

# Salisbury Historic District Commission

## AGENDA

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**Wednesday, April 24, 2024 at 7:00 pm**

**Government Office Building Room 301**

1. **7:00 P.M. - CALL TO ORDER – Scott Saxman, Chairman**

2. **ROLL CALL**

3. **APPROVAL OF MINUTES – March 27, 2024**

PUBLIC INPUT – Members of the public are welcome to make comment at this time, subject to a time allotment of two (2) minutes per person.

5. **CONSENT DOCKET - None**

6. **OLD BUSINESS – None**

7. **NEW BUSINESS –**

- **#24-05 – 100 W Main St– Removal of Sign\***
- **#24-06 – 501 W Main St – Alterations of Window, Vent, Awning\***
- **#24-07 – 233 Newton St – Solar System Install\***
- **#24-08 – 213 E Isabella St – Repairs to Front Porch**
- **#24-09 – 111 Walnut St – New Construction at Rear of Property**

\*this indicates that the structure has been deemed a contributing structure by the SHDC

\*this indicates that the structure has been deemed a Non-contributing structure by the SHDC

**Salisbury Historic District Commission**  
***March 27, 2024***

The Salisbury Historic District Commission met in regular session on Wednesday, March 27, 2024. The meeting took place at 125 N Division St Room 301 with attendance as follows:

**COMMISSION MEMBERS PRESENT**

Scott Saxman, Chair- Absent  
Matt Auchey, Vice Chairman – Present  
Lynne Bratten - Present  
Brad Phillips- Present, on Zoom  
Margaret Lawson- Present  
Brenden Frederick – Present, on Zoom  
Lisa Gingrich – Present

**CITY OFFICIALS PRESENT**

Laura Hay, City Attorney- Present  
Amanda Rodriguez, Infrastructure & Development- Present

1. **CALL TO ORDER** – Mr. Matt Auchey, acting Chair, called the meeting to order at 7:00 p.m.
2. **ROLL CALL** - Each member of the Commission introduced themselves for the record. The Chairman explains the procedure of the meeting to all applicants and administered the oath en masse to all persons intending to testify.
3. **APPROVAL OF MINUTES** – Approvals of the minutes from January 24, 2024 were approved as submitted. Matt Auchey made a motion to approve. Lynne Bratten requests more details be included in meeting minutes going forward. Margaret Lawson seconds the motion. The Commission votes unanimously to approve the minutes as submitted.

**PUBLIC INPUT** – Members of the public are welcome to make comment at this time, subject to a time allotment of two (2) minutes per person.

4. **CONSENT DOCKET** – Matt Auchey makes a motion to move cases #24-02 – 108 W Main St – New Sign, and #24-03 – 218 W Main St – New Sign, to the consent docket. Lynne Bratten seconds the motion for case #24-03 only to be moved to the consent docket. The motion was amended to move case #24-03 on the consent docket. The commission votes unanimously to approve the move.
5. **OLD BUSINESS** – None
6. **NEW BUSINESS-**
  - **#24-02** – 108 W Main St – New Sign – Michael Borkowski & Aisha Clark came forward to introduce themselves. Mr. Auchey makes a motion to deem the building contributing based on the fact that it's listed on the Wicomico Historical listing. Lynne Bratten seconds the motion. The commission votes unanimously to deem the building contributing. Mr. Borkowski explains the purpose of his business is to have a free museum and art gallery in his Tattoo Shop. Aisha Clark, the sign designer, describes the sign as using rope and screw in each board for proper support. Lisa Gingrich requests clarification the sign will not be swinging. Ms. Clark confirms clips will swirl shut and lock to prevent the swinging of the sign. The bolt and circle lags will also contribute to holding the sign in place. Brad Phillips makes motion to approve the case as submitted. Margaret Lawsons seconds the motion. The commission votes unanimously to approve the application as submitted.
  - **#24-03** – 218 W Main St – New Sign – approved as submitted
  - **#24-04** – 109 Poplar Hill Ave – Windows & Doors Replacement – Jimmy Hartstein came forward to present the case. Mr. Hartstein explained the existing windows are leaking and creating damage to the inside of the building. Mr. Hartstein continues to explain the replacement windows (green and metal casing windows) will be installed to avoid future rotting. Ms. Bratten requests to confirm the woodworking outside the building will be left as is. Mr. Auchey requests Hartstein to confirm upper

floor windows will be replaced with the same materials. Brenden Frederick Motions to approve application as amended. The amendment is to eliminate the use of aluminum storefront window system which is for commercial use and revert back to residential style windows that replicates existing lighting features to match patterns that are currently there. Utilize a window system allowed by current guidelines which can be aluminum-clad wood windows or fiber-glass composite. The doors must be replaced in kind with similar profile and materials. Mr. Hartstein agreed to amendment. Brad Phillips seconds the motion to approve. The commission votes to approve the application as amended.

**7. Adjourn the Meeting-**

**Mr. Auchey makes a motion to adjourn the meeting. Mr. Brenden Frederick seconds the motion. The Commission votes unanimously to adjourn the meeting.**

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the City of Salisbury, Housing & Community Development Department.

\_\_\_\_\_  
Scott Saxman, Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Amanda Rodriguez, City Planner

\_\_\_\_\_  
Date

# Salisbury Historic District Commission

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## Hearing Notification

**Hearing Date:** April 24, 2024

**Time:** 7:00 pm

**Location:** Government Office Building  
125 N. Division Street  
Salisbury, MD. 21804  
Room 301

**Case Number:** #24-05

**Commission Considering:** Sign - Removal

**Owner's Name:** Adams Housing

**Applicant Name:** Scott Saxman

**Agent/Contractor:** Scott Saxman

**Subject Property Address:** 100 W Main St

**Historic District:** Salisbury Historic District

**Use Category:** Commercial

**Chairman:** Mr. Scott Saxman

**HDC Staff contact:** Amanda Rodriguez  
City Planner  
(410) 548-3170

**Salisbury Historic District Commission**

125 N. Division Street  
Room 304  
Salisbury, MD 21801  
(410) 548-3170/ fax (410) 548-3107

Permit Application  
\$150 Fee Received 3/8/24 (date)

Date Submitted: \_\_\_\_\_

Case #: 24-05

Date Accepted as Complete: \_\_\_\_\_

Action Required By (45 days): \_\_\_\_\_

Subject Location: 100 West Main Street

Owner Name: Adams Housing

Application by: Scott Saxman

Owner Address: 100 West Main Street

Applicant Address: 100 West Main Street, Salisbury

Owner Phone: 410-548-1028

Applicant Phone: 410.677.3253

Owner Email: james@adamshousing.com

Work Involves:  Alterations  New Construction  Addition  Other \_\_\_\_\_  
 Demolition  Sign  Awning Estimated Cost \_\_\_\_\_

**DESCRIPTION OF WORK PROPOSED** (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Removal of 2 Whiting-Turner Signs  
\_\_\_\_\_  
\_\_\_\_\_

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.  Yes  No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff?  Yes  No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

**See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION**

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: [www.ci.salisbury.md.us](http://www.ci.salisbury.md.us).

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on April 24, 2024 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature [Signature]

Date 3/12/2024

Amanda Rodriguez 3/8/24  
Secretary, S.H.D.C. (Date)

Application Processor (Date)

- A. The completed application form.
- B. The application fee of \$150. Checks can be made out to the City of Salisbury.
- C. Site plan, if applicable.
- D. Scaled and measured detailed drawings, including, but not limited to, plans and elevations of the proposed alterations or improvement, or in the alternative, a scale mock up.
- E. For an existing structure, color photographs of the structure showing all elevations, the area to be altered, close-ups of architectural detail and the area in the immediate vicinity (the property to the immediate left and right of subject property)
- F. For a proposed new structure, photographs of the subject site and all buildings in the immediate vicinity.
- G. All photographs shall be printed on 8½ x11 paper, however, you may put several photos on one page, and each shall be labeled with a description of the contents of the photograph.
- H. Samples of materials or copies of manufacturers product literature.
- I. The applicant shall deliver one (1) complete application and attachments to the City of Salisbury, Department of Infrastructure and Development, 125 N Division Street, Room 304, Salisbury, MD.

