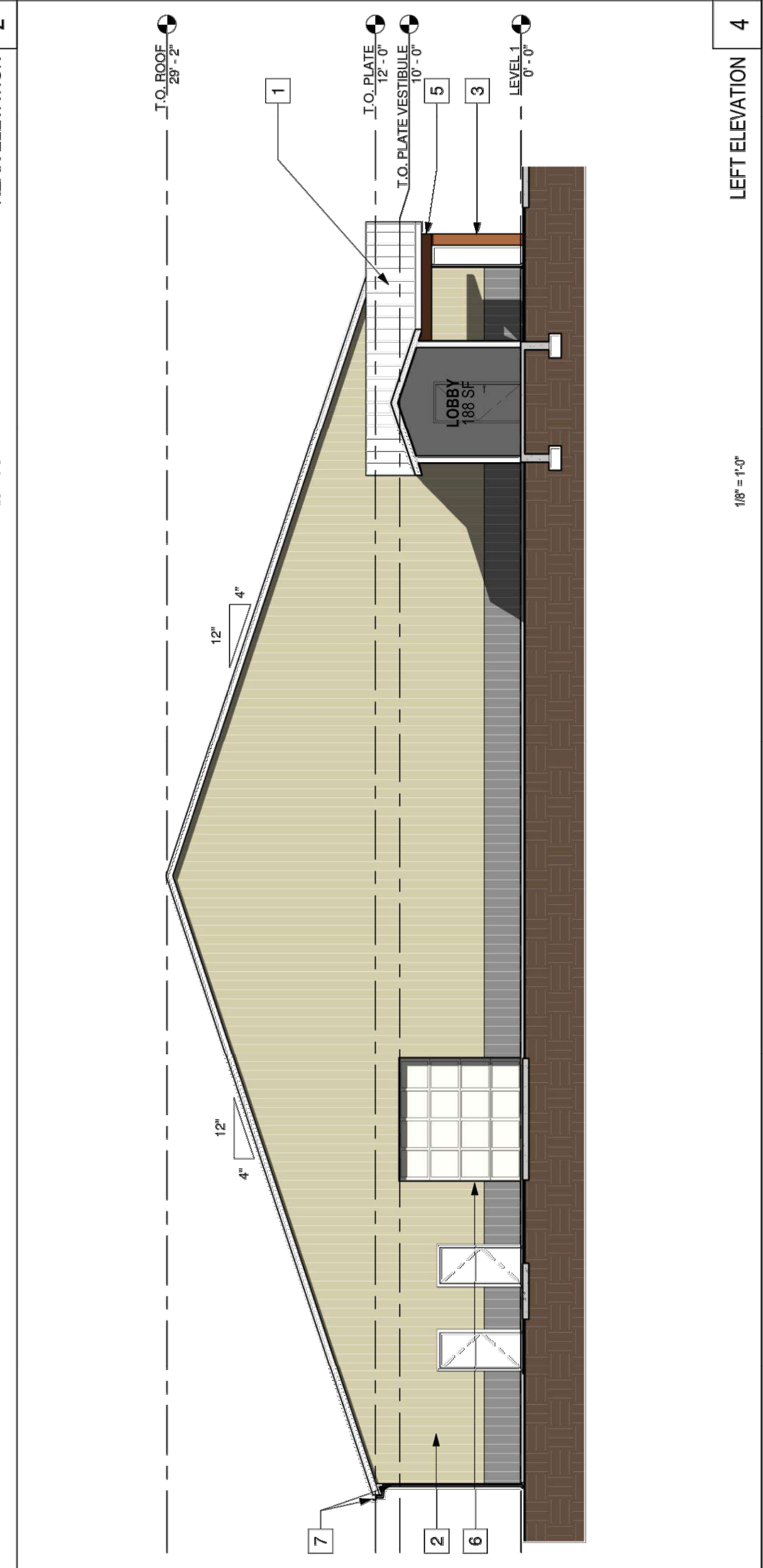
FRONT ELEVATION 1

1/8" = 1'-0"



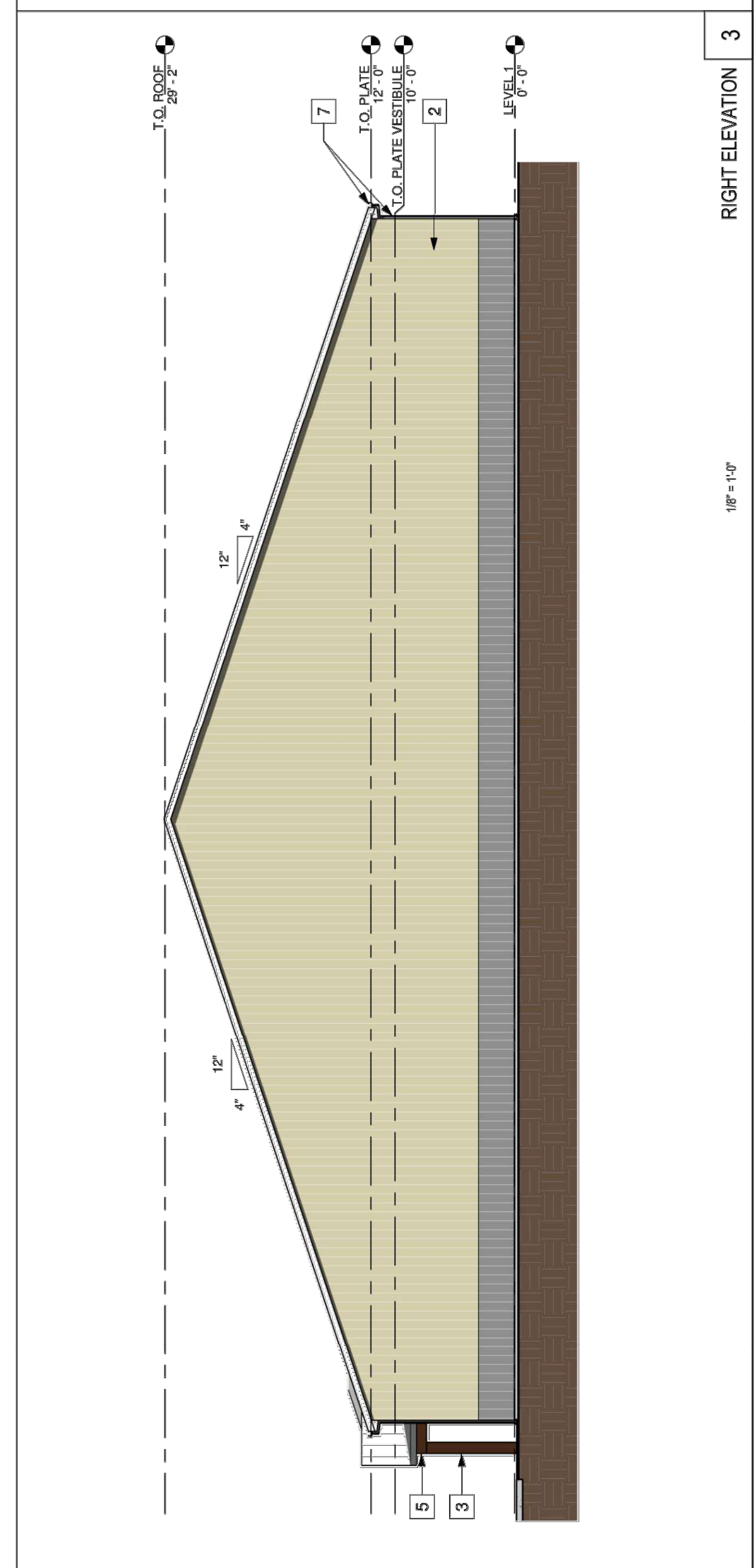
REAR ELEVATION 2

1/8" = 1'-0"



LEFT ELEVATION 4

1/8" = 1'-0"



RIGHT ELEVATION 3

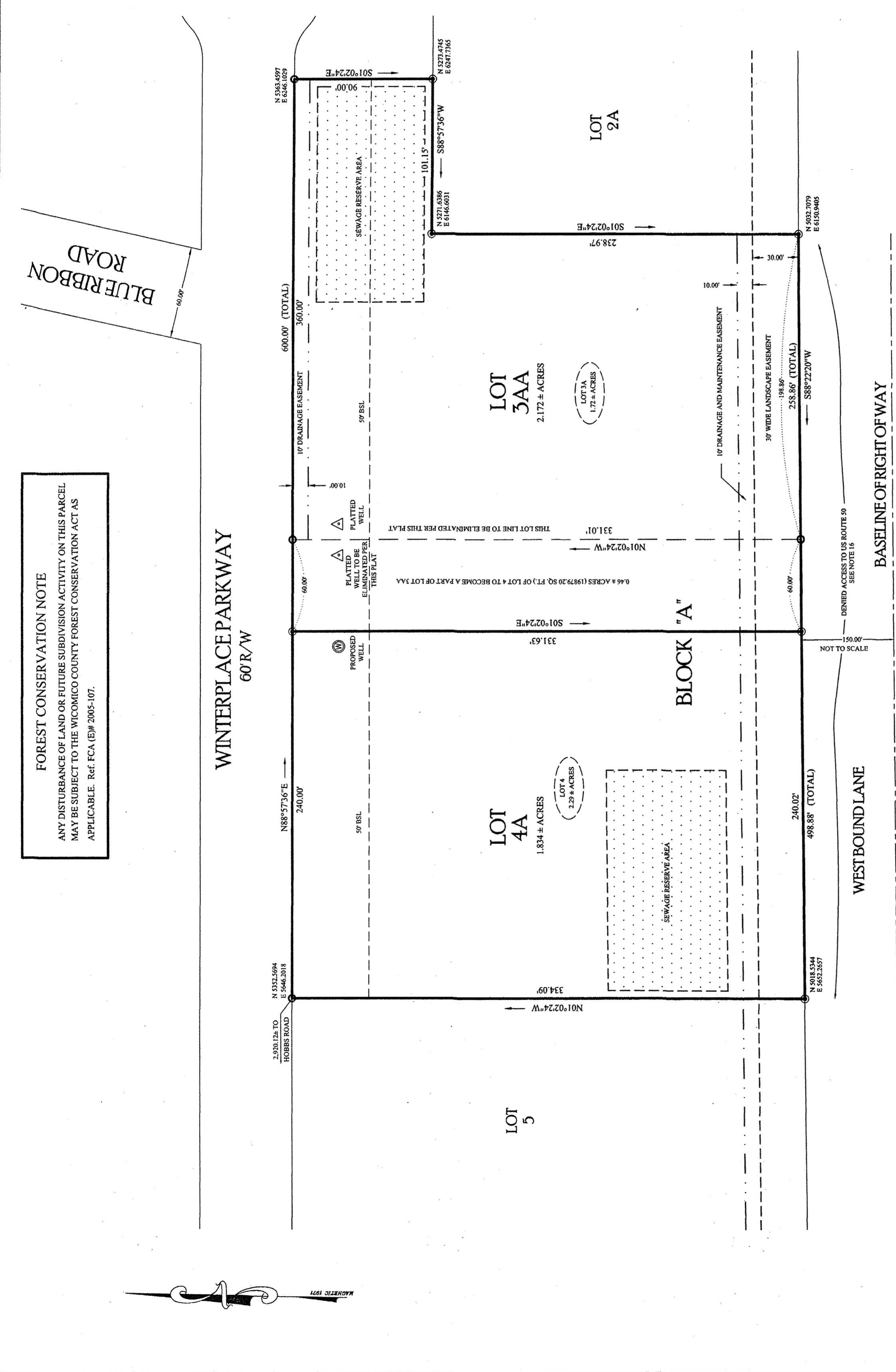
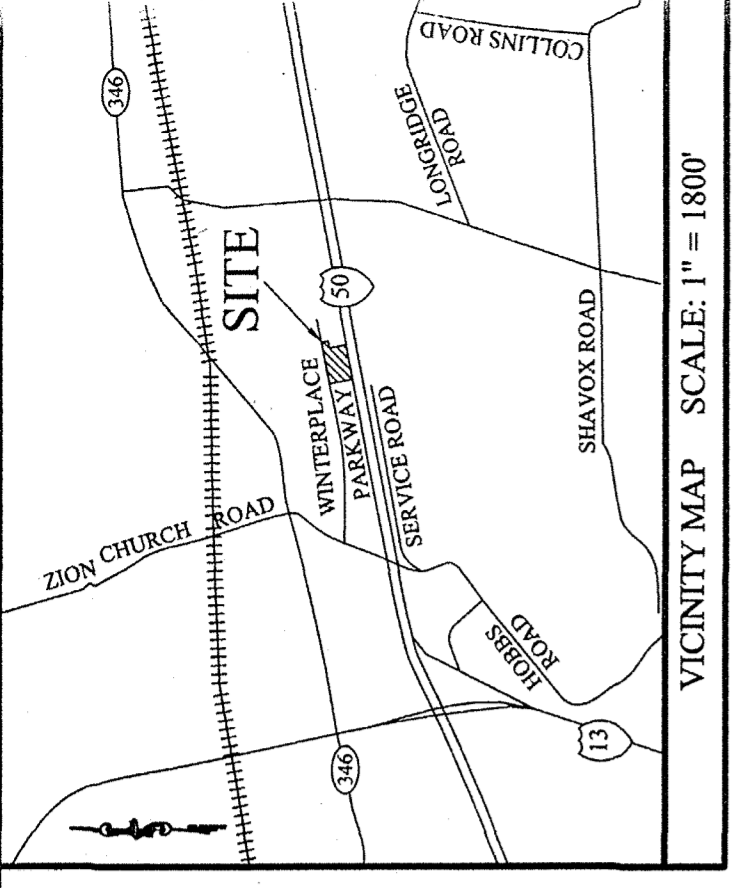
1/8" = 1'-0"

MARK	ELEVATION NOTES	NOTE
1	METAL ROOF	
2	VERTICAL METAL SIDING	
3	WOOD COL.	
4	STOREFRONT	
5	WOOD BEAMS & RAFTERS	
6	OH DOOR	
7	GUTTER & D.S.	
8	(E) ADJACENT BLDG.	