**WT WHITING-TURNER**

**100**

**SVN**  
Available  
ANDY BALL  
410.543.2440

FIRST SHORE  
FEDERAL  
SAVINGS & LOAN ASSOCIATION







100


DR. WILSON-DORNER

STOP

P

PLAZA ENTRANCE  
100 West Main St.  
ADAMS *on* the PLAZA

100 W. MAIN STREET  
2ND FLOOR



DIAL 8888# ON KEYPAD



**WT WHITING-TURNER**

**itSYN**  
Available  
ANDY BALL  
410.543.2440

**DOWN TOWN**  
BALTIMORE

**P**

Flowbird

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# Salisbury Historic District Commission

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## STAFF FINDINGS

### Meeting of April 24, 2024

**Case Number:** #24-05

**Commission Considering:** Sign Removal

**Owner Name:** Adams Housing  
**Owners Address:** 100 W Main St,  
Salisbury, MD 21801

**Applicant Name:** Scott Saxman

**Applicant's Address:** 100 W Main St,  
Salisbury, MD 21801

**Agent/Contractor:** Scott Saxman

**Subject Property Address:** 100 W Main Street

**Historic District:** Downtown Historic District

**Use Category:** Commercial/Residential

**Zoning Classification:** Central Business District

**Structure / Site Description:**

**Built Date:** 1914

**Enclosed Area:** 11,407 sq. ft.

**Lot Size:** 3,322 sq. ft.

**Number of Stories:** Undetermined

**Contributing Structure:** Contributing, 11/19/2014

**Wicomico County Historic Survey on file:** No

**Nearby Properties on County Survey:** Yes

**Properties included below but not limited to:**

WI-267– 108 W Main Street-- John Handson Savings & Loan Bank (Eastern Shore Savings & Loan Building)

**Explanation of Request:** The applicant is seeking approval to remove two Whiting-Turner Signs

**Areas of Historic Guidelines to be considered:**

**SIGNAGE (Page 42)**

Signs are used for advertising, identity, and image. They are an extremely visible element of the businesses in the historic districts. Each sign must be used carefully so as not to detract from the historic facades. With some forethought and planning, signage can embrace business owners' needs and Salisbury's historic image.

**Placement**

On most downtown buildings a continuous brick ledge or corbelling is used to separate the second floor and above from the entry-level storefront below. This space is ideal for sign placement, as it was often created for this purpose. In some instances, newer buildings contain areas above the highest windows for signage. This location is acceptable but should be avoided if possible.

Another option for a main sign location can be an awning, provided the awning is properly integrated with the building and demonstrated by earlier photographs of the building. Other types of signage allowed include hanging, window, awning, or any sign that is located below the main sign. If a projected sign is planned, placement will be critical to avoid interferences with adjacent signs and architecture of the storefront itself.

These signs should be located no less than eight feet above the sidewalk. Window signs should consist of a material and color that contrasts with the display, while being small enough to not interfere with the display area. In all cases in locating the sign, the applicant must minimize the disturbance to the exterior of the building, i.e. using the least amount of mounting bolts as possible. On masonry buildings, mounting hardware must be placed into mortar joints, not historic masonry.

**Sign Ordinance**

The City of Salisbury has enacted an ordinance that is explicit concerning types, sizes, construction, and placement of signs. Signs that cannot be used are: flashing, moving, swinging, painted wall signs, or roof signs. Flood-lit signs are also prohibited unless the lights are shielded from view. Obscene signs and those that resemble official traffic signs will not be allowed.

Construction of signs is subject to the City of Salisbury Sign Ordinance Chapter 17.1. Each sign is subject to review by the Historic District Commission and recommendations are provided to the Department of Building, Permits & Inspections. Each sign will be reviewed for location, total sign area, size, height, letters, and message.

**Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jennifer Jean  
Infrastructure and Development  
125 N Division Street, Suite 304  
Salisbury, MD 21801  
(410) 548-3170  
Date: April 24, 2024

WI-267

## John Handson Savings & Loan Bank (Eastern Shore Savings & Loan Building)

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

WI-267

1914

Salisbury Building, Loan, and Banking  
Association Office  
Salisbury  
Private

Occupying the southwest corner of the principal intersection of South Division and West Main streets in the center of the city is this distinguished four-story brick and stone commercial block erected during the summer of 1914 for the offices of the Salisbury Building, Loan, and Banking Association. The financial institution purchased this lot three years before and demolished the extant two-story office block. The officers of the banking institution decided to engage a New York contractor, the Hoggson Bros., for the design and execution of their seven-bay by three-bay Renaissance Revival bank and office building. Assembled of stone, brick, and terra cotta, the street elevations offer a rich display of bold architectural elements revived from sixteenth century Italian domestic and public architectural designs.

As the Renaissance Revival style developed in the United States during the early twentieth century, American architects and designers borrowed heavily on antique prototypes while adapting forms to solve demands of urban commercial design. After the turn of the twentieth century, multi-leveled public buildings and office towers started to rise in small towns across the United States.

The Hoggson Brothers' design for the Salisbury Building, Loan, and Banking Association followed a neo-classical formula repeatedly used across the country during



the first quarter of the twentieth century. The four-story office building is divided visually into three sections that correspond to the classical column; the base, the shaft, and the capital. In an article written about the construction of the bank building, the reporter for the *Wicomico News* comments on this very aspect of the design,

In a sense the treatment of the first story has been designed to act as a base to the whole structure, and at the same time giving the prominence necessary to the Bank which it should have. Above this the remainder of the building has been treated as a shaft of a column, with the terra cotta cornice capping or crowning feature; to accentuate the height of the body of the building, the office windows are grouped between brick piers, which are crowned with an ornamental course of terra cotta. The color of the terra cotta resembles limestone, and the red brick a rich variegated color.

The Salisbury Building, Loan, and Banking Association owned this building until the early 1960s, when the institution conveyed title to First Shore Federal Savings and Loan. More recently the four-story office tower has housed the offices of the Eastern Shore Savings and Loan Association, which was later incarnated as the John Hanson Savings and Loan, Inc.

WI-267

MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

RESOURCE NAME: Salisbury Building, Loan and Banking Office

MHT INVENTORY NUMBER: WI-267

MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture  
Commerce

2. Geographic Orientation: Eastern Shore

3. Chronological/Development Period(s): Industrial/Urban Dominance  
1870-1930

4. Resource Type(s): Bank

# Maryland Historical Trust State Historic Sites Inventory Form

MARYLAND INVENTORY OF  
HISTORIC PROPERTIES

Survey No. WI-267

Magi No.

DOE  yes  no

## 1. Name (indicate preferred name)

historic Salisbury Building, Loan and Banking Association Office  
John Hanson Savings and Loan Building  
and/or common Eastern Shore Savings and Loan Building

## 2. Location

street & number 108 West Main Street  not for publication

city, town Salisbury  vicinity of congressional district First

state Maryland county Wicomico

## 3. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input type="checkbox"/> private residence
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input checked="" type="checkbox"/> not applicable	<input type="checkbox"/> no	<input type="checkbox"/> military	<input type="checkbox"/> other:

## 4. Owner of Property (give names and mailing addresses of all owners)

name Charles R. Floyd

street & number 30787 Foxchase Drive telephone no.:

city, town Salisbury state and zip code Maryland 21801

## 5. Location of Legal Description

courthouse, registry of deeds, etc. Wicomico County Clerk of Court Map 107, P. 172  
liber 1340

street & number Wicomico County Courthouse folio 172

city, town Salisbury state MD 21801

## 6. Representation in Existing Historical Surveys

title

date  federal  state  county  local

pository for survey records

city, town state

## 7. Description

Survey No. WI-267

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>	
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site	
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved	date of move _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed			

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The former Salisbury Building, Loan, and Banking Association office, and more recently the Eastern Shore Savings and Loan building or the John Hanson Savings and Loan building, is located at 108 West Main Street and it occupies the prominent southwest corner of the intersection of South Division and West Main Street in the center of Salisbury, Wicomico County, Maryland. The four-story, seven-bay by three-bay brick commercial block has two commercial fronts facing north and east.

Built in 1914, the four-story Flemish and common bond commercial block is visually supported by a course of limestone at the foundation level. The north and east facades are laid in Flemish bond, while the south wall is partly laid in Flemish bond and partly laid in common bond. The west alley wall is laid in five-course common bond. The building is covered by a flat roof disguised by a parapet wall defined by a heavy classical cornice.

The north wall is seven bays across with the brickwork executed in a rusticated manner that defines the ground floor between the stone foundation and a stone beltcourse at the top of the first floor. The five center bays of the seven bay wall are defined by round arched window and/or door openings accented with graduated and rusticated stone arch blocks. The stone arches frame large multi-pane transom that surmount multi-pane, sidelighted windows or door openings. The western of the seven bays is a side entrance framed by a classical stone surround that includes a pediment and molded architrave. The eastern bay of the seven bay wall is defined by a multi-pane window. The front, northeast corner of the building is clipped on a diagonal plane. The second, third and fourth floors are defined by plain brick pilasters that separate individual bays of paired or single one-over-one sash windows. The five center bays have double windows, while the outer bays are marked by single windows. Defining the vertical wall spaces between the center five bays of windows are patches of all header bond brickwork. The top of the building is accented by a heavy cornice that imitates limestone but according to a construction description in 1914 the cornice is terra cotta intended to look like stone. The cornice consists of a bold row of modillions blocks and a frieze below is accented with a series of circular medallions. Under the frieze is a row of Greek key decoration that tops each brick pilaster and serves as a capital decoration. The parapet wall is finished with a stone cap.

The east wall is three bays across, and the wall surfaces are treated in a similar fashion to the north wall. The northern of the three bays serves as a principal entrance and the other two bays are filled with sidelighted windows. Each window and door opening feature a rusticated stone arch of graduated stone blocks. A stone beltcourse defines the top of the first floor level. The second, third, and fourth floors are lighted by paired single pane sash windows alternating between four brick pilasters. The top of the wall is finished with the same terra cotta cornice. The frieze and Greek key capital decoration is consistent with the north wall.

The interior was not seen.