**FOREST CONSERVATION NOTE**  
ANY DISTURBANCE OF LAND OR FUTURE SUBDIVISION ACTIVITY ON THIS PARCEL MAY BE SUBJECT TO THE WICOMICO COUNTY FOREST CONSERVATION ACT AS APPLICABLE. Ref. FCA (E)# 2005-107.



*Wicomico County*  
*August 30, 2005*  
*MSB Cab 14 Folio 900*

FINAL PLAT APPROVAL CERTIFIES THAT THIS SUBDIVISION HAS BEEN REVIEWED FOR STORMWATER DRAINAGE AFFECTING ONLY STREETS AND PUBLIC AREAS WITHIN ITS OWN BOUNDARIES, NOT INDIVIDUAL LOTS.

*A. Rei Sharma* 8/23/05  
WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS

*Dee Carter* 8/23/05  
WICOMICO COUNTY PLANNING & ZONING

*Mary Phyllis Diddens* 8/23/05  
WICOMICO COUNTY HEALTH DEPARTMENT

THE PURPOSE OF THIS PLAT IS TO ADJUST A PROPERTY LINE.

WE CERTIFY THAT THE REQUIREMENTS OF REAL PROPERTY SECTION 1-108 OF THE ANNOTATED CODE OF MARYLAND LATEST EDITION, AS FAR AS IT CONCERNS THE MAKING OF THIS PLAT AND THE SETTING OF MARKERS, HAVE BEEN COMPLIED WITH TO THE BEST OF OUR KNOWLEDGE.

*ROPER* 8/23/05  
THOMAS H. RUIRK, LIC. 21183  
PROFESSIONAL LAND SURVEYOR

*[Signature]* 8/23/05  
OWNER LOT 3A & 4

**LEGEND**

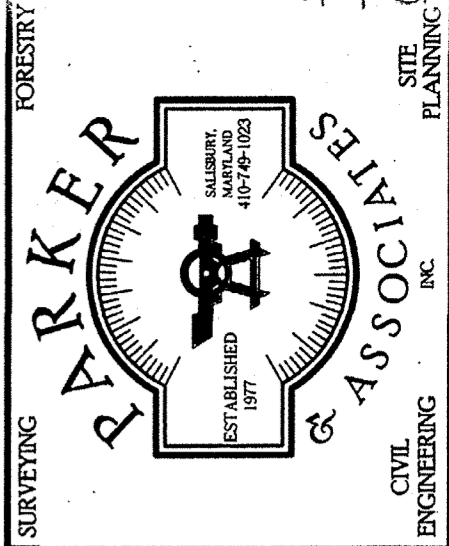
- - IRON PIPE FOUND
- - IRON PIPE TO BE PLACED
- △ - PLATTED WELL
- ⊙ - PROPOSED WELL
- ⋯ - PLATTED SEWAGE RESERVE AREA

REVISIONS	DATE	BY
	07/20/05	SMK
	08/25/05	EDR

<b>RESUBDIVISION PLAT</b>	
LOTS 3A & 4, BLOCK "A"	
WINTERPLACE EXECUTIVE PARK, SECTION TWO	
LOCATION	PARSONS ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND
SCALE	1" = 50'
DATE	06/24/05
TAXMAP	39
DRAWN BY	SMK
JOB NO.	S1700
DWC	/S1700/RESUB
ENGINEERING	P/O720
SITE PLANNING	

- GENERAL NOTES**
- The property shown hereon is currently owned by: Thomas H. Ruark, Inc., P. O. Box 1752, Salisbury, Maryland, 21802-1752. Telephone: 410-749-0193.
  - Deed reference: 1317245
  - Plat reference: 890 & 10766
  - Other references: Declaration of Covenants and Restrictions: 1349726; Maintenance and Inspection Agreement of Stormwater Management Facilities: 1394287.
  - Total number of lots = Two
  - Total area of lots = 4.01 ± acres.
  - The present zoning of this property is: Light Business & Institutional.
  - This property is located within G.P.R. Management Zone B-1.
  - No building, structure, easement, right of way or driveway shall be permitted within area designated as sewage reserve area as shown on this plat.
  - No building or structure to be located within thirty feet of a designated well site or ten feet from the platted sewage reserve area.
  - Sewage disposal system(s) must be located at highest elevation of sewage reserve area(s).
  - This property is shown on F.I.R.M. Community Panel #240078 0028C (Panel 28 of 55), dated 9/28/84, as being in Flood Zone C, Area of Minimal Flooding.
  - No title report was provided for our use, therefore this boundary survey is subject to any encumbrances, restrictions, easements and/or rights of way that might be revealed by a thorough title search.
  - The following note is a standard note required by the Wicomico County Department of Public Works on all subdivision plats: These lots may be susceptible to periodic localized storm water drainage problems. Lot owners are encouraged to prepare the site and construct structures so as to minimize the impact of these potential storm water drainage problems.
  - The approval of the Wicomico County Department of Public Works does not relieve the applicant of the responsibility to comply with all other applicable Federal, State, and Local laws.
  - No access either vehicular, pedestrian and/or animal will be permitted across the right-of-way line adjacent to U.S. Route 50 except by means of such public roads connections as are authorized by law.
  - Within the area designated as "Drainage and Maintenance Easement", objects (such as structures, fences, sidewalks, paved driveways, and/or utilities) which may act as an obstruction to the intended use and/or maintenance of this easement shall not be permitted.

- LANDSCAPING AND SETBACK NOTES**
- A 50' front setback is required from Winterplace Parkway with the first 15' devoted as a landscape strip.
  - A 15' side yard setback is required with 5' adjacent to all property lines devoted to a landscape strip.
  - A 30' rear setback is required for all lots. The 30' rear yard setback shall be landscaped for all those lots that abut U.S. Route 50. The Beaver Run School property, the County Park property, or any lot not owned by a developer.
  - A 30' rear setback is required with a 5' landscaped area abutting all side and rear property lines for all lots where a 30' landscaped area is not required.
  - Additional plantings may be required by the Wicomico County Board of Zoning Appeals at the time a specific site plan is submitted, if existing vegetation is not deemed sufficient for landscaping requirements.



MSA Csu 2332 1371  
P115972



WICOMICO COUNTY, MARYLAND  
DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT  
125 N. DIVISION STREET, ROOM 203  
P.O. BOX 870  
SALISBURY, MARYLAND 21803-0870  
PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano  
County Executive

Bunky Luffman  
Director of Administration

Tracey G. Taylor  
Director

**BOARD OF APPEALS  
RESOLUTION of DECISION  
(Original Jurisdiction)**

**February 27, 2025**

**Salisbury Maryland Kennel Club, Inc.**

**#WA-2503 - Salisbury Maryland Kennel Club, Inc., in accordance with Section 225-136 of the Wicomico County Zoning Code, requests a Special Exception to allow a deviation from the parking requirements set forth in 225-135-C on property located east of Salisbury and binding upon the southerly side of Winterplace Parkway, about 6/10 of a mile east of its intersection with Hobbs Road in the LB-1 Zoning District. M-39, G-10, P-720, L-4A**

On behalf of the Applicant, Brock Parker, consultant for Salisbury Maryland Kennel Club, Inc., came before the Board to request a Special Exception for a reduction in the number of parking spaces required for the enlargement of the existing facility. The private club employs staff members and volunteers and conducts dog training classes and small events at the site. Class sizes are usually fewer than ten (10) dogs (with owners/handlers) and instructors. According to the Applicant, there are seldom more than 18 vehicles at the site. The property is east of Salisbury and binding upon the southerly side of Winterplace Parkway in the Winterplace Executive Park. Winterplace Executive Park continues to be developed for recreational, commercial, and professional uses.

After a comprehensive review of the Staff's evaluation outlined in the Staff Report, the consideration of additional testimony, and Conditions of Approval, the Board finds that the Applicant has satisfactorily met the criteria for approval of this request, as set forth in Section 225-136 of the Zoning Code. The Board granted the deviation from the parking requirements with seven (7) Conditions of Approval.

Based on evidence acquired through the Staff Report, and the applicant's testimony, the Board has determined the following Findings of Fact to be true:

- (1) The Board determined that Salisbury Kennel Club would operate at a less intensive level of activity than other uses with similar parking standards and found that the approved number of parking spaces would adequately serve the club while remaining consistent with the “*intent of the Code.*”
- (2) Conditions noted at the site have been consistent with the Board’s findings, and it seems the parking provided adequately serves the club’s current operations.
- (3) The club's Existing parking facilities appear to adequately serve it. There is no evidence that the additional 37 spaces cannot handle future parking numbers.

Board Member **Dave Ennis** offered a **MOTION** to grant the Special Exception for the deviation from the parking requirements. The suggested conditions of approval were adopted. **Jim Morris SECONDED** the motion. With **Michael Hoy** voting **AYE**, **William “Bill” Turner** voting **AYE**, and **Chairman Phil Wright** voting **AYE**, the Board approved the Special Exception with seven (7) conditions of approval.

### Conditions of Approval

1. The granting of this Special Exception - Deviation from the Parking Standards [as set forth in Section 225-135-C (number of spaces required)] constitutes the exercising of the Board’s approval.
2. Development of the site shall be in accordance with the Comprehensive Development Plan, Applicant’s Exhibit B of 2/27/25. Minor changes in the plan may be approved by Planning & Zoning staff. Major changes shall be subject to the review and approval of the Wicomico County Planning & Zoning Commission.
3. The over-flow parking area shall be stabilized to minimize ruts, potholes, dust and/or sediment run-off.
4. All site development (regarding stormwater management and other factors) shall be in accordance with applicable standards and regulations as required by the Department of County Public Works.
5. This action regards on-site parking standards only. All other site development shall be in accordance with the Wicomico County Planning & Zoning Commission Conditions of Approval.
6. Failure to comply with the above Conditions may render the approval in this matter null and void.
7. The Applicant shall obtain a County Building Permit, if applicable, and comply with all Codes and regulations set forth therein. Additional materials may be required by the appropriate agency.

Approved this 27th day of February, 2025.

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J. Phillips Wright, Jr. – Chairman

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Janae Merchant – Recording Secretary

**WINTERPLACE EXECUTIVE PARK/EXECUTIVE PARK  
AND ON-SITE SIGNS  
SPECIAL EXCEPTION - WA-92103  
HOBBS ROAD AND U.S. RT. 50  
EXHIBIT B**

(Changed/Revised Current through June 30, 1994)

**A. AREA OF SPECIAL EXCEPTION:**

The Special Exception granted by the Board applies to 97 acres, more or less, of a tract of land known as WinterPlace Farm as more specifically shown on Exhibit A attached hereto and made a part hereof (See file for land area). For the purposes of clarifying the applicability of these conditions, the area of the Special Exception shall be divided into two blocks as follows:

1. Block A: all that land adjacent to Hobbs Road and served by a proposed street extending from Hobbs Road in an easterly direction.
2. Block B: all that land fronting on Walston Switch Road and provided access by a proposed road extending in a westerly direction.