# 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

**Specific dates** 1914 **Builder/Architect** Builder, Hoggson Bros. NYC

check: Applicable Criteria:  A  B  C  D  
 and/or  
 Applicable Exception:  A  B  C  D  E  F  G  
 Level of Significance:  national  state  local

Prepare both a summary paragraph of significance and a general statement of history and support.

Occupying the southwest corner of the principal intersection of South Division and West Main streets in the center of the city is this distinguished four-story brick and stone commercial block erected during the summer of 1914 for the offices of the Salisbury Building, Loan, and Banking Association. The financial institution purchased this lot three years before and demolished the extant two-story office block. The officers of the banking institution decided to engage a New York contractor, the Hoggson Bros., for the design and execution of their seven-bay by three-bay Renaissance Revival bank and office building. Assembled of stone, brick, and terra cotta, the street elevations offer a rich display of bold architectural elements revived from sixteenth century Italian domestic and public architectural designs.

As the Renaissance Revival style developed in the United States during the early twentieth century, American architects and designers borrowed heavily on antique prototypes while adapting forms to solve demands of urban commercial design. After the turn of the twentieth century, multi-leveled public buildings and office towers started to rise in small towns across the United States.

The Hoggson Brothers' design for the Salisbury Building, Loan, and Banking Association followed a neo-classical formula repeatedly used across the country during the first quarter of the twentieth century. The four-story office building is divided visually into three sections that correspond to the classical column; the base, the shaft, and the capital. In an article written about the construction of the bank building, the reporter for the *Wicomico News* comments on this very aspect of the design,

In a sense the treatment of the first story has been designed to act as a base to the whole structure, and at the same time giving the prominence necessary to the Bank which it should have. Above this the remainder of the building has been treated as a shaft of a column, with the terra cotta cornice capping or crowning feature; to accentuate the height of the body of the building, the office windows are grouped between brick piers, which are crowned with an ornamental course of terra cotta. The color of the terra cotta resembles limestone, and the red brick a rich variegated color.(1)

(Continued)

# 9. Major Bibliographical References

Survey No. WI-267

# 10. Geographical Data

Acreage of nominated property \_\_\_\_\_

Quadrangle name \_\_\_\_\_

Quadrangle scale \_\_\_\_\_

UTM References do NOT complete UTM references

A              
 Zone Easting Northing

B              
 Zone Easting Northing

C

D

E

F

G

H

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code

state	code	county	code

# 11. Form Prepared By

name/title	Paul B. Touart, Architectural Historian		
organization	Private Consultant	date	4/30/96
street & number	P. O. Box 5	telephone	410-651-1094
city or town	Westover	state	Maryland 21871

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
 Shaw House  
 21 State Circle  
 Annapolis, Maryland 21401  
 (301) 269-2438

MARYLAND HISTORICAL TRUST  
 DHCP/DHCD  
 100 COMMUNITY PLACE  
 CROWNSVILLE, MD 21032-2023  
 514-7600

### 8.1 SIGNIFICANCE

Salisbury Building, Loan and Banking  
Association Office  
Salisbury, Wicomico County, Maryland

The Salisbury Building, Loan and Banking Association owned this building until the early 1960s, when the institution conveyed title to First Shore Federal Savings and Loan. (2) More recently the building has housed the offices of the Eastern Shore Savings and Loan Association, which was later incarnated as the John Hanson Savings and Loan, Inc.

### FOOTNOTES

1 *Wicomico News*, July 9, 1914.

2 Wicomico County Land Record, JWTS 554/332, 1/31/1963, Wicomico County Courthouse.

WI-267  
Salisbury Building, Loan & Banking  
Association Office  
Salisbury  
Chain of title

Map 107, Parcel 1049

1340/172

Resolution Trust Corporation

to

5/20/1993

Charles R. Floyd  
D. Page Floyd

“Osprey Management Group Partnership”

JWTS 543/91 Resolution Trust Corporation having been  
appointed as the conservator of John Hanson Federal  
Savings Bank

John Hanson Savings and Loan Inc. Was successor to the  
Eastern Shore Savings and Loan Association

A J S 826/463

Irvin L. Kaminitz and First National Bank of Maryland

to

8/15/1974

Eastern Shore Savings and Loan Association

JWTS 568/137

First Shore Federal Savings and Loan Association

to

8/5/1963

Irvin L. Kaminitz



WI-267  
Salisbury Building, Loan and Banking  
Office  
Salisbury  
Chain of title continued

Page 2

JWTS 554/332

Salisbury Building, Loan, and Banking Association

to

1/31/1963

First Shore Federal Savings and Loan Association

to Salisbury Building, Loan, and Banking Association  
by the six following deeds

1. From Mary J. Marvel, 3/1/1911, EAT 74/123, \$15,000
2. From Henry S. Wailes, 7/28/1919, JCK 113/296
3. From W. Newton Jackson, et al. JWTS 479/141
4. Confirmatory deed from J. Asbury Holloway, 1/3/1963
5. Quit claim deed from Sara W. Feldman, 1/7/1963
6. Deed from Sara W. Feldman, et al. Trustees, 1/7/1963

*Wicomico News*, June 25, 1914

Work on the new office building for the Salisbury Building, Loan, and Banking Association is being pushed with vigor by the contractors, Hoggson Bros. of New York. Two stories are completed, the brick and stone work has been cleaned, and the staging removed. An [un]obstructed view can now be had of the building, and it presents a handsome appearance.

*Wicomico News*, July 9, 1914

Long story on the Building, Loan and Banking Association and its organizational history

“the first story, resting on a limestone foundation, is composed of classic arches in brick and terra cotta, finished with a broad band course, separating and emphasizing this portion of the building from the rest. In a sense the treatment of the first story has been designed to act as a base to the whole structure, and at the same time giving the prominence necessary to the Bank which it should have. Above this the remainder of the building has been treated as a shaft of a column, with the terra cotta cornice capping or crowning feature; to accentuate the height of the body of the building, the office windows are grouped between brick piers, which are crowned with an ornamental course of terra cotta. The color of the terra cotta resembles limestone, and the red brick a rich variegated color.

Source: Elizabeth Hughes





MADE IN U.S.A.

# POST CARD

MESSAGE MAY BE WRITTEN ON THIS SIDE ADDRESS ONLY ON THIS SIDE



AUG 14 1915

We are having a delightful  
 vacation in Maryland.  
 Spent last week at Ocean  
 City. Good salt water  
 bathing and fishing  
 here. Country is very  
 pretty, but Oh, my the  
 many fleas and mosquitoes.  
 Papa and John went home  
 yesterday which makes it  
 very lonesome alone on the  
 farm. May return in a few  
 weeks. Alpa.

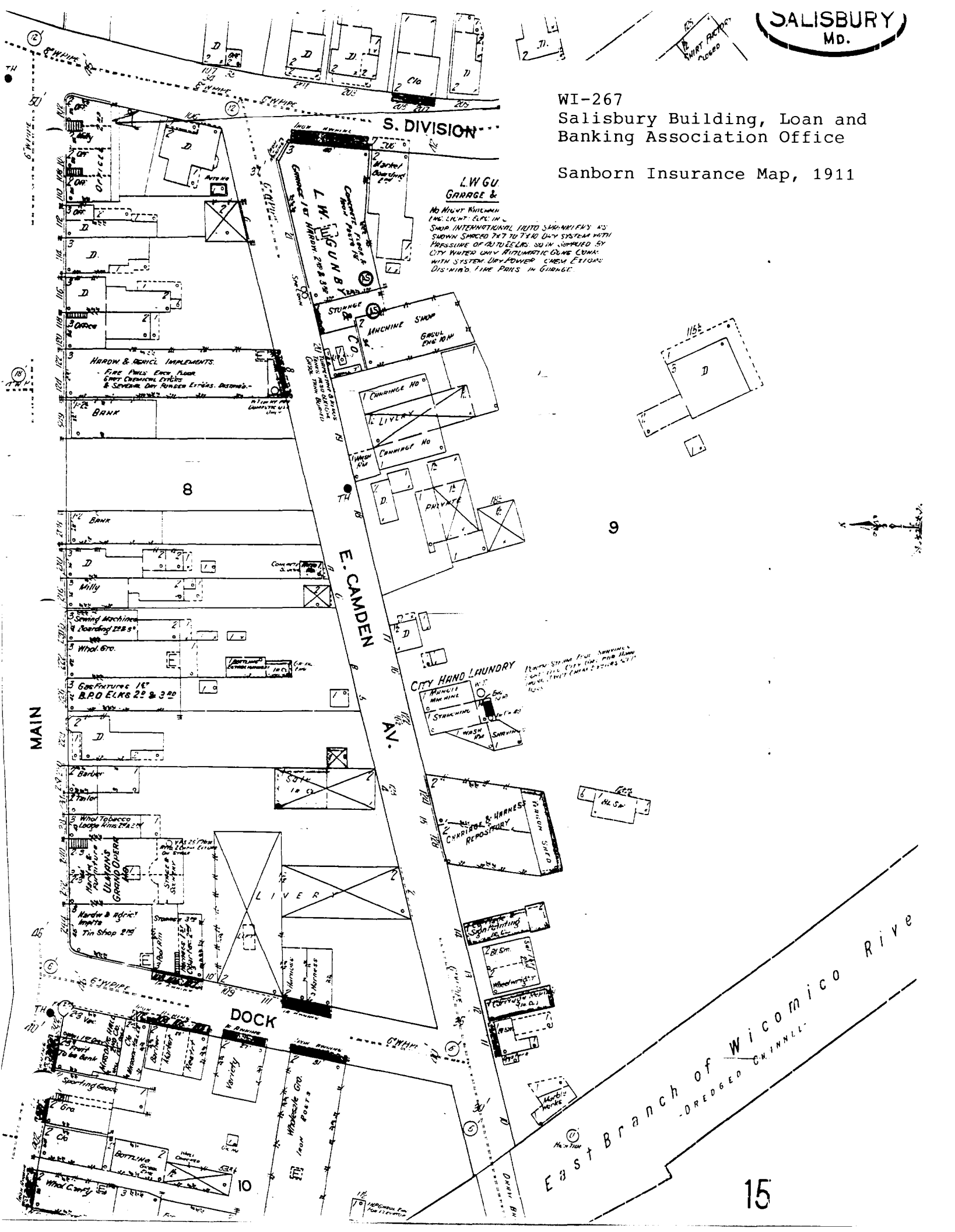
Mrs. S. Silberstein  
 Cor. Fairfield and Taylor  
 Chicago  
 Ill.