**B. SPECIFIC SPECIAL EXCEPTIONS:**

1. This approval includes the following specific Special Exceptions for the WinterPlace Executive Park:
  - (a) Individual Commercial Establishments:
    - (1) Business-Offices/Office Building
    - (2) Warehouses/Offices
    - (3) Wholesale uses and distribution centers (excluding truck terminals)



- (4) Light Industrial Uses (Limited to assembly of a finished product from previously processed materials; or the mixing or blending of non-toxic liquids into a finished product)
- (b) Convenience Stores with fuel dispensing pumps-only one and only on Block A, Lot 1 or on Block A, Lot 2 up to 1/2 of Lot 3; once final plans for a Convenience Store are approved by the Board, the lot not used for a Convenience Store may be used for any use as approved herein.
- (c) Buildings and Uses of a Recreational Cultural, Educational, Social and Utility Nature.
- (d) Equine research, stables, riding stable, training track, hospital, veterinary clinic and other equine related facilities.
- (e) Motels/Restaurant - only one and only on Block B, Lot 1 - Walston Switch Road
- (f) Boat Sales
- (g) Group Day Care Center
- (h) On-site Signage greater than 4 sq. ft. for three Executive Park signs

**C. GENERAL CONDITIONS OF APPROVAL:**

1. This Special Exception shall be deemed to be exercised at the date of final approval of the subdivision plat by the Wicomico County Council. Further extensions to this approval may be granted by the Board thereafter without the need for an advertised public hearing, provided that all interested parties are notified. Once exercised, all previous approvals on the site shall become null and void and no longer in effect, except for Special Exceptions WA-89107, Perdue, Inc. for a sign on Parcel 146 and WA-72132 for two existing mobile residences.
2. The developer shall submit to the Board a final site plan for the entire Executive Park showing compliance with these standards and conditions, and code requirements. Approval of the final site

plan shall be processed as an Administrative Matter with all interested parties notified of this appearance.

3. The developer is responsible for preparing a subdivision plat to be approved in accordance with all County subdivision regulations together with the establishment of a Property Owner's Association to provide for further maintenance of all park landscaped areas, stormwater management and park signs.
4. The Applicant is responsible for installing landscaping or retaining all natural growth of trees larger than 1 inch in diameter as follows:
  - (a) on a 50 ft. strip adjacent to the right-of-way of Hobbs Road on lots 7 and 42 in Block A.
  - (b) on a 30 ft. strip around the entire perimeter of Lot 1, Block A; the "island" lot formed by old and relocated Hobbs Road.
  - (c) on a 30 ft. strip adjacent to the rear or side lot lines on the remaining portion of the project including all those lots that abut the school or the proposed park; the same being the perimeter of the area of this Special Exception.
  - (d) additional plantings may be required by the Board at the time a specific site plan is submitted if the existing vegetation on the site is not deemed sufficient for landscaping purposes.
5. The developer is responsible for installing the three Executive Park Business signs and landscaping as shown on Applicant's Exhibit B, B-1 and B-2, Signs.
6. Building Permits:
  - (a) The Applicant may apply for building permits for one or more Executive Park Signs after the Board's final approval of these conditions.
  - (b) No building permit shall be issued for development of any lot/lots except for the three Executive Park Signs until an individual site plan, drawn to scale and showing compliance with these standards and conditions and minimum Code requirements have been submitted to and approved by the Board. This procedure can be handled as

an Administrative Matter with all interested parties notified of the public meeting. The Board reserves the right to impose additional Conditions of Approval at the time each site plan is submitted.

- (c) No building permits shall be issued for structures except for the three Executive Park Signs on the lots abutting Route 50, Hobbs Road or Walston Switch Road until a site plan and elevation drawings showing exterior appearance are submitted to the Board and approved by the Board as an Administrative Matter.
7. Development of the property shall be in accordance with that shown on the final site plan, and individual site plans for each use as subsequently submitted to and approved by the Board.
8. Access:
- (a) Access shall be provided to the interior lots by the two proposed streets; one to known as proposed Street A extending in an easterly direction from Hobbs Road; and the other as proposed Street B extending in a westerly direction from Walston Switch Road. Both streets shall have a right-of-way of at least 60 ft. or as may be required by the Planning Commission at the time subdivision plat is filed. The Applicant may provide for a dual lane with landscaped islands around the entrance of both roads.
  - (b) No direct access shall be permitted to Old Ocean City Road from Lot 1 in Block A; the island lot formed by the old and relocated Hobbs Road.
  - (c) No direct access shall be provided to Hobbs Road from Lots 7 or 42 in Block A; or to Walston Switch Road from Lot 1 in Block B.
  - (d) Access to lots 3, 4, 5, and 6 fronting on Hobbs Road shall be as determined by the Director of Public Works at the time a subdivision plat is submitted.
  - (e) The Applicant agrees to dedicate up to 15 ft. of right-of-way adjacent to the easterly side of Hobbs Road and the westerly side of Walston Switch Road for

future road widening purposes if required by the Director of Public Works.

9. All on-site parking, maneuvering and driveway areas shall be paved with tar and stone, asphalt, or concrete and constructed in accordance with the Code requirements.
10. No outdoor open lot storage shall be permitted unless specifically approved by the Board. All such outdoor storage shall be enclosed within chain link fencing with slats or other architecturally solid fencing and screened with shrubs. Neither the fence nor enclosed storage shall exceed 8 ft. in height.
11. Each lot/lots may be shared by more than one principal use but each use must comply with these Conditions of Approval.
12. Lighting standards shall be of a cutoff type and shall be no higher than 25 feet.

**D. ON-SITE SIGNS:**

1. **Building Permit:** A building permit shall be obtained for each on-site sign. The issuance of the first building permit shall constitute the exercising of this Special Exception - On-Site Signs for the entire project. Additional building permits may be issued thereafter without further approval provided that each sign conforms with all Conditions of Approval.
2. **Ground Sign:** Only one ground sign, not to exceed 100 sq. ft. in surface area, 25 ft. in height, setback 10 ft. from the property line will be permitted on all lots (except for the lots containing the Business Park signs and the motel/restaurant site - see D-6). On the U.S. Route 50 lots, except for the motel/restaurant site, the ground sign shall be placed in the northerly part of the property, adjacent to the interior street. If a use should require more than one lot, only one sign shall be permitted per use (changed as of 6/30/94).
3. **Directional Information Signs** - Each use may have a total of 50 sq. ft. of on-site directional or informational signs provided that no sign shall be larger than 2 ft. by 4 ft. (except for those lots containing one of the three Executive Park Signs).



4. **Executive Park Sign U. S. Route 50:** - only one ground sign, not to exceed 18 ft. in height, setback 2 ft. from right-of-way of U.S. Route 50, and identifying only the name of the Executive Park, shall be permitted along U. S. Route. 50. The base of the sign shall be landscaped with low growing, flowering evergreen shrubs. It shall be constructed in accordance with Applicant's Exhibit B, revised and approved July 27, 1993. It shall be placed as indicated by the Applicant and designated in Drawing B-3, dated 7/17/93. This sign may be placed either parallel with or perpendicular to U.S. Route 50. (Changed July 27, 1993)
5. **Executive Park Signs: Walston Switch and Hobbs Road** - one ground sign each, setback 10 ft. from the right-of-way along each road and identifying only the name of the Executive Park, will be permitted within the landscaped islands. The base of each sign shall be landscaped with low growing flowering and evergreen shrubs. These signs shall be constructed in accordance with Applicant's Exhibits B-1, and B-2,(Changed as of July 27, 1993.)
6. **Motel/Restaurant Site:** One ground sign not to exceed 100 sq. ft. in area, no higher than 18 ft. and setback 10 ft. from the property line on Walston Switch Road or the right-of-way of U.S. Route 50.
7. **Wall Signage:** Only one wall sign not to exceed 50 sq. ft. will be permitted on those lots not fronting on U.S. Route 50. For those lots abutting the U.S. Route 50 right-of-way, one additional wall sign not to exceed 50 sq. ft. may be installed on the U.S. Route 50 front of the building at the option of the developer. (Added June 30, 1994).

**E. SETBACKS FOR BUILDINGS AND STRUCTURES:** (excluding setbacks of any buildings existing as of September, 1992 - landscaped strips are applicable)

The following setbacks shall apply to all buildings and structures constructed on the site:

1. A 50 ft. setback shall be required from all lot lines that abut the two internal streets with the first 15 ft. devoted to a landscape strip.
2. A 15 ft. side yard setback is required for each use with 5 ft. adjacent to all property lines devoted to a landscaped strip.

3. A 30 ft. rear setback is required for all properties. The 30 ft. rear yard setback shall be landscaped for all those lots that abut U.S. Route 50, the proposed park, or adjacent lands not owned by the Applicant, or on Block A, Lot 1.
4. A 30 ft. rear setback is required with a 5 ft. landscaped area abutting all side and rear property lines for all lots where a 30 ft. landscaped area is not required.
5. An 80 ft. setback is required from the center line of Walston Switch and Hobbs Road.

**F. LANDSCAPING REQUIREMENTS:** Landscaping, consisting of permanent ground cover and a combination of deciduous and evergreen trees and shrubs, shall be provided in the following areas on each site:

1. A 30 ft. buffer of natural vegetation and trees over 1 inch in diameter on a landscaped area with no structural intrusion except for one of the three Executive Park signs shall be retained on those lots located:
  - (a) Along all lot lines that abut Beaver Run School and the proposed park.
  - (b) Along the front lot lines on Hobbs Road except for Lots 7 and 42 where such area shall be 50 ft. in width, and along the front lot line on Walston Switch and Old Ocean City Roads.
  - (c) Additional plantings may be required by the Board within this strip and elsewhere, if the existing vegetation is inadequate.
2. A 15 ft. wide landscaped area shall be provided for each lot fronting on the two interior streets, existing trees with open space if adequate, maybe substituted for this requirement.
3. A landscaped area of at least 5 ft. shall be provided adjacent to all side and rear property lines except for those lots where a 30 ft. area is required. Existing trees with open space, if adequate, may be substituted for this requirement.

4. A landscaped area of 30 ft. shall be provided adjacent to the U.S. Route 50 right-of-way along the southerly lot line of Block A, Lots 20-42 and Block B, Lots 1-5. Existing trees with open space, if adequate, may be substituted for this requirement.
5. A landscaped area of 30 ft. abutting all lot lines on Block A, Lot 1.
6. All stormwater management ponds shall be landscaped with grass, trees and shrubs. The landscaping shall be placed outside fencing if the area is enclosed.

**G. ADDITIONAL CONDITIONS - Lots along U.S. Route 50.**

1. Elevation drawings showing the exterior appearance of buildings, structures including signs on these lots shall be submitted to the Board for approval as an Administrative Matter. Buildings on lots abutting the right-of-way of U.S. Route 50 shall be designed to have a "front like appearance" on both proposed Streets A and B and U.S. Route 50.
2. Lots adjacent to the U.S. Route 50 right-of-way shall have the option of one additional 50 sq. ft. wall sign facing U.S. Route 50 limited to the name of the company only.
3. No permanent parking shall be permitted between the building and the southerly property line adjacent to U.S. Route 50.
4. Outdoor storage shall be permitted only in the side yards of these lots only after review and specific approval of each site plan by the Board.
5. No items for sale or displays shall be permitted in the side yards or southerly part of these lots between the building and the southerly lot line or in the easterly or southerly part of the lot on the corner of Walston Switch Road and U.S. Route 50 except as specifically approved by the Board. Additional conditions concerning limited display areas, stabilization, landscaping elevations and etc., could be imposed at that time.

**H. MANAGEMENT: A Property Owners Association shall be established to include all land owners in order to assure compliance with these Conditions and for management and control of all park landscaped areas,**

stormwater management and park signs for this project. The associations bylaws and/or constitution are subject to review and approval by the County Attorney and after approval filed in the Land Records of Wicomico County.

- I. **USES PERMITTED:** Once permission to use the site as an Executive Park has been exercised, only those uses listed in Section B, Specific Special Exceptions shall be placed on the site.

Further action on all uses listed herein can be handled as an Administrative Matter with all interested parties notified, unless the Board determines that an advertised public hearing is required.

- G. **GENERAL NOTATIONS:** No requirements within these conditions prohibit the applicant or representative from either exercising the right to appear before the Board for modifications of these approvals as provided in the Zoning Code; or for making applications to the Board for any other uses allowed in the Agricultural-Rural Residential District, either inherently or by Special Exception.

(Originally approved October 29, 1992)

Changed/Revised June 30, 1994



## Infrastructure and Development Planning and Zoning Commission Staff Report

March 20, 2025

### I. BACKGROUND INFORMATION:

**Project Name:** Mitchell Pond Apartments

**Applicant/Owner:** Lane Engineering, LLC on behalf of Homes for America

**Infrastructure and Development Project No.:** 25-006

**Nature of Request:** Revised Final Comprehensive Development Plan

**Location of Property:** 1117 Parsons Road

**Zoning District:** R-5A

**Tax Map and Parcel:** Tax Map: 106, Grid: 14, Parcel: 1118

**Area:** 6.78 Acres

### II. EXPLANATION OF REQUEST:

The site is owned by Homes for America (HFA) and is presently developed with 10 two-story garden-style apartment buildings containing 15 three-bedroom units and 53 two-bedroom units, a laundry/maintenance building and a community center building. The existing project and site improvements were constructed sometime around 1983, with the most recent renovations occurring in 2006. A narrative (**Attachment 1**), Community Impact Statement (**Attachment 2**), Revised Comprehensive Development Plan (**Attachment 3**), and elevations (**Attachment 4**) have been submitted for Planning Commission review and approval.

The existing ten (10) apartment buildings will have both exterior and interior renovations. Exterior renovations include new roofing, siding, windows, doors, and entrance lights, as well as repairs to the existing exterior stairs and stairwells. Interior renovations include new fixtures and finishes. Four (4) of the units will be renovated to become fully ADA compliant, with two (2) additional units being upgraded to accommodate visually or hearing-impaired individuals. The applicant also proposes to perform general site upgrades to increase visibility, security, and bring the existing infrastructure into ADA compliance.

The existing 1,025 sf laundry and maintenance building will be demolished and replaced with a new 1,446 sf community center that includes a kitchenette, two (2) restrooms, and a business center. The existing 1,814 sf leasing office will be fully rehabilitated to include the laundry and maintenance facilities.

Access to the site directly from Parsons Road is being eliminated. The applicant is proposing this closure to provide security for the site and eliminate cut-through traffic.



# City of Salisbury

### III. STAFF COMMENTS:

- A. **Minimum Lot Size, Setbacks, and Height Restrictions.** The plan has been reviewed by the City Surveyor and all lots conform to the standards listed in Ch 17.160.060A & 17.160.060B. The height of the proposed rental office building is eighteen (18) feet and meets the standards set forth in Ch 17.160.060C.
- B. **Density.** This plan does not indicate an increase in density. Exterior improvements of existing apartments and the conversion of the existing laundry facilities to a community building are proposed and will not create any additional residential units.
- C. **Building Elevations.** Building elevations for new community center and renovated leasing office have been provided in Attachment 4. The existing breezeway between the two buildings will be removed and the buildings will be unified with one entranceway.
- D. **Stormwater Management.** A separate Stormwater Management Plan submittal is not required for this project per the City Engineer based on the total sf of disturbance.
- E. **Landscaping & Open Space.** The maximum allowable site coverage by buildings is 25%. The improvements proposed here will not greatly impact the total site coverage, and will create a total of 10.7% coverage, well below the allowable standard. A separate landscaping plan was not provided for review, although the applicant includes language in the narrative regarding improvements to existing green space.
- F. **Signs.** A revised sign plan was not submitted. One (1) additional freestanding sign is proposed for the community building.
- G. **Parking.** Ch 17.220 requires 122 vehicular spaces be provided for this project. Additional parking will be provided for guest parking and to provide additional ADA spaces, for a total of 135 spaces. Four (4) standard ADA and two (2) van accessible spaces will be included in the total provided. The applicant did not request a parking waiver for the increase, but staff believes it is in the best interest of the community to allow for the provision of additional accessible spaces.
- H. **Fire Marshal Comments.** Upon review, the City Fire Marshal has no objections to the approved plan. A new fire hydrant will need to be installed on Mitchell Road near the remaining entrance as shown on the Revised Comprehensive Development Plan.
- I. **Development Schedule.** A specific development schedule was not provided. The applicant intends to begin work upon attainment of all appropriate and required permits.
- J. **Community Impact Statement and Statement of Intent to Proceed and Financial Capability.** The applicant has supplied a Community Impact Statement for the Commission's review. There will be minimal impacts to the community and surrounding infrastructure as



# City of Salisbury

the scope of work for this project is mostly building renovations to existing structures. The use of the project as it exists today remains unchanged.

## **IV. RECOMMENDATION:**

The proposed Comprehensive Development Plan conforms to all development standards as stated in the City of Salisbury Municipal Code Chapter 17.160 for the R-5A residential district.

Planning Staff recommends granting Revised Final Comprehensive Development Plan Approval for Mitchell Pond Apartments, subject to the following five (5) Conditions of Approval:

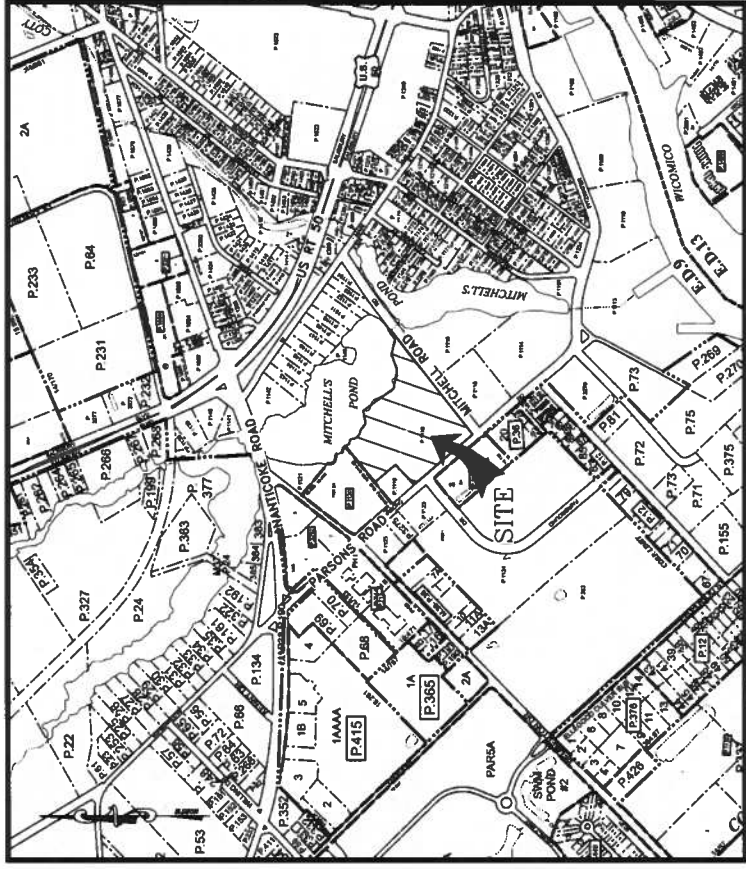
### **PROPOSED CONDITIONS:**

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Install a City Standard compliant fire hydrant along Mitchell Road as indicated on the Comprehensive Development Plan;
3. Provide a revised sign plan for Planning Commission approval prior to issuance of sign permit;
4. Provide a detailed landscaping plan for review by the Department of Infrastructure and Development to include additional landscaping to offset the increase in parking;
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, Salisbury Fire Department and other applicable agencies.

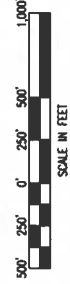


# COMPREHENSIVE DEVELOPMENT PLAN FOR MITCHELL POND APARTMENTS

## IN THE CITY OF SALISBURY WICOMICO COUNTY, MARYLAND



VICINITY MAP



24. FOR INSPECTION OF PRIVATE SEWER MAINS AND FOR AMENDMENT OF EXISTING SEWER SERVICES, CONTRACTOR TO CONTACT CITY PLUMBING DEPARTMENT FOR REQUIREMENTS, AND TO COORDINATE THE WORK AND INSPECTION.
25. MAINTAIN 42" OF COVER OVER ALL NEW WATER MAINS.
26. FIRE HYDRANTS AND VALVES SHALL CONFORM TO CITY STD. NO. 300.55.
27. BLOW OFF HYDRANTS SHALL CONFORM TO CITY STD. NO. 300.51.
28. WATER MAINS TO BE PVC C-900 DR-18.
29. DUCTILE IRON MECHANICAL JOINT FITTINGS PER CITY'S CONSTRUCTION AND STANDARDS SHALL BE USED TO RESTRAIN ALL WATER MAIN JOINTS.
30. #12 SOLID COATED COPPER TRACER WIRE TO BE USED ON ALL CITY WATER MAINS PER CITY STD. NO. 300.55.
31. ALL VALVE BOXES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE VALVE BOX UD. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE VALVE BOX LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND EACH VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.
32. WATER METERS AND ASSOCIATED VALVES SHALL NOT BE LOCATED IN WATER OR VALVE FOUND TO BE IN SUCH AN AREA AFTER PROJECT COMPLETION, SHALL BE RELOCATED TO BE IN A DEDICATED LOCATION. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS INCLUDING, BUT NOT LIMITED TO, ADDITIONAL INSULATION SEE WATER MAIN TAPS, PAVEMENT, CURB, GUTTER, AND/OR SIDEWALK RESTORATION, ANY RESETTING, AND ANY AND ALL ASSOCIATED APURTANCEMENTS.

**STATEMENT OF PURPOSE & INTENT**

THE PURPOSE OF THESE PLANS IS TO OBTAIN SITE PLAN APPROVAL AND PROVIDE NECESSARY CONSTRUCTION INFORMATION TO RECONSTRUCT AN EXISTING COMMUNITY BUILDING AND UPGRADE SITE ELEMENTS TO BE ADA COMPLIANT, ALONG WITH OTHER WORK SITE IMPROVEMENT MODIFICATIONS.

**INDEX OF SHEETS**

PDF SHEET	SHEET No.	TITLE
1	G-101	TITLE SHEET
2	G-102	PROJECT NOTES
3	V-101	EXISTING CONDITIONS & DEMOLITION PLAN
4	C-101	COMPREHENSIVE DEVELOPMENT PLAN
5	C-101.1	SITE DETAILS
6	C-501	SITE DETAILS
7	C-501.1	SITE DETAILS



LOCATION MAP  
SCALE: 1" = 2,000'

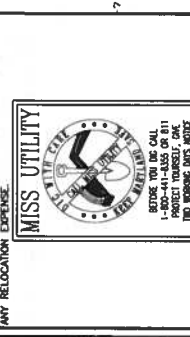
PLANS ARE ISSUED FOR REVIEW ONLY

PLANS ARE NOT APPROVED FOR CONSTRUCTION

No.	DATE	DESCRIPTION	BY

**WARNING!!**  
THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES TO BE MAINTAINED OR REMOVED. FOR QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL TEST AND LOCATE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY OF SALISBURY AND WICOMICO COUNTY OF ALL POSSIBLE CONFLICTS WITH UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION OF UTILITIES.



**Lane Engineering, LLC**  
Civil Engineers • Land Planning • Land Surveyors  
Established 1986

117 PEARSONS ROAD  
SALISBURY, MARYLAND 21801  
OWNER/DEVELOPER

MITCHELL POND LIMITED PARTNERSHIP  
318 SOUTH STREET, SUITE 2  
ANNAPOLIS, MARYLAND 21403

**CIVIL ENGINEER**  
LANE ENGINEERING, LLC  
117 PEARSONS ROAD  
C/O MITCHELL POND LIMITED PARTNERSHIP  
117 SOUTH STREET  
EASTON, MD 21801  
(410) 822-6003

**ARCHITECT**  
STUDIO 343  
612 EAST BALTIMORE STREET  
19120 UNKLEIN PARK  
ANNAPOLIS, MARYLAND 21401  
(410) 267-8899

**CONTRACTOR**  
TO BE DETERMINED

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 230492. Expiration Date: 7/5/2025.