Source: Elizabeth Hughes

W1-267

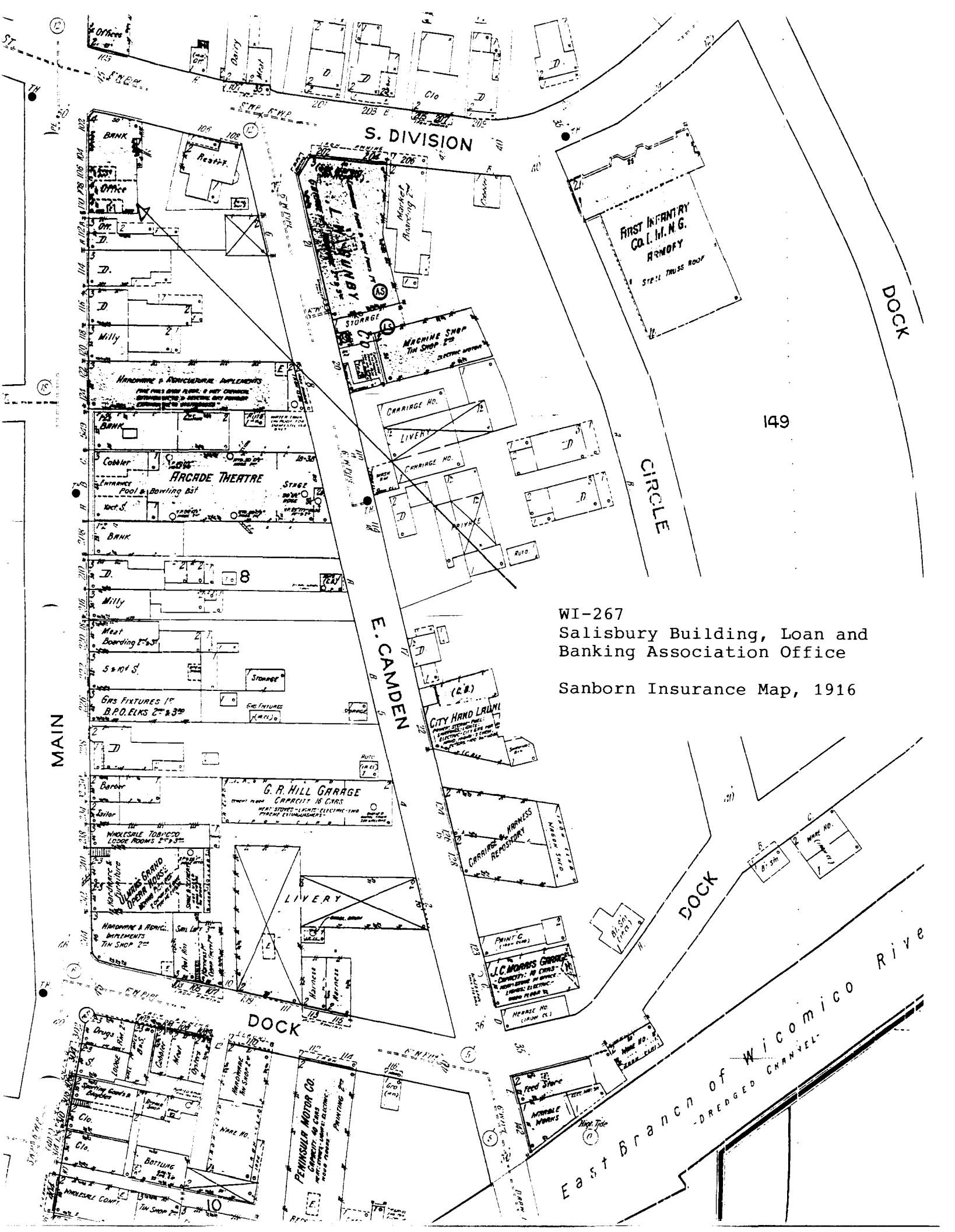
WI-267  
Salisbury Building, Loan and  
Banking Association Office

Sanborn Insurance Map, 1911



**L.W. GUN B. GARAGE &**  
NO NIGHT RIVETWORK  
INC. LIGHT ELEC. IN  
SHOP. INTERNATIONAL AUTO SPRINKLER'S AS  
SHOWN SPACED 7x7 TO 7x10 DRY SYSTEM WITH  
PRESSURE OF 20 TO 25 LBS. SUPPLY SUPPLIED BY  
CITY WATER ONLY. PNEUMATIC GUNNING CONDUIT  
WITH SYSTEM DRY POWER. CEMENT ELEGANT  
DISMANTLING FIRE PAILS IN GARAGE.

Hand Sewing Press Sewing  
Machine City Sew. and Sew.  
Ironing Press Sewing  
Press



S. DIVISION

FIRST INFANTRY  
CO. I. M. N. G.  
ARMORY  
STEEL TRUSS ROOF

149

CIRCLE

E. CANDEN

WI-267  
Salisbury Building, Loan and  
Banking Association Office

Sanborn Insurance Map, 1916

MAIN

DOCK

DOCK

East Branch of Wicomico River  
-DREGGED CHANNEL-

Rest.

ARCADIE THEATRE

G. R. HILL GARAGE  
CAPACITY 16 CARS

CITY HAND LUMBER

LIVERY

J.C. MORRIS GARAGE  
CAPACITY: 40 CARS

PENINSULAR MOTOR CO.  
CAPACITY: 40 CARS

HARDWARE & AGRICULTURAL IMPLEMENTS

MACHINE SHOP  
TIN SHOP

CARRIAGE NO.

LIVERY

CARRIAGE NO.

(L.B.)

CARRIAGE & HARNESS  
REPOSITORY

PRINTING

AVIABLE MARKS

BOTTLING

WHOLESALE COM.

TIN SHOP

COBBLER

BANK

MILLY

MEAT  
BOARDING S.

GAS FIXTURES

BARBER

WHOLESALE TOBACCO

HARDWARE & AGRIC.  
IMPLEMENTS

DRUGS

COINING

WHOLESALE COM.

WHOLESALE COM.

WHOLESALE COM.

WHOLESALE COM.