SEAL



**TITLE SHEET**

**MITCHELL POND LIMITED PARTNERSHIP**

IN THE CITY OF SALISBURY  
WICOMICO COUNTY, MARYLAND  
TAX MAP 106 GRID 14 PARCEL 1118

ISSUED/PREPARED FOR: DATE: 09/20/24  
602 SUBMITTAL: 12/19/24  
COMPREHENSIVE DEVELOPMENT PLAN-PC 07/07/25

SHEET No. G-101  
JOB No. 230492  
SCALE: AS NOTED  
FILE No. D408

- CITY OF SALISBURY GENERAL NOTES**
1. THE CITY RESERVES THE RIGHT TO REQUIRE STRUCTURAL MODIFICATIONS TO THE SITE WORK FOLLOWING PERMIT ISSUANCE IF SUCH MODIFICATIONS ARE NECESSARY.
  2. ALL REVISIONS, DRAWINGS AND ROAD DATUMS IN THE PUBLIC ROWWAY, WHICH IS ASSOCIATED BY THE PAVING CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. MILLING AND REPAIRS WILL BE IN ACCORDANCE WITH RESOLUTION 228.
  3. ALL DETERIORATED CURB, GUTTER, AND SIDEWALKS, AS DETERMINED BY THE CITY, ALONG THE FRONTAGE(S) OF THE PROPERTY MUST BE REPLACED AT THE TIME OF CONSTRUCTION USING A CONCRETE CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. HANDICAP RAMPS PER CURRENT ADA GUIDELINES ARE REQUIRED AT ALL PUBLIC STREET AND DRIVEWAY INTERSECTIONS. DETECTABLE HANDICAP RAMPS AND AS DIRECTED BY DD. (SEE CITY STANDARD 100.17).
  4. ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAINS, CURB, GUTTER, SIDEWALKS, DRIVEWAYS, AND ROAD DATUMS, SHALL BE THE RESPONSIBILITY OF THE OCCUPANCY. MUST BE ACCEPTED IN WRITING BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SEE SECTION 18.48.030 OF THE SALISBURY SUBDIVISION REGULATIONS. REDUCTIONS IN PROJECT SURETY WILL NOT BE APPROVED PRIOR TO FINAL WRITTEN ACCEPTANCE BY THE CITY OF ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS. SUB-PAVING OF THIS PROJECT SHALL NOT BE PERMITTED.
  5. A WRITTEN "NOTICE TO PROCEED" MUST BE OBTAINED FROM AND A PRE-CONSTRUCTION MEETING SCHEDULED WITH DD, BEFORE BEGINNING CONSTRUCTION IN CITY PUBLIC P.Y.S. EASEMENTS AND/OR SIDEWALKS, DRIVEWAYS, AND ROAD DATUMS. CONTRACTOR SHALL CONTACT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, ROOM 202, 125 N. OWSON ST., SALISBURY, MARYLAND, 21801-4940, TELEPHONE 410-548-5440, E-MAIL JADL@SALISBURYMD.GOV, TO SCHEDULE A PRE-CONSTRUCTION MEETING AND OBTAIN A WRITTEN "NOTICE TO PROCEED". 48 HOURS NOTICE IS REQUIRED.
  6. STREET TREES SHALL BE PLANTED PER THE CURRENT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT STREET TREE POLICY.
  7. INCLUDE THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY ON THE COVER SHEET USING THE FOLLOWING NOTE:  
CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1 / S-1.
  8. CONTRACTOR TO CONTACT CITY PLUMBING DEPARTMENT FOR INSPECTION OF PRIVATE UTILITY MAINS.
  9. MILLING AND REPAIRING SHALL BE PER RESOLUTION 228.
  10. PRIVATE APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.  
CONTRACT NUMBER 15-01-W/S/59.
  11. 28 EDU'S OF WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS PROJECT, SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS.
  12. APPROVAL OF THE SITE PLAN AND UTILITY DRAWINGS EXPIRES TWO (2) YEARS FROM THE FINAL APPROVAL DATE. CONSTRUCTION OF THE PROJECT MUST HAVE BEEN STARTED PRIOR TO THE EXPIRATION DATE. THE CITY RESERVES THE RIGHT TO EXTEND THE EXPIRATION DATE UPON WRITTEN REQUEST AND WRITTEN CONFIRMATION.
  13. PROVIDE RESIDENT INSPECTION FOR THE CONSTRUCTION OF THE PRIVATE STORM WATER MANAGEMENT SYSTEM APPROVED AS PART OF THE IMPROVEMENTS CONSTRUCTION PLAN. DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MSP) WITH GRAVEL INFILL, PERMITTING CONTRACTOR SHALL PROVIDE ACCESS TO THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MSP) WITH GRAVEL INFILL. THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT WITH A DAILY PROGRESS REPORT SEALED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN MARYLAND. THE REPORT IS TO INCLUDE THE FOLLOWING AS MINIMUM: THE LOCATION, SIZE, AND DEPTH OF MEDIA LAYERS FOR MSP'S. THE FINAL OCCUPANCY CERTIFICATE AND SURETY WILL BE WITHHELD UNTIL THE DAILY PROGRESS REPORT(S) HAVE BEEN ACCEPTED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
  14. FOLLOWING COMPLETION OF CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMISSION OF AS-BUILT DRAWINGS OF THE PUBLIC WATER, SEWER, AND STORM DRAINS. THE PRIVATE STORMWATER MANAGEMENT AS-BUILT MUST BE SUBMITTED WITHIN 60 CALENDAR DAYS FOLLOWING THE DATE OF COMPLETION OF CONSTRUCTION. THE PRIVATE STORMWATER MANAGEMENT AS-BUILT DRAWINGS MUST BE SUBMITTED AT THE SAME TIME UNLESS OTHERWISE APPROVED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. PARTIAL SUBMITTALS WILL BE REJECTED. THE AS-BUILT DRAWINGS MUST BE SEALED BY A PROFESSIONAL LAND SURVEYOR CURRENTLY REGISTERED IN MARYLAND. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. THE AS-BUILT DRAWINGS SHALL BE PAPER ONLY. THREE (3) COPIES OF THE FINAL AS-BUILT MUST BE SUBMITTED TO THIS OFFICE ON MTLAR AND AUTO-CAD 2016 OR LATER VERSION OF AUTO-CAD. ALL CONTACT DISCS (CD) MUST BE IN A PLASTIC PROTECTIVE CASE. PROJECT SURETY WILL BE WITHHELD UNTIL THE AS-BUILT INFORMATION IS SUBMITTED TO AND APPROVED BY THIS OFFICE.

**UTILITY CONSTRUCTION NOTES**

16. THE APPROVED UTILITY CONTRACTOR'S FIELD REPRESENTATIVE SHALL BE REQUIRED TO FOLLOW AND HAVE AN APPROVED, SIGNED COPY OF THE UTILITY DRAWINGS, THE LATEST REVISION OF THE CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT'S STANDARD CONSTRUCTION STANDARDS, (STANDARD DETAILS) MANUALS AT THE CONSTRUCTION AREA DURING WORKING HOURS.
17. ALL CONSTRUCTION WITHIN CITY RIGHT OF WAY AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION.
18. CONTRACTOR TO VERIFY ALL ELEVATIONS AGAINST A PREVIOUSLY CONSTRUCTED POINT OF KNOWN ELEVATION BEFORE BEGINNING CONSTRUCTION.
19. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777, THREE (3) DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
20. DURING THE PROGRESS OF THE JOB, THE CONTRACTOR SHALL KEEP A CAREFUL RECORD AT THE JOB SITE OF ALL CHANGES AND CORRECTIONS TO THE INFORMATION SHOWN ON THE CONTRACT DRAWING(S) AND THE STORMWATER MANAGEMENT PLAN DRAWING(S). PRIOR TO SHOWING, THE CONTRACTOR SHALL LINE AS-BUILT DRAWINGS SMALL INDICATE, IN ADDITION TO ALL CHANGES AND CORRECTIONS, ALL SUBSURFACE STRUCTURES/UTILITIES INSTALLED OR UNCOVERED, REFERENCED TO TWO PERMANENTLY FIXED SURFACE STRUCTURES. PRIOR TO TESTING OF THE UTILITY/UTILITIES AND ACCEPTANCE OF THE FINAL SURFACE STRUCTURES, THE CONTRACTOR SHALL SUBMIT TO THE CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, A COPY OF THE RED LINES AS BUILT DRAWINGS TO SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. SHOULD THE CONTRACTOR FAIL TO MAINTAIN RED LINE AS BUILT DRAWING(S), THE OWNER MAY BE REQUIRED TO HIRE A PRIVATE UTILITY LOCATOR AND AUTO-CAD 2016 OR LATER VERSION OF AUTO-CAD. ALL COPY OF THE STORMWATER MANAGEMENT FACILITY MAY BE DELAYED PRIORS RECEPT OF THIS INFORMATION.
21. SEWER MAINS TO BE PVC 80R-35.
22. SANITARY SEWER LATERAL CONNECTION SHALL CONFORM TO CITY STD. NO 490.35.
23. ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE MANHOLE LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE MANHOLE IS FINISHED TO GRADE. SLOPE THE SURROUNDING EARTH AROUND EACH MANHOLE IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.



PROJECT DATA table with columns: PROPERTY, OWNER/DEVELOPER, DEED REFERENCE, PROJECT HISTORY, ZONING CLASSIFICATION, SITE AREA, BUILDING SETBACKS, MAXIMUM BUILDING HEIGHT PERMITTED, EXISTING CONDITIONS, SITE DENSITY, BUILDING COVERAGE, PARKING AREA COVERAGE, PROPOSED DEVELOPMENT, STORMWATER MANAGEMENT, FOREST CONSERVATION, SPECIAL EXCEPTIONS/VARIANCES, REFUSE/TRASH, SITE LIGHTING, SITE SIGNAGE, STREET CONNECTIONS, PARKING CALCULATIONS, TOTAL SITE PARKING REQUIRED, TOTAL SITE PARKING PROVIDED, ADA ACCESSIBLE PARKING SPACES, PROJECT NOTES.

GENERAL NOTES section containing 28 numbered paragraphs detailing construction requirements, utility standards, and site-specific instructions.

WATER SYSTEMS section containing 16 numbered paragraphs detailing pipe specifications, installation methods, and testing procedures.

STORM DRAIN SYSTEMS section containing 7 numbered paragraphs detailing storm drain pipe specifications, manhole construction, and flow control requirements.

SOIL EROSION AND SEDIMENT CONTROL section containing 3 numbered paragraphs detailing erosion control measures and sedimentation standards.

WETLANDS section containing 1 numbered paragraph detailing wetland delineation and protection requirements.

PLANS ARE ISSUED FOR REVIEW ONLY. PLANS ARE NOT APPROVED FOR CONSTRUCTION. MISS UTILITY logo. Lane Engineering, LLC logo. PROJECT NOTES table with columns: No., DATE, DESCRIPTION, BY.

Professional Engineer Seal for Lane Engineering, LLC. PROJECT NOTES table with columns: No., DATE, DESCRIPTION, BY. SHEET NO. G-102, JOB NO. 230482, FILE NO. D408.



**PLANS ARE  
ISSUED FOR  
REVIEW ONLY**  
  
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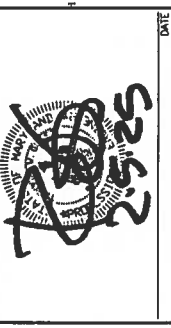
No.	DATE	DESCRIPTION	BY

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**Lane Engineering, LLC**  
 Established 1986  
 Civil Engineers • Land Planning • Land Surveyors  
 15 Millersville Rd., Cambridge, MD 21617 (410) 758-2985  
 1000 North Point Blvd., Suite 200, Annapolis, MD 21403 (410) 291-9818  
 205 Pennsylvania Ave., Cambridge, MD 21617 (410) 758-2985

**PROFESSIONAL CERTIFICATION:** I hereby certify that these documents were prepared or approved by me or under my direct supervision and professional seal and signature are on these documents. License No. 23152 - Exp. Date: 7/5/2025.



**OVERALL EXISTING  
CONDITIONS &  
DEMOLITION PLAN**  
  
**MITCHELL POND  
LIMITED PARTNERSHIP**  
  
 IN THE CITY OF SALISBURY  
 WICOMICO COUNTY, MARYLAND  
 TAX MAP 108 GRID 14 PARCEL 1118

ISSUED/REVISED FOR: Mitchell Pond Limited Partnership  
 DATE: 08/07/24  
 BY: [Signature]  
 60X SUBMITTAL: 12/19/24  
 60X SUBMITTAL: 01/20/25  
 COMPREHENSIVE DEVELOPMENT PLAN-PC 02/07/25 TWC

SHEET No. **V-101**  
 JOB No. 230492  
 SCALE: **AS NOTED**  
 FILE No. 0408

- DEMOLITION KEY NOTES**
- 1 CURB RAMP TO BE REMOVED
  - 2 VERTICAL CURB TO BE REMOVED
  - 3 AREA OF ASPHALT TO BE REPLACED
  - 4 EXISTING DUMPSTER PAD TO BE REPLACED
  - 5 REMOVE EXISTING SIDEWALK AND/OR HANDICAP RAMPS
  - 6 REMOVE EXISTING PAVEMENT, PARALLEL ROAD CONNECTION TO BE ELIMINATED
  - 7 AREA OF ASPHALT TO BE REMOVED
  - 8 REMOVE EXISTING WOODEN FENCE
  - 9 TIMBER REMAINING WALL TO BE REMOVED AND REPLACED

**LEGEND**

- EXISTING WOODS LINE
- 100 YR FLOOD PLAIN
- PROPERTY CORNER
- TELEPHONE PEDESTAL
- ELECTRIC TRANSFORMER
- WATER METER
- WATER VALVE
- LIGHT POLE
- SEWER MANHOLE
- DRAINAGE MANHOLE
- FIRE HYDRANT
- EXISTING TREE
- SEWER CLEAMOUT
- AIR CONDITIONING UNIT
- STORMDRAIN INLET
- AREA TO BE REMOVED

TEL. PED. TEL. TRANS. W.V. W.M. D.M. F.H. E.T. S.C. A.C. S.D. A.R.