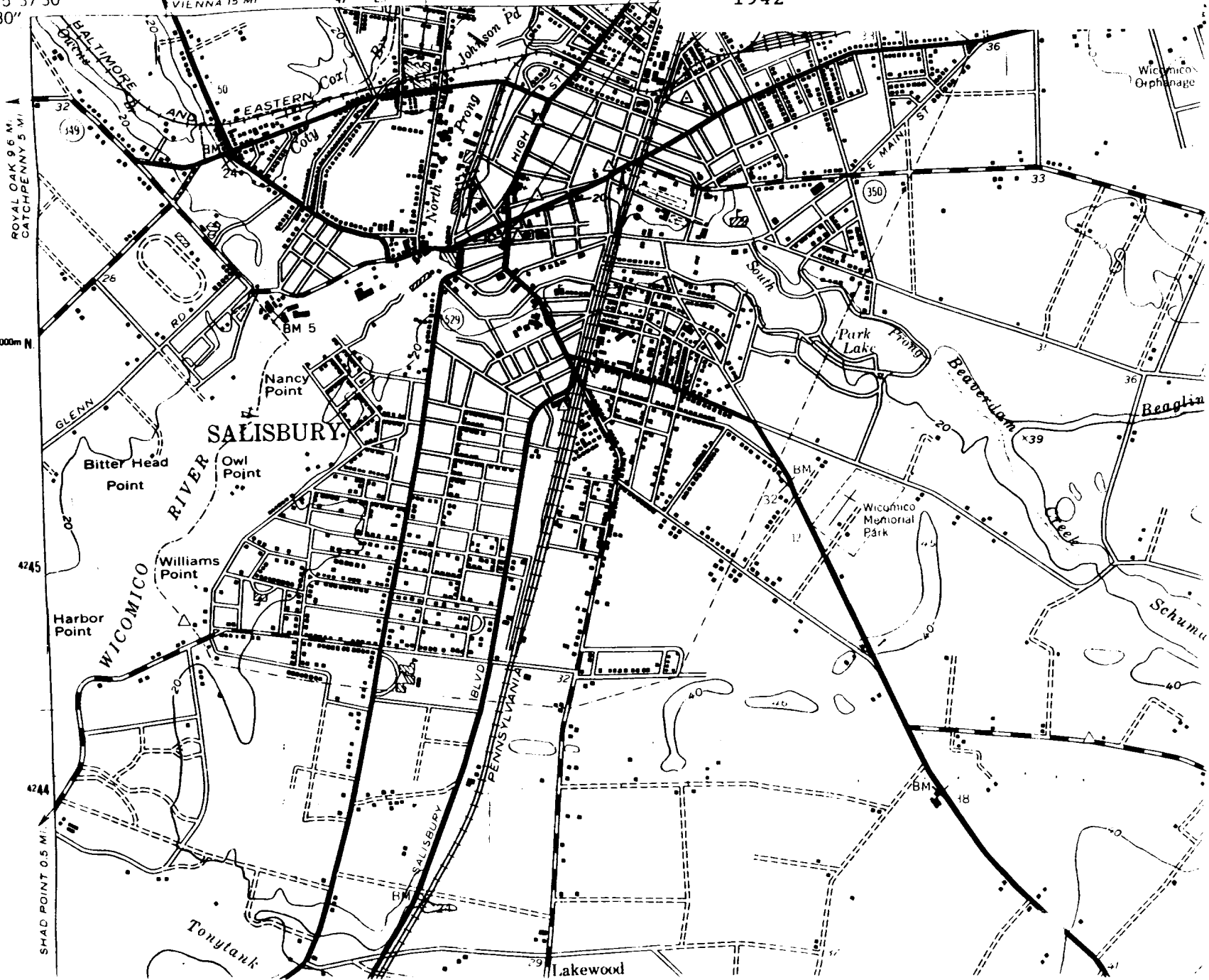
UNITED STATES  
DEPARTMENT OF THE INTERIOR  
GEOLOGICAL SURVEY

WI-267  
Salisbury Building, Loan and  
Banking Association Office  
  
Salisbury, Maryland Quadrangle  
1942

5860 1 NW  
(HEBRON)

75° 37' 30"  
38° 22' 30"

CAMBRIDGE 31 MI  
VIENNA 15 MI  
447000m E



ROYAL OAK 9.5 MI.  
CATCHPENNY 5 MI.

4245000m N

4245

4244

SHAD. POINT 0.5 MI.

Wicomico  
Orphanage

Park  
Lake

Wicomico  
Memorial  
Park

Schmu

Lakewood















Real Property Data Search ( )  
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

**Special Tax Recapture:** None

**Account Identifier:** District - 09 Account Number - 045627

**Owner Information**

**Owner Name:** ADAMS HOUSING LLC **Use:** COMMERCIAL/RESIDENTIAL  
**Principal Residence:** NO  
**Mailing Address:** 100 W MAIN ST STE 203 **Deed Reference:** /03691/ 00298  
 SALISBURY MD 21801-4874

**Location & Structure Information**

**Premises Address:** 100 W MAIN ST **Legal Description:** BL A L 24-3,322 SQFT  
 SALISBURY 21801-0000 100 W MAIN ST  
 CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0107	0014	1049	21003.23	0000		A	24	2024	Plat Ref:

**Town:** SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1914	11,407 SF		3,322 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
		OFFICE BUILDING	/	C3			

**Value Information**

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2024	07/01/2023	07/01/2024
<b>Land:</b>	49,800	66,400		
<b>Improvements</b>	631,300	659,400		
<b>Total:</b>	681,100	725,800	681,100	696,000
<b>Preferential Land:</b>	0	0		

**Transfer Information**

<b>Seller:</b> SHORE BANK	<b>Date:</b> 03/28/2014	<b>Price:</b> \$582,238
<b>Type:</b> ARMS LENGTH IMPROVED	<b>Deed1:</b> /03691/ 00298	<b>Deed2:</b>
<b>Seller:</b> OSPREY MANAGEENT GROUP LLC	<b>Date:</b> 02/12/2003	<b>Price:</b> \$680,000
<b>Type:</b> ARMS LENGTH IMPROVED	<b>Deed1:</b> /02024/ 00171	<b>Deed2:</b>
<b>Seller:</b> FLOYD, CHARLES R & D PAGE ELMORE	<b>Date:</b> 11/05/2001	<b>Price:</b> \$0
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /01869/ 00032	<b>Deed2:</b>

**Exemption Information**

Partial Exempt Assessments:	Class	07/01/2023	07/01/2024
<b>County:</b>	000	0.00	
<b>State:</b>	000	0.00	
<b>Municipal:</b>	000	0.00 0.00	0.00 0.00

**Special Tax Recapture:** None

**Homestead Application Information**

**Homestead Application Status:** No Application

**Homeowners' Tax Credit Application Information**

**Homeowners' Tax Credit Application Status:** No Application **Date:**

# Salisbury Historic District Commission

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## Hearing Notification

**Hearing Date:** April 24, 2024

**Time:** 7:00 pm

**Location:** Government Office Building  
125 N. Division Street  
Salisbury, MD. 21804  
Room 301

**Case Number:** #24-06

**Commission Considering:** Alterations – Window, Vent, Awning

**Owner's Name:** Brant Krisewicz

**Applicant Name:** Brant Krisewicz

**Agent/Contractor:** Brant Krisewicz

**Subject Property Address:** 501 W Main St

**Historic District:** Salisbury Historic District

**Use Category:** Commercial

**Chairman:** Mr. Scott Saxman

**HDC Staff contact:** Amanda Rodriquez  
City Planner  
(410) 548-3170

# Salisbury Historic District Commission

125 N. Division Street  
Room 304  
Salisbury, MD 21801  
(410) 548-3170 / fax (410) 548-3107

Permit Application  
\$150 Fee Received 3/27/24 (date)

Date Submitted: \_\_\_\_\_

Case #: 24-06

Date Accepted as Complete: \_\_\_\_\_

Action Required By (45 days): \_\_\_\_\_

Subject Location: 501 W. Main Street

Owner Name: Brant Krisewicz

Application by: Brant Krisewicz

Owner Address: 1 Dickens Lane, Washington, MD

Applicant Address: 1 Dickens Lane, Washington, MD

Owner Phone: 720-364-8642

Applicant Phone: 720-364-8642

Owner Email: brantmk@latroil.com

Work Involves:  Alterations  New Construction  Addition  Other \_\_\_\_\_  
 Demolition  Sign  Awning Estimated Cost 10K

**DESCRIPTION OF WORK PROPOSED** (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

1. Install Vent Ducting For Restaurant in the alley space for commercial Rouge
2. Replace Rotten Fire Escape Window w/ Door for Senior Access
3. Replace Window Trim w/ Like kind treated lumber to match
4. Replace Existing Awning Covers
- 5.

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.  Yes  No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff?  Yes  No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

### See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: [www.ci.salisbury.md.us](http://www.ci.salisbury.md.us).

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on April 24, 2024 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's  
Signature Brant Krisewicz  
\_\_\_\_\_  
Application Processor (Date)

Date 3/20/24  
Amanda Rolligrey 3/27/24  
Secretary, S.H.D.C. (Date)



①

Venting will run in the alley and will not be visible in the front of the building and will be located in the alley.



There is a vent in place in the back of the alley. We are asking to add an additional vent for another commercial range and run the exhaust vertically.



There is an existing vent in the alley towards the back of the building. A second vent would be similar in style.



②



Exterior window is rotting and allowin water to enter the building. It appear as though the window replaced what was originally a door. I would like to remove the window and replace with new steel door. This window is located on the rear of the building.



32 in. x 80 in. Flush Primed Steel Prehur Left-Hand Inswing Front Door by JELD-WEN

Related Videos & 360° View



Product Images



3

Existing window trim is rotten causing water damage to the interior of the building.

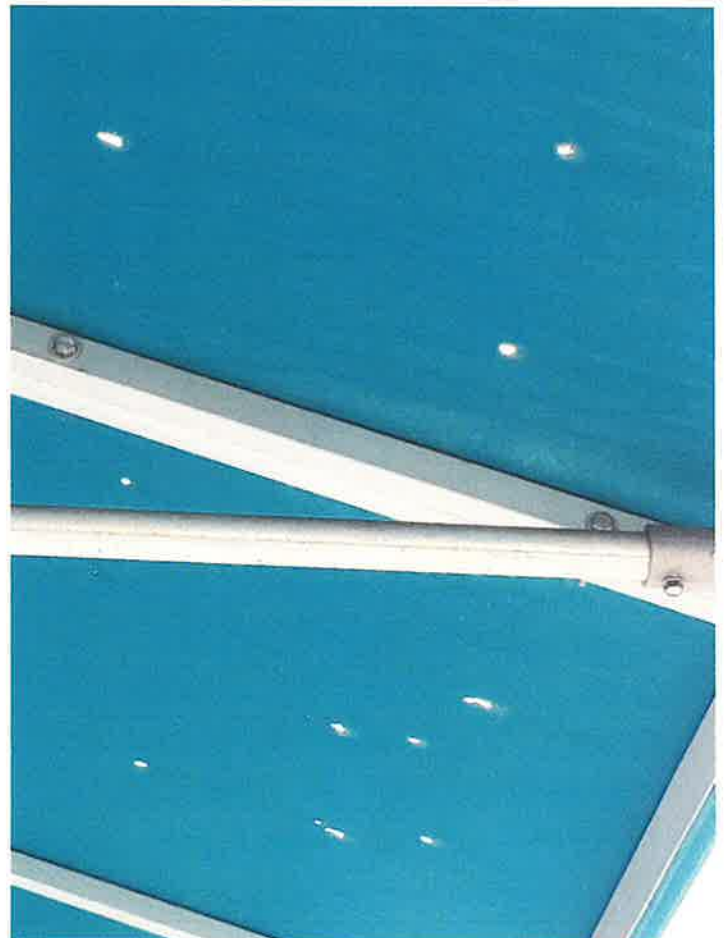
Materials to replace:

- Treated lumber
- Silicone Caulk
- Prime and paint to match existing color



4

Awnings in the front of the building are showing signs of significant weather damage. I would like to replace with a similar style and material.