SCALE IN FEET: 0, 20, 40, 80

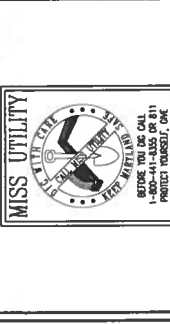
NAD 83 (2011) MD COORDINATE SYSTEM

PLANS ARE ISSUED FOR REVIEW ONLY

PLANS ARE NOT APPROVED FOR CONSTRUCTION

REVISIONS TO APPROVED PLANS	DATE	DESCRIPTION	BY

**WARNING!**  
 THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING THE RELOCATION OF EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



**Lane Engineering, LLC**  
 Established 1986  
 Civil Engineers • Land Planning • Land Surveyors

117 Bay St.,  
 Cambridge, MD 21613  
 (410) 222-8800  
 (410) 222-8801  
 (410) 222-8802  
 (410) 222-8803

PROFESSIONAL CERTIFICATION: I hereby certify that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 23102. Expiration Date: 12/31/2025.



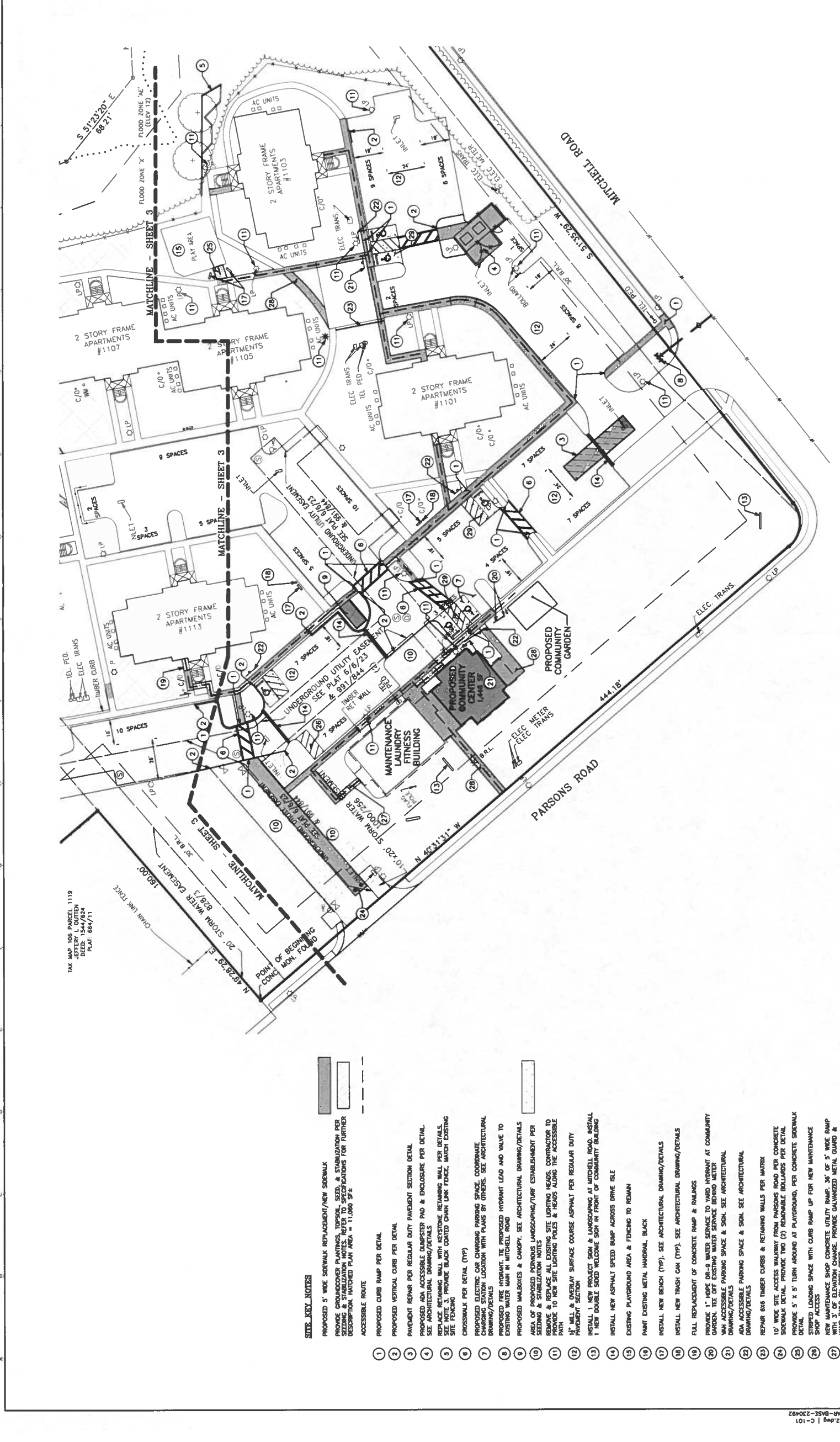
**COMPREHENSIVE DEVELOPMENT PLAN**

**MITCHELL POND LIMITED PARTNERSHIP**

IN THE CITY OF SALISBURY  
 WICOMCO COUNTY, MARYLAND  
 TAX MAP 106 GRID 14 PARCEL 1118

ISSUED/REVISED FOR: DATE: 06/20/24  
 06/20/24 TWC  
 06/20/24 TWC  
 06/20/24 TWC  
 COMPREHENSIVE DEVELOPMENT PLAN-PC 02/07/25 TWC

SHEET NO. **C-101**  
 SCALE: **AS NOTED**  
 JOB NO. 230492  
 FILE NO. D408

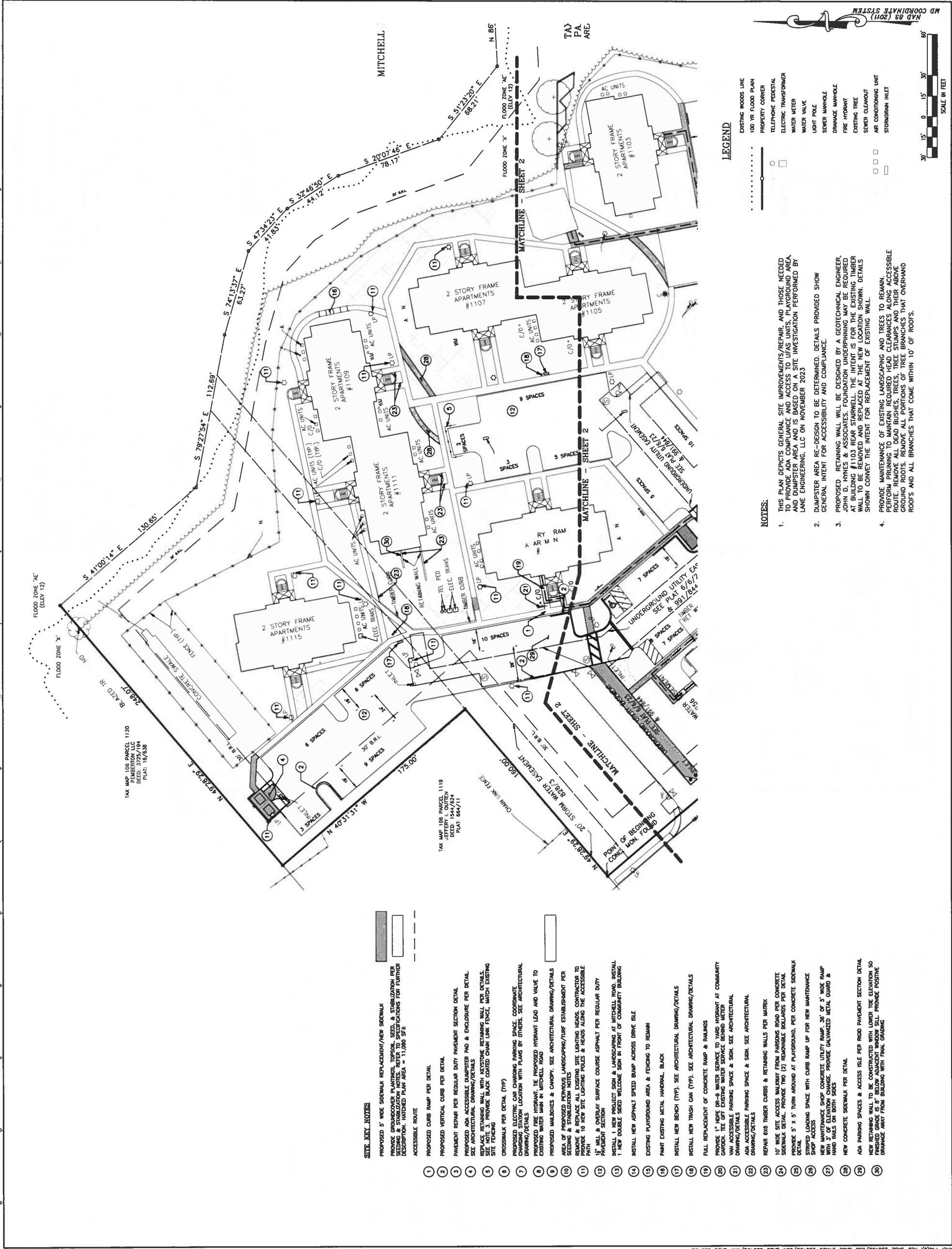


**NOTES:**

- THIS PLAN DEPICTS GENERAL SITE IMPROVEMENTS/REPAIR, AND THOSE NEEDED TO PROVIDE ADA COMPLIANCE AND ACCESS TO UFAS UNITS, PLAYGROUND AREA, AND DUMPSTER AREA AND IS BASED ON A SITE INVESTIGATION PERFORMED BY LANE ENGINEERING, LLC ON NOVEMBER 2023.
- DUMPSTER AREA RE-DESIGN TO BE DETERMINED. DETAILS PROVIDED SHOW GENERAL INTENT FOR ACCESSIBILITY AND COMPLIANCE.
- PROPOSED RETAINING WALL WILL BE DESIGNED BY A GEOTECHNICAL ENGINEER, JOHN D. HYNES & ASSOCIATES. FOUNDATION UNDERPINNING MAY BE REQUIRED AT BUILDING #1103 REAR STAIRWELL. THE INTENT IS FOR THE EXISTING TIMBER WALL TO BE REMOVED AND REPLACED AT THE NEW LOCATION SHOWN. DETAILS SHOWN CONVEY THE INTENT FOR REPLACEMENT OF EXISTING WALL.
- PERFORM MAINTENANCE OF EXISTING LANDSCAPING AND TREES TO REMAIN. MAINTENANCE TO MAINTAIN REQUIRED HEAD CLEARANCES ALONG ACCESSIBLE ROUTE. REMOVE ALL DEAD BUSHES, TREES, TREE STUMPS AND THEIR ABOVE GROUND ROOTS. REMOVE ALL PORTIONS OF TREE BRANCHES THAT OVERHAND ROOFS AND ALL BRANCHES THAT COME WITHIN 10' OF ROOFS.

- SITE KEY NOTES**
- PROPOSED 5' WIDE SIDEWALK REPLACEMENT/NEW SIDEWALK
  - REMOVE GRASSY AREAS, TRIMMING, SEE S&P FOR FURTHER DETAILS
  - EXISTING STAIRWELL TO BE REPLACED WITH STAIRWELL PER ARCHITECTURAL DRAWING/DETAILS
  - PROPOSED ADA ACCESSIBLE DUMPSTER PAD & ENCLOSURE PER DETAIL
  - REPLACE RETAINING WALL WITH EXISTING RETAINING WALL PER DETAILS
  - PROVIDE BLACK COATED CHAIN LINK FENCE, MATCH EXISTING SITE FENCING
  - CROSSWALK PER DETAIL (TYP)
  - PROPOSED ELECTRIC CHARGING PARKING SPACE COORDINATE WITH LOCATION WITH PLANS BY OTHERS. SEE ARCHITECTURAL DRAWING/DETAILS
  - PROPOSED FIRE HYDRANT, THE PROPOSED HYDRANT LEAD AND VALVE TO EXISTING WATER MAIN IN MITCHELL ROAD
  - PROPOSED WALKWAYS & CANOPY. SEE ARCHITECTURAL DRAWING/DETAILS
  - AREA OF PROPOSED PERVIOUS LANDSCAPING/TURF ESTABLISHMENT PER ARCHITECTURAL DRAWING/DETAILS
  - REMOVE & REPLACE ALL EXISTING SITE LIGHTING HEADS, CONTRACTOR TO PROVIDE TO NEW SITE LIGHTING POLES & HEADS ALONG THE ACCESSIBLE PATH
  - 1/2" MILL & OVERLAY SURFACE COURSE ASPHALT PER REGULAR DUTY PAVEMENT SECTION
  - INSTALL 1" NEW PROJECT SKIN & LANDSCAPING AT MITCHELL ROAD. INSTALL 1" NEW DOUBLE SLOPED WELCOME SIGN IN FRONT OF COMMUNITY BUILDING
  - INSTALL NEW ASPHALT SPEED BUMP ACROSS DRIVE ISLE
  - EXISTING PLAYGROUND AREA & FENCING TO REMAIN
  - PAINT EXISTING METAL HANDRAIL, BLACK
  - INSTALL NEW BENCH (TYP). SEE ARCHITECTURAL DRAWING/DETAILS
  - INSTALL NEW TRASH CAN (TYP). SEE ARCHITECTURAL DRAWING/DETAILS
  - FULL REPLACEMENT OF CONCRETE RAMP & RAILINGS
  - PROVIDE 1" WIDE FINISH SURFACE TO YARD MOUNTAIN AT COMMUNITY CENTER. SEE ARCHITECTURAL DRAWING/DETAILS
  - NEW ADA ACCESSIBLE PARKING SPACE & SIGN. SEE ARCHITECTURAL DRAWING/DETAILS
  - ADA ACCESSIBLE PARKING SPACE & SIGN. SEE ARCHITECTURAL DRAWING/DETAILS
  - REPAIR SIX TIMBER CURBS & RETAINING WALLS PER MATRIX
  - 10' WIDE SITE ACCESS WALKWAY FROM PARSONS ROAD PER CONCRETE SIDEWALK DETAIL. PROVIDE TWO (2) REMOVABLE BOLLARDS PER DETAIL
  - PROVIDE 5' X 5' TURN AROUND AT PLAYGROUND, PER CONCRETE SIDEWALK DETAIL
  - STRIPPED LOADING SPACE WITH CURB RAMP UP FOR NEW MAINTENANCE SHOP ACCESS
  - NEW MAINTENANCE SHOP CONCRETE UTILITY RAMP, 34" OF 5" WIDE RAMP PER DETAIL. PROVIDE CONCRETE CURB, PROVIDE GALVANNEZED METAL CURB & HAND RAILS ON BOTH SIDES
  - NEW CONCRETE SIDEWALK PER DETAIL
  - ADA PARKING SPACES & ACCESS ISLE PER ROAD PAVEMENT SECTION DETAIL
  - NEW RETAINING WALL TO BE CONSTRUCTED WITH LOWER TIDE ELEVATION SO DRAINAGE AWAY FROM BUILDING WITH FINAL GRADING