- A. The completed application form.
- B. The application fee of \$150. Checks can be made out to the City of Salisbury.
- C. Site plan, if applicable.
- D. Scaled and measured detailed drawings, including, but not limited to, plans and elevations of the proposed alterations or improvement, or in the alternative, a scale mock up.
- E. For an existing structure, color photographs of the structure showing all elevations, the area to be altered, close-ups of architectural detail and the area in the immediate vicinity (the property to the immediate left and right of subject property)
- F. For a proposed new structure, photographs of the subject site and all buildings in the immediate vicinity.
- G. All photographs shall be printed on 8½ x11 paper, however, you may put several photos on one page, and each shall be labeled with a description of the contents of the photograph.
- H. Samples of materials or copies of manufacturers product literature.
- I. ✕ The applicant shall deliver one (1) complete application and attachments to the City of Salisbury, Department of Infrastructure and Development, 125 N Division Street, Room 304, Salisbury, MD.

# Salisbury Historic District Commission

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## STAFF FINDINGS

### Meeting of April 24, 2024

<b>Case Number:</b>	#24-06
<b>Commission Considering:</b>	Alterations – Window, Vent, Awning
<b>Owner Name:</b> <b>Owners Address:</b>	Brent Krisewicz 1 Dickens Lane Washington, NJ 07882
<b>Applicant Name:</b>	Brent Krisewicz
<b>Applicant's Address:</b>	1 Dickens Lane Washington, NJ 07882
<b>Agent/Contractor:</b>	Brent Krisewicz
<b>Subject Property Address:</b>	501 W Main Street
<b>Historic District:</b>	Downtown Historic District
<b>Use Category:</b>	Commercial/Residential
<b>Zoning Classification:</b>	Central Business District
<b>Structure / Site Description:</b>	
<b>Built Date:</b>	1927
<b>Enclosed Area:</b>	5,044 sq. ft.
<b>Lot Size:</b>	7,788 sq. ft.
<b>Number of Stories:</b>	Undetermined
<b>Contributing Structure:</b>	Contributing, 5/26/2010

**Wicomico County Historic Survey on file:** Yes

**Nearby Properties on County Survey:** Yes

**Properties included below but not limited to:**

WI-271– 110 W Main Street—Wicomico News Building

**Explanation of Request:** The applicant is seeking approval to install vent ducting for a restaurant in the alley space, replace rotten fire escape window with door, and replace window trim and existing awning covers.

**Areas of Historic Guidelines to be considered:**

**Guideline 28:** Chimneys and Vents a. Maintain existing chimneys. When repairs are necessary, match the existing materials, colors, shape, brick pattern, and details as closely as possible. b. Avoid changing the height, massing, or scale of existing chimneys. c. New vents should be placed in a location which is not visible from the public right of way. d. New chimneys on new construction should be consistent with the height, massing, and proportions of chimneys found in the surrounding area.

**Windows**

Historically, buildings in the Downtown Historic District have windows on the upper floors. Most common was the use of simple double-hung windows in plain, lightly decorated walls. These windows were generally one-over-one wood frame sash in either rectangular or arched openings. Some buildings from the 1920's and 1930's used casement windows or group of double – hung windows in openings that were larger than those of earlier buildings. Window openings were generally plain, with simple stone lintels and sills.

Please see the preceding section, Universal Guidelines, for additional guidelines on Windows. For additional information on substitute materials, see Appendix B.

**Guideline 39:** Replacement Windows for Commercial Properties

- a. Where window replacement is necessary, the new window should match the historic window in size, type, glazing pattern, and profile. The number of window panes and the approximate muntin and mullion profile should match the historic window.
- b. Removable, snap-in, or “between the glass” muntins are not historically appropriate.
- c. Vinyl windows are generally not manufactured in historic proportions and are not appropriate replacement windows for historic properties. Aluminum, aluminum

- clad wood, and fiberglass are appropriate replacement materials and may be approved if the appearance is complimentary to the existing historic windows and architectural style.
- d. Maintain the historic window opening size and surrounding trim. Do not alter the size of the historic window opening to accommodate larger or smaller windows. Do not remove or cover surrounding trim, including wood and masonry details.
  - e. Maintain the window type. For example, do not replace operable windows such as double-hung windows with fixed windows.

## **Doors**

Doors are an important design feature for buildings in the Downtown Historic District. Entrance features for these commercial buildings are often decorative wood or metal doors with ornamental door surrounds and steps with railings. Please see the preceding section, Universal Guidelines, for additional guidelines on Doors. For additional information on substitute materials, see Appendix B. Guideline 40: Replacing Commercial Doors a. Where replacement is necessary, the new door should match the historic door in placement, size, type, and configuration wherever possible. b. When restoring missing historic doors, use pictorial evidence to produce the replacements, if your budget allows. A salvaged replacement in the same style that fits the opening, or a new door in a complimentary style are also appropriate choices. c. Where code compliance requires a specific, non-historic door configuration, err on the side of simplicity. d. Maintain the historic door opening size and surrounding trim, including side lights and transoms. Do not alter the size of the opening to fit a smaller or larger door, unless required by code.

## **Signs and Awnings**

**Guideline 46:** Awnings a. The bottom of awnings must hang no less than 7 feet above the pavement. b. Awnings must fit the dimensions of the storefront. They should not obscure ornamental details or the historic signboard. The top edge should align with the top of the storefront transom or fall between the transom and storefront windows. c. Awnings may provide suitable locations for signs. Lettering and logos may be added to the front face or to the drop flap.

Staff Findings  
Prepared By: Jennifer Jean  
Infrastructure and Development  
125 N Division Street, Suite 304  
Salisbury, MD 21801  
(410) 548-3170  
Date: April 24, 2024



WI-330

## Franklin Hotel

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

WI-330  
Franklin Hotel  
Salisbury  
Private

1930

Prominently marking the intersection of West Main and Lake streets on the west side of Salisbury's business district, the Franklin Hotel is a two-story, thirteen-bay by six-bay brick building distinguished by a series of recessed commercial fronts and arched window openings on the second floor. The principal entrance is located on the southeast corner of the old hotel, which is dated to 1930 by a large concrete plaque fixed in the top of the chamfered corner of the rectangular structure. At the second floor level there is a second concrete plaque embossed with the label "Mainlake Building." The stretcher bond street elevations are topped by a parapet wall accented with corbeled brickwork.

While housing a variety of businesses in the series of store fronts along West Main Street over the years, the two-story brick building is best known as the Franklin Hotel, where modest rooms were available to the scores traveling salesmen, sailors, and visitors who needed overnight lodging. The building was erected by the Larmar Corporation, an early twentieth century development company headed by J. H. Larmore.

MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

RESOURCE NAME: Franklin Hotel

MHT INVENTORY NUMBER: WI-330

MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture
  
2. Geographic Orientation: Eastern Shore
  
3. Chronological/Development Period(s): Industrial-Urban Dominance  
1870-1930
  
4. Resource Type(s): Hotel

# Maryland Historical Trust State Historic Sites Inventory Form

## MARYLAND INVENTORY OF HISTORIC PROPERTIES

Survey No. WI-330

Magi No.

DOE  yes  no

### 1. Name (indicate preferred name)

historic Franklin Hotel

and/or common

### 2. Location

street & number 501 West Main Street  not for publication

city, town Salisbury  vicinity of congressional district First

state Maryland county Wicomico

### 3. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input type="checkbox"/> private	<input checked="" type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input type="checkbox"/> private residence
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input checked="" type="checkbox"/> not applicable	<input type="checkbox"/> no	<input type="checkbox"/> military	<input type="checkbox"/> other:

### 4. Owner of Property (give names and mailing addresses of all owners)

name City of Salisbury

street & number P. O. Box 4118 telephone no.:

city, town Salisbury state and zip code MD 21801

### 5. Location of Legal Description

courthouse, registry of deeds, etc. Wicomico County Clerk of Court Map 106, P. 3273  
liber 1164

street & number Wicomico County Courthouse folio 858

city, town Salisbury state MD 21801

### 6. Representation in Existing Historical Surveys

title

date  federal  state  county  local

pository for survey records

city, town

state

## 7. Description

Survey No. WI-330

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved    date of move _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The Franklin Hotel, also known as the Mainlake Building, stands at 501 West Main Street on the west side of Salisbury, Wicomico County, Maryland. The two-story brick commercial block, built with a corner entrance, is oriented to the intersection of West Main and Lake streets.