TAX MAP 106 PARCEL 1120  
 PEMBERTON LLC  
 DEED: 1544/824  
 PLAT: 18/638

TAX MAP 106 PARCEL 1119  
 DEED: 1544/824  
 PLAT: 18/638

No.	DATE	DESCRIPTION	BY

**WARNING:** OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL TEST PIT AND LOCATE EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ANY WORK ON-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL NOTIFY THE MISS UTILITY COMPANY PRIOR TO ANY WORK ON-SITE. UNDERGROUND UTILITIES BEFORE BEGINNING ANY WORK ON-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RELOCATION EXPENSE.



**Lane Engineering, LLC**  
 Established 1986  
 Civil Engineers • Land Planning • Land Surveyors  
 15 West Main St., Suite 200  
 Columbia, MD 21046  
 Phone: (410) 731-1011  
 Fax: (410) 731-1012  
 Website: www.lane-engineering.com

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 23152 - Expiration Date: 7/5/2025



**COMPREHENSIVE DEVELOPMENT PLAN**  
**MITCHELL POND LIMITED PARTNERSHIP**  
 IN THE CITY OF SALISBURY  
 WICOMICO COUNTY, MARYLAND  
 TAX MAP 106 GRID 14 PARCEL 1118  
 PREPARED BY: LANE ENGINEERING, LLC  
 DATE: 09/27/24  
 CHECKED BY: JESSICA WILSON  
 DATE: 12/19/24  
 FOR SUBMITTAL TO: WICOMICO COUNTY  
 CORRESPONDENCE DEVELOPMENT PLAN-PC 02/07/25 TWO

SHEET No. C-101.1  
 JOB No. 230492  
 SCALE: AS NOTED  
 FILE No. D40B

- LEGEND**
- ..... EXISTING WOODS LINE
  - ..... 100 YR FLOOD PLAN
  - ..... PROPERTY CORNER
  - ..... TELEPHONE PEDestal
  - ..... ELECTRIC TRANSFORMER
  - ..... WATER METER
  - ..... WATER VALVE
  - ..... LIGHT POLE
  - ..... SEWER MANHOLE
  - ..... DRAINAGE MANHOLE
  - ..... FIRE HYDRANT
  - ..... EXISTING TREE
  - ..... SEWER CLEANOUT
  - ..... AIR CONDITIONING UNIT
  - ..... STORMDRAIN INLET

- NOTES:**
- THIS PLAN DEPICTS GENERAL SITE IMPROVEMENTS/REPAIR, AND THOSE NEEDED FOR PROPOSED CURB, PAVEMENT, AND THOSE NEEDED FOR LANDSCAPING, AND DUMPSTER RELOCATIONS BASED ON SITE INVESTIGATION PERFORMED BY LANE ENGINEERING, LLC ON NOVEMBER 2023.
  - DUMPSTER AREA RE-DESIGN TO BE DETERMINED. DETAILS PROVIDED SHOW GENERAL INTENT FOR ACCESSIBILITY AND COMPLIANCE.
  - PROPOSED RETAINING WALL WILL BE DESIGNED BY A GEOTECHNICAL ENGINEER, JOHN D. HYNES & ASSOCIATES. FOUNDATION UNDERPINNING MAY BE REQUIRED DURING CONSTRUCTION. THE RETAINING WALL IS ON THE EXISTING TIMBER WALL TO BE REMOVED AND REPLACED AT THE SAME LOCATION SHOWN. DETAILS SHOWN CONVEY THE INTENT FOR REPLACEMENT OF EXISTING WALL.
  - PROVIDE MAINTENANCE OF EXISTING LANDSCAPING AND TREES TO REMAIN. PERFORM PRUNING TO MAINTAIN REQUIRED HEAD CLEARANCES ALONG ACCESSIBLE ROUTE. REMOVE ALL DEAD BUSHES, TREES, TREE STUMPS AND THEIR ABOVE GROUND ROOTS. REMOVE ALL PORTIONS OF TREE BRANCHES THAT OVERHAND ROOFS AND ALL BRANCHES THAT COME WITHIN 10' OF ROOFS.

**SITE KEY NOTES**

- PROPOSED 5' WIDE SIDEWALK REPLACEMENT/NEW SIDEWALK. PROVIDE GRASSCOVER PLANTINGS, TOPSOIL, SEED, & STABILIZATION PER ARCHITECTURAL DRAWING/DETAILS. PROVIDE SPECIFICATIONS FOR FURTHER DESCRIPTION. HATCHED PLAN AREA = 11,000 SF.
- ACCESSIBLE ROUTE
- PROPOSED CURB RAMP PER DETAIL
- PROPOSED VERTICAL CURB PER DETAIL
- PAVEMENT REPAIR PER REGULAR DUTY PAVEMENT SECTION DETAIL
- PROPOSED ADA ACCESSIBLE DUMPSTER PAD & ENCLOSURE PER DETAIL. SEE ARCHITECTURAL DRAWING/DETAILS
- REPLACE RETAINING WALL WITH METASTONE RETAINING WALL PER DETAILS. PROVIDE BLACK COATED CHAIN LINK FENCE WITH LIGHTING SITE FIXINGS.
- CROSSWALK PER DETAIL (TYP)
- PROPOSED ELECTRIC CAR CHARGING PARKING SPACE. COORDINATE WITH LOCALITIES WITH PLANS BY OTHERS. SEE ARCHITECTURAL DRAWING/DETAILS
- PROPOSED FIRE HYDRANT. I.E. PROPOSED HYDRANT LEAD AND VALVE TO EXISTING WATER MAIN IN MITCHELL ROAD
- PROPOSED WALKWAYS & CHOPPY. SEE ARCHITECTURAL DRAWING/DETAILS
- AREA OF PROPOSED PERVIOUS LANDSCAPING/TURF ESTABLISHMENT PER SEEDING & STABILIZATION NOTES
- PROVIDE TO NEW SITE LIGHTING POLES & HEADS ALONG THE ACCESSIBLE ROUTE
- 1/2" MILL & OVERLAY SURFACE COURSE ASPHALT PER REGULAR DUTY PAVEMENT SECTION
- INSTALL 1" NEW PROJECT SIGN & LANDSCAPING AT MITCHELL ROAD. INSTALL 1" NEW DOUBLE SIDED WELCOME SIGN IN FRONT OF COMMUNITY BUILDING
- INSTALL NEW ASPHALT SPEED BUMP ACROSS DRIVE BLE
- EXISTING PLAYGROUND AREA & FENCING TO REMAIN
- PAINT EXISTING METAL HANDRAIL. BLACK
- INSTALL NEW BENCH (TYP). SEE ARCHITECTURAL DRAWING/DETAILS
- INSTALL NEW TRASH CAN (TYP). SEE ARCHITECTURAL DRAWING/DETAILS
- FULL REPLACEMENT OF CONCRETE RAMP & RAILINGS
- PROVIDE 1" HOPE DR-8 WATER SERVICE TO YARD HYDRANT AT COMMUNITY BUILDING. SEE ARCHITECTURAL DRAWING/DETAILS
- PROVIDE 5' X 5' TURN AROUND AT PLAYGROUND. PER CONCRETE SIDEWALK DETAIL
- STRIPED LANDING SPACE WITH CURB RAMP UP FOR NEW MAINTENANCE SHOP ACCESS
- NEW MAINTENANCE SHOP CONCRETE UTILITY RAMP. 30" OF 5' WIDE RAMP WITH 1:12 SLOPE. PROVIDE GALVANIZED METAL CURB & HAND RAILS ON BOTH SIDES
- NEW CONCRETE SIDEWALK PER DETAIL
- ADA PARKING SPACES & ACCESS BLE PER ROAD PAVEMENT SECTION DETAIL
- NEW RETAINING WALL TO BE CONSTRUCTED WITH LOWER TOE ELEVATION SO AS TO BE COMPATIBLE WITH EXISTING GRADING. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING WITH FINAL GRADING

**SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION**

- CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO ANY GRADING. FOLLOWING INITIAL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE INSTALLED TO PREVENT SOIL EROSION AND SEDIMENTATION. PERMANENT STABILIZATION SHALL BE SWALES, DITCHES, PERIMETER SLOPES GREATER THAN (3) HORIZONTAL TO (1) VERTICAL (3:1) AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PROVIDED AS INDICATED ON THIS PLAN. PERMANENT VEGETATION SHALL BE PROVIDED AS NECESSARY TO STABILIZE ALL DISTURBED AREAS. THE TIME OF EACH MONTHLY WATERING AND PROJECT COMPLETION, THE URBAN AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMAL AMOUNT OF TIME POSSIBLE.
- CLEANING AND GRUBBING SHALL INCLUDE ALL TREES, BRUSH, DEBRIS, ROOT MAT AND ORGANIC MATERIAL TO BE REMOVED.
- TEMPORARY SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH OR AUGUST 15TH THROUGH NOVEMBER 30TH. DURING OTHER TIMES, TEMPORARY MULCHING SHALL BE PROVIDED.
- TEMPORARY SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: 435 LBS PER ACRE OF 10-20-20 4000 LBS PER ACRE OF GROUND LIMESTONE TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER MEANS. MULCHING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

**TEMPORARY SEEDING SCHEDULE:**

No.	Species	Seed Mixture (Hardness Zone 2a)	App'l Rate (lb/acre)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
1	Annual Rye grass	50%	2/15-4/20 / 8/15-11/20	3"	Rate (435 lb/acre) (100 lb/1000 ft)	2 lb/acre (90 lb/1000 ft)	
2	Berly	9%	2/15-4/20 / 8/15-11/20	1"	Rate (435 lb/acre) (100 lb/1000 ft)		
3	Wheat	12%	2/15-4/20 / 8/15-11/20	1"	Rate (435 lb/acre) (100 lb/1000 ft)		
4	Canada Rye	11%	2/15-4/20 / 8/15-11/20	1"	Rate (435 lb/acre) (100 lb/1000 ft)		
5	Forest Millet	20%	5/1-8/14	3"			
6	Forest Millet	30%	5/1-8/14	3"			

6. MULCHING SHALL BE UNCHIPPED, UNROTATED, SMALL GRASS STRAW APPLIED AT A RATE OF 2-2 1/2 TONS PER ACRE. MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS. MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS.