Dated to 1930 by a concrete plaque, the two-story commercial block has a thirteen bay exposure on West Main Street and a six-bay exposure on Lake Street. The stretcher and common bond walls rise to a parapet roof that disguises the low sloping shed roof.

The south West Main Street elevation consists of a series of recessed commercial fronts on the first floor and thirteen evenly spaced window openings on the second floor. Each recessed commercial entrance bay is distinguished by large plate glass display windows on each side of a glazed front door. A soldier course of bricks span the commercial bays. The second floor windows, each featuring a round headed arch, are boarded up. The upper wall surface is marked by slightly corbeled brickwork under the parapet wall. The southeast corner of the building is cut in order to facilitate the corner entrance to the main commercial space. The recessed entrance door is flanked by sidelights, and the ceiling is covered with diagonal, beveled edge boards. Fixed in the wall above the entrance are two concrete plaques, one with the date "1930" and the other with the name "Mainlake Building."

The east Lake Street elevation is six bays across. A commercial entrance on the first floor has been bricked up, but the soldier course that spanned the former opening is clearly visible. The second floor is marked by six round arched windows that are currently boarded over.

The west side elevation is laid in seven to nine-course common bond with a stepped parapet wall decreasing in elevation towards the back of the building. Four boarded over windows light the second floor.

The north (rear) elevation is an asymmetrical wall of doors and windows. The brick is laid in seven to nine-course common bond. Attached to the northwest corner is a two-story concrete block addition.

# 8. Significance

Survey No. WI-330

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

### Specific dates

### Builder/Architect

check: Applicable Criteria:  A  B  C  D  
and/or

Applicable Exception:  A  B  C  D  E  F  G

Level of Significance:  national  state  local

Prepare both a summary paragraph of significance and a general statement of history and support.

Prominently marking the intersection of West Main and Lake streets on the west side of Salisbury's business district, the Franklin Hotel is a two-story, thirteen-bay by six-bay brick building distinguished by a series of recessed commercial fronts and arched window openings on the second floor. The principal entrance is located on the southeast corner of the old hotel, which is dated to 1930 by a large concrete plaque fixed in the top of the chamfered corner of the rectangular structure. At the second floor level there is a second concrete plaque embossed with the label "Mainlake Building." The stretcher bond street elevations are topped by a parapet wall accented with corbeled brickwork.

While housing a variety of businesses in the series of store fronts along West Main Street over the years, the two-story brick building is best known as the Franklin Hotel, where modest rooms were available to the scores traveling salesmen, sailors, and visitors who needed overnight lodging. The building was erected by the Lamar Corporation, an early twentieth century development company headed by J. H. Larmore.

The building is a significant element of Salisbury's West Main Street business district and is qualifies for listing in *Category A*, which identifies buildings that must be preserved due to their architectural and historical significance.

# 9. Major Bibliographical References

Survey No. WI-330

# 10. Geographical Data

Acreage of nominated property \_\_\_\_\_

Quadrangle name \_\_\_\_\_

Quadrangle scale \_\_\_\_\_

UTM References do NOT complete UTM references

A              
 Zone Easting Northing

B              
 Zone Easting Northing

C

D

E

F

G

H

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code

state	code	county	code

# 11. Form Prepared By

name/title Paul B. Touart, Architectural Historian

organization Private Consultant date 1/15/98

street & number P. O. Box 5 telephone 410-651-1094

city or town Westover state Maryland 21871

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to:	Maryland Historical Trust	<b>MARYLAND HISTORICAL TRUST</b>
	Shaw House	DHCP/DHCD
	21 State Circle	100 COMMUNITY PLACE
	Annapolis, Maryland 21401	CROWNSVILLE, MD 21032-2023
	(301) 269-2438	514-7600

WI-330  
Franklin Hotel  
West Main and Lake Streets  
Salisbury, Wicomico County, Maryland  
Chain of title

Map 106, Parcel 3273

1164/858

Gladys D. Church

to

City of Salisbury

Lot No. 2 as laid down on plat IDT 160/422

A J S 876/846

Larmar Corporation

to

6/1/1977

Earl C. Church  
Gladys D. Church

IDT 160/420

Mary A. Wroten

to

12/4/1929

Larmar Corporation

Lot No. 2, Surveyed for J. H. Larmore

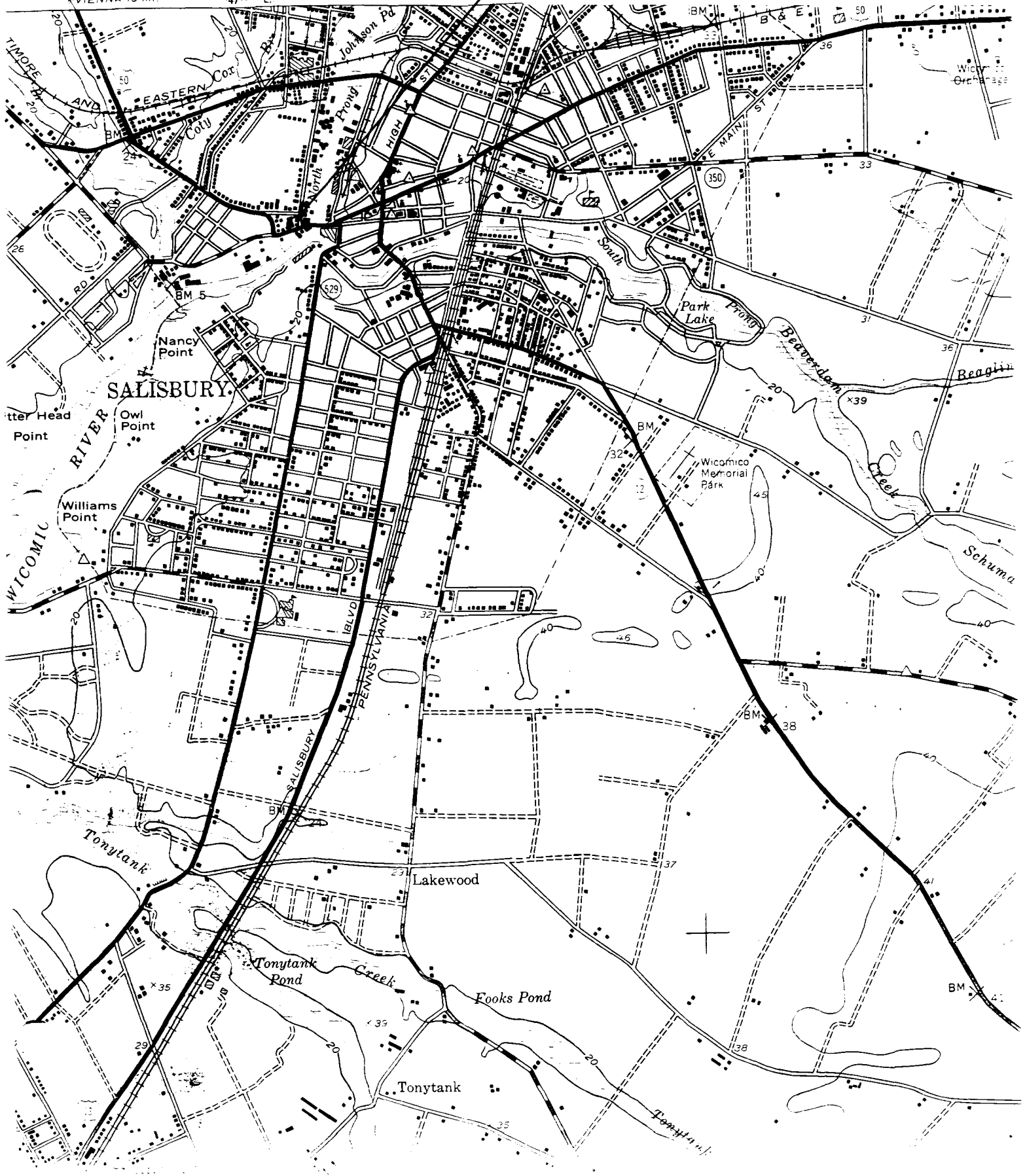


WI-330  
Franklin Hotel

UNITED STATES  
DEPARTMENT OF THE INTERIOR  
GEOLOGICAL SURVEY

Salisbury, Maryland Quadrangle  
1942

CAMBRIDGE 31 MI.  
VIENNA 15 MI. 447000m E





W. 333

Mountain House

Sanisaba, Wilcox Co., N.C.