7. PERMANENT SEEDING SHALL BE ACCOMPLISHED BETWEEN FEBRUARY 15TH THROUGH APRIL 30TH OR AUGUST 15TH THROUGH NOVEMBER 30TH. DURING OTHER TIMES, TEMPORARY MULCHING SHALL BE PROVIDED. PERMANENT SEEDING SHALL CONFORM TO THE FOLLOWING APPLICATIONS: 435 LBS PER ACRE OF 10-20-20 4000 LBS PER ACRE OF GROUND LIMESTONE TO BE INCORPORATED INTO THE SOIL BY DISKING OR OTHER MEANS. MULCHING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

**PERMANENT SEEDING SCHEDULE:**

No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
7	Ornamental Red Ferns	60%	2/15 to 4/30	1-3"	N P205 K2O	
8	Red Ferns	15%	8/15 to 10/31	1-3"		
9	Red Ferns	100%	2/15 to 4/30 / 8/15 to 10/31	1-3"	90 lb/acre (2 lb/1000 ft)	2 lb/acre (90 lb/1000 ft)
10	Red Ferns	60%	2/15 to 4/30 / 8/15 to 10/31	1-3"	45 lb/acre (1 lb/1000 ft)	2 lb/acre (90 lb/1000 ft)
11	Parrotia Persiana	20%	2/15 to 4/30 / 8/15 to 10/31	1-3"		

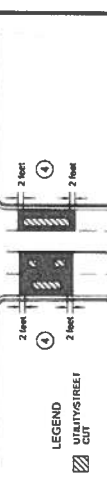
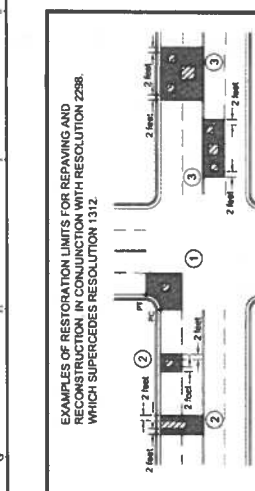
8. ANY SPILL OR BORROW WILL BE PLACED AT A SITE APPROVED BY THE SOIL CONSERVATION DISTRICT.

9. ALL AREAS REMAINING OR INTENDED TO REMAIN UNDISTURBED FOR LONGER THAN SEVEN (7) DAYS SHALL BE STABILIZED. STABILIZATION SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING OR BY OTHER MEANS AS SPECIFIED ON THIS PLAN. STABILIZATION SHALL BE ACCOMPLISHED IMMEDIATELY AFTER SEEDING.

10. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY OF SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR.

**WETLAND SEEDING SCHEDULE:**

Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-20-20)	Lime Rate
Annual Ryegrass	40%	2/15 to 4/30 / 8/15 to 11/20	3"	Rate (435 lb/acre) (100 lb/1000 ft)	
Forest millet	30%	5/1 to 8/14	3"		



THE BELOW SHOWN ARE EXAMPLES OF TYPICAL APPLICATIONS OF THE CITY OF SALESURY RESOLUTIONS AND RESTORATION POLICY. RESTORATION LIMITS ARE NOT TO BE EXCEEDED AT THE DISCRETION OF THE CITY.

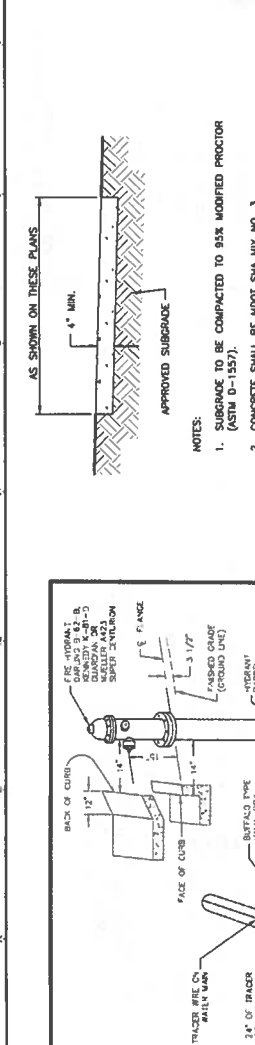
- RESTORATION OF ROADWAY WHEN UTILITY CUTOUTS ARE TRANVERSE TO THE ROADWAY CENTERLINE.
- RESTORATION OF ROADWAY WHEN UTILITY CUTOUTS ARE PARALLEL TO THE ROADWAY CENTERLINE.
- RESTORATION OF ROADWAY WHEN UTILITY CUTOUTS ARE PARALLEL TO THE ROADWAY CENTERLINE AND INCLUDE RESTRICTIONS AND BARRIERS.
- RESTORATION OF ROADWAY AT ROADWAY ENDINGS.

APPROVED	DATE	08/27/98
CITY OF SALESURY	SCALE	N=1"=20'
SUBSURY (ID)	DATE	08/27/98
01216	DATE	08/27/98
01216	DATE	08/27/98



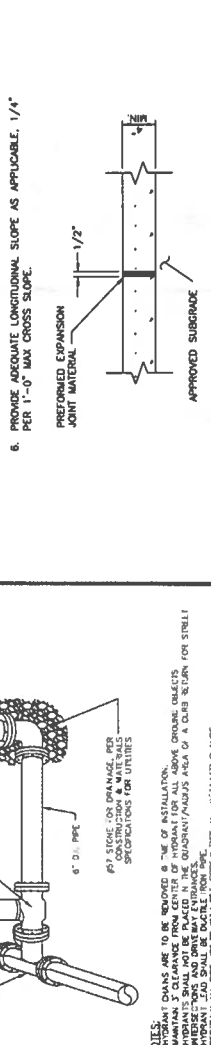
17" WIDE WHITE EDGE LINES SHALL EXTEND ACROSS THE FULL WIDTH OF THE TRAVEL LANE(S)

17" WIDE WHITE EDGE LINES SHALL EXTEND ACROSS THE FULL WIDTH OF THE TRAVEL LANE(S)



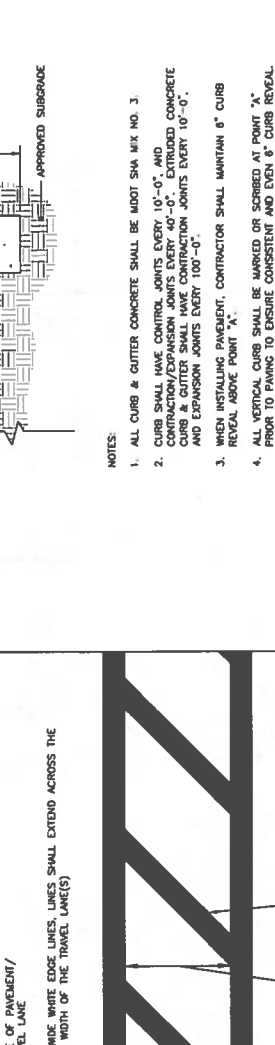
NOTES:

- SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557).
- CONCRETE SHALL BE MIXED SHA MIX NO. 3.
- 1/8" DI. DEEP SMOOTH CONTROL JOINTS AT 5'-0" INTERVALS.
- CONTRACTION/EXPANSION JOINTS AT INTERVALS NO GREATER THAN 20'-0".
- 1/2" THICK FULL DEPTH PRE-FORMED EXPANSION JOINT MATERIAL AT EXPANSION JOINTS.
- PROVIDE ADEQUATE LONGITUDINAL SLOPE AS APPLICABLE. 1/4" PER 1'-0" MAX CROSS SLOPE.



NOTES:

- ALL CURB & GUTTER CONCRETE SHALL BE MIXED SHA MIX NO. 3.
- CURB SHALL HAVE CONTROL JOINTS EVERY 10'-0" AND EXPANSION JOINTS EVERY 10'-0".
- WHEN INSTALLING PAVEMENT, CONTRACTOR SHALL MAINTAIN 6" CURB ABOVE POINT "X".
- ALL VERTICAL CURBS SHALL BE MARKED OR SCORED AT POINT "X" PRIOR TO FINISH TO ENSURE CONSISTENT AND REGULAR CURB REVEAL.



1.5" HOT MIX ASPHALT SUPERPAVE SURFACE - 9.5 MM

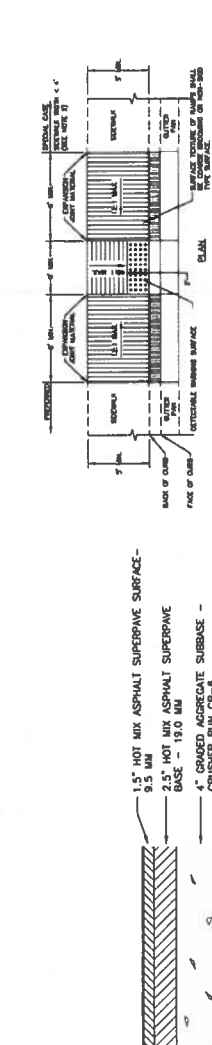
2.5" HOT MIX ASPHALT SUPERPAVE BASE - 19.0 MM

4" GRADED AGGREGATE SUBBASE - CRUSHER RUN CR-6

APPROVED SUBGRADE

ASPHALT PAVEMENT NOTES:

- THE CONTRACTOR SHALL PROVIDE AN APPROVED COMPACTED SUBGRADE PRIOR TO THE PLACEMENT OF ANY PAVEMENT.
- THE SUBGRADE SHALL BE UNDERCUT AS NEEDED WITH THE PRIOR APPROVAL OF THE OWNER OR ENGINEER, AND BACKFILLED WITH APPROVED STRUCTURAL FILL.
- THE SUBGRADE IS TO BE INSPECTED AND APPROVED BY A GEOTECHNICAL CONSULTANT PRIOR TO THE INSTALLATION OF THE AGGREGATE BASE AND THE ASPHALT PAVING MIX.
- ALL FILL MATERIALS SHALL BE PLACED IN LIFTS NO GREATER THAN 8" AND COMPACTED TO 95% MODIFIED PROCTOR (ASTM D-1557) OR ASTM D-2922).
- THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE COMPLETION OF SITE AND BUILDING CONSTRUCTION, AS APPLICABLE.
- THIS PAVING DETAIL IS NOT BASED UPON A GEOTECHNICAL EVALUATION OF A SPECIFIC GEOTECHNICAL EVALUATION. DEVELOPER IS ADVISED TO OBTAIN A GEOTECHNICAL EVALUATION OF THE SUBGRADE CONDITIONS AND PROVIDE A RECOMMENDED PAVING SECTION AND SPECIFICATION.



NOTES:

- CONCRETE SHALL BE SHA MIX NO. 3.
- REINFORCING SHALL BE 6" x 6" - W1.4 X W1.4 W/P.

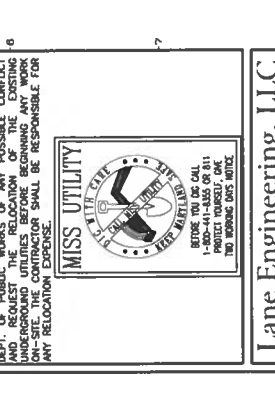
PLANS ARE ISSUED FOR REVIEW ONLY

PLANS ARE NOT APPROVED FOR CONSTRUCTION

No.	DATE	DESCRIPTION	BY

**WARNING!**

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.



**Lane Engineering, LLC**  
Established 1988  
Civil Engineers • Land Planning • Land Surveyors

117 Elm St.,  
Crown Point, IN 46032  
Jill Neenan, P.E., License No. 21111 (I.C.E.) 758-7095  
John Neenan, P.E., License No. 21111 (I.C.E.) 758-7095

PROFESSIONAL CERTIFICATION: I hereby certify that the design and construction of the above project was prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 38152 - Expiration Date: 12/31/2008.

**SITE DETAILS**

**MITCHELL POND LIMITED PARTNERSHIP**

IN THE CITY OF SALESURY  
WICOMCO COUNTY, MARYLAND  
TAX MAP 106 GRID 14 PARCEL 11118

ISSUED/REVISED FOR: DATE: 06/20/24 TWC  
BY: 606 SUBMITTAL 07/19/24 TWC  
606 SUBMITTAL 07/19/24 TWC  
COMPREHENSIVE DEVELOPMENT PLAN-PC 02/07/25 TWC

SHEET NO. C-501  
JOB NO. 230492  
FILE NO. D408



**SCOPE OF WORK NARRATIVE**

EXISTING 1,025 SQ. FT. LAUNDRY/MAINTENANCE BUILDING AND BREEZEWAY TO BE REMOVED AND REPLACED WITH NEW 1,446 SQ. FT. BUILDING WITH COMMUNITY ROOM, KITCHENETTE, (2) RESTROOMS AND BUSINESS CENTER. EXISTING 1,814 SQ. FT. COMMUNITY BUILDING/LEASING OFFICE TO HAVE FULL GUT-OUT AND REFINISH. EXISTING 1,814 SQ. FT. COMMUNITY BUILDING/LEASING OFFICE TO HAVE FULL GUT-OUT AND REFINISH. MAINTENANCE FACILITIES, REHABILITATED STRUCTURE WILL HAVE ALL INTERIOR (NON-BEARING) WALLS REPLACED, AS WELL AS ALL ROOFING (INCLUDING GUTTERS & DOWNSPOUTS), SIDING, WINDOWS, DOORS, LIGHT FIXTURES, HVAC, PLUMBING AND ELECTRICAL.