South elevation

1898. Paul Turner, photographer

1 of 2



W1-330

FRANCIS - 1992

Salisbury, Wicomico Co., MD

Southeast elevation

1/99, Paul Toussaint - Physiologist

NEC/MD Historical Trust

2 of 2

WI-271

## Wicomico News Building

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

WI-271  
Old Wicomico News Building  
Salisbury  
Private

Early 20th century, 1920

The three-story, English bond brick storefront with stone facings that frame the paired window openings was erected in 1920 as part of an effort to redesign and enlarge an early twentieth century law office. Classified under the Renaissance Revival, the 1920 facade included a large datestone above a heavy stone cornice featuring acanthus decorated console brackets and a row of egg-and-dart molding. While the first floor has been reworked, it originally included classical stone entrances and an elaborate first floor frieze decorated with classical swags and urns. Small panels above the second and third floor windows still survive with similar classical motifs. Despite the loss of the first floor features, the building still retains a large percentage of its architectural interest.

For a large portion of its existence, this building has housed a newspaper office. In January 1920, the News Publishing Company of Salisbury purchased what was then known as the Woodcock & Webb building with plans to remodel and enlarge the former law office. A few months prior, the News Publishing Company had been organized following the acquisition of the Brewington Bros. Co., which had published the *Wicomico News* since 1887. On January 15, 1920, a short article in the *Wicomico News* verified the construction plans by stating:

At the rear of their recently purchased three story brick building the News

Publishing Company will erect a brick addition with a frontage on Camden Street. This addition will cover the entire rear of the Woodcock & Webb lot and will be about 26 feet wide and 76 feet deep. The entire addition and the ground floor of the present building, which fronts Main Street, will be occupied by the News Publishing company in its newspaper and job printing business.

Preparations for the relocation of the newspaper office and printing room were stretched over the next six months with occupation planned for the summer. The *Wicomico News* was assembled and printed in this building until the late 1930s, when it was acquired by the Brush-Moore Newspapers, Inc. of Canton, Ohio, and merged with the *Salisbury Times*. The *Salisbury Times and Wicomico News*, and later, the *Salisbury Times and Shoreman's Daily*, were written and printed here until a new newspaper office was built in the mid 1950s.



MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

RESOURCE NAME: Wicomico News Building

MHT INVENTORY NUMBER: WI-271

MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture  
Commerce

2. Geographic Orientation: Eastern Shore

3. Chronological/Development Period(s): Industrial/Urban Dominance  
1870-1930

4. Resource Type(s): Commercial Block

**Maryland Historical Trust  
State Historic Sites Inventory Form**

MARYLAND INVENTORY OF  
HISTORIC PROPERTIES

Survey No. WI-271

Magi No.

DOE  yes  no

**1. Name** (indicate preferred name)

historic Wicomico News Building

and/or common

**2. Location**

street & number 110 West Main Street  not for publication

city, town Salisbury  vicinity of congressional district First

state Maryland county Wicomico

**3. Classification**

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture <input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial <input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational <input type="checkbox"/> private residence
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment <input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government <input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial <input type="checkbox"/> transportation
	<input checked="" type="checkbox"/> not applicable	<input type="checkbox"/> no	<input type="checkbox"/> military <input type="checkbox"/> other:

**4. Owner of Property** (give names and mailing addresses of all owners)

name Peninsula Bank

street & number P. O. Box 219 telephone no.:

city, town Princess Anne state and zip code MD 21853

**5. Location of Legal Description**

courthouse, registry of deeds, etc. Wicomico County Clerk of Court Map 107, p. 1051  
liber 1264

street & number Wicomico County Courthouse folio 189

city, town Salisbury state MD 21801

**6. Representation in Existing** Historical Surveys

title

date  federal  state  county  local

depository for survey records

city, town state

# 7. Description

Survey No. WI-271

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>	
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site	
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved	date of move _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed			

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The old Wicomico News Building, now owned by Peninsula Bank and housing its administrative offices, is a three-story, two-bay brick commercial block located at 110 West Main Street on the Downtown Plaza of Salisbury, Wicomico County, Maryland. The building faces north with contemporaneous commercial block flanking it on each side.

Estimated to date to the first decade of the twentieth century, the core structure of the Wicomico News Building was enlarged and restyled in 1920 and documented to that year with a datestone fixed at the top of the wall surface. The West Main Street elevation is reflective of the Renaissance Revival style. The first floor has been reworked to suit a modern office space, whereas the second and third floors remain essentially unaltered. The front brick wall is laid in English bond with two pairs of window openings on the second and third floors. The windows are framed by wide stone facings and a heavy stone mullion that divides the nine-over-one sash windows. Fixed above each set of windows is a decorative center panel. A carved urn and scroll motif in classical form is featured in each panel. Nine-over-one replacement windows have been introduced on the second floor, while the original nine-over-one sash remain on the third floor. The entire window bay is distinguished by slight projection in the brick wall surface.

The top of the wall is finished with a large stone entablature below a capped parapet. Large foliated consoles are fixed under the cornice. Stretching across the entablature below the consoles is an egg-and-dart molding. A plain frieze finishes the entablature composition. The 1920 datestone is centered above the entablature.

The east side elevation is obscured by the adjacent commercial block, and there is a narrow alley on the west side.

The interior was not seen.

# 8. Significance

Survey No. WI-271

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400–1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500–1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600–1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700–1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800–1899	<input checked="" type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input checked="" type="checkbox"/> 1900–	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

**Specific dates**      1920      **Builder/Architect**

---

check: Applicable Criteria:  A    B    C    D  
and/or  
Applicable Exception:  A    B    C    D    E    F    G

Level of Significance:  national    state    local

Prepare both a summary paragraph of significance and a general statement of history and support.

The three-story, English bond brick storefront with stone facings that frame the paired window openings was erected in 1920 as part of an effort to redesign and enlarge a early twentieth century law office. Classified under the Renaissance Revival, the 1920 facade included a large datestone above a heavy stone cornice featuring acanthus decorated console brackets and a row of egg-and-dart molding. While the first floor has been reworked, it originally included classical stone entrances and an elaborate first floor frieze decorated with classical swags and urns. Small panels above the second and third floor windows still survive with similar classical motifs. Despite the loss of the first floor features, the building still retains a large percentage of its architectural interest.

Due to the intact nature of the second and third floor features, this building qualifies for listing in Category B, which identifies buildings that should be preserved since they exhibit good architectural details and contribute to the overall historic sense of the district.

For a large portion of its existence, this building has housed a newspaper office. In January 1920, the News Publishing Company of Salisbury purchased what was then known as the Woodcock & Webb building with plans to remodel and enlarge the former law office.(1) A few months prior, the News Publishing Company had been organized following the acquisition of the Brewington Bros. Co., which had published the *Wicomico News* since 1887.(2) On January 15, 1920, a short article in the *Wicomico News* verified the construction plans by stating:

At the rear of their recently purchased three story brick building the News Publishing Company will erect a brick addition with a frontage on Camden Street. This addition will cover the entire rear of the Woodcock & Webb lot and will be about 26 feet wide and 76 feet deep. The entire addition and the ground floor of the present building, which fronts Main Street, will be occupied by the News Publishing company in its newspaper and job printing business.(3)

(Continued)

# 9. Major Bibliographical References

Survey No. WI-271

## 10. Geographical Data

Acreage of nominated property \_\_\_\_\_

Quadrangle name \_\_\_\_\_

Quadrangle scale \_\_\_\_\_

UTM References do NOT complete UTM references

A 

Zone	Easting					Northing														

B 

Zone	Easting					Northing														

C 

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

D 

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

E 

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F 

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G 

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H 

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code
-------	------	--------	------

state	code	county	code
-------	------	--------	------

## 11. Form Prepared By

name/title Paul B. Touart, Architectural Historian

organization Private Consultant date 4/6/96

street & number P. O. Box 5 telephone 410-651-1094

city or town Westover state Maryland 21871

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return to: Maryland Historical Trust  
Shaw House  
21 State Circle  
Annapolis, Maryland 21401  
(301) 269-2438

**MARYLAND HISTORICAL TRUST**  
DHCP/DHCD  
100 COMMUNITY PLACE  
CROWNSVILLE, MD 21032-2023  
514-7600

## SIGNIFICANCE

8.1 Wicomico News Building, WI-271  
West Main Street  
Salisbury, Wicomico County, Maryland

Preparations for the relocation of the newspaper office and printing room were stretched over the next six months with occupation planned for the summer. The *Wicomico News* was assembled and printed in this building until the late 1930s when it was acquired by the Brush-Moore Newspapers, Inc. of Canton Ohio, and merged with the *Salisbury Times*.<sup>(4)</sup> The *Salisbury Times and Wicomico News*, and later, the *Salisbury Times and Shoreman's Daily*, was written and printed here until a new newspaper office was built in the mid 1950s.<sup>(5)</sup>

---

1 Wicomico County Land Record, JCK 117/124, January 29, 1920, Wicomico County Courthouse, Salisbury, Maryland.

2 Preston, Dickson J. *Newspapers of Maryland's Eastern Shore*. Queenstown and Centreville: Queen Anne Press and Tidewater Publishers, 1986, p. 249.

3 *Wicomico News*, January 15, 1920, (Wicomico County Free Library).

4 Preston, p. 180.

5 Preston, p. 249.

WI-271  
Wicomico News Building  
West Main Street  
Salisbury, Wicomico County, Maryland  
Chain of title

1264/189                      Margaret O. Gaskill

to

9/11/1991                    Peninsula Bank

Property survey of Clement I. and Margaret O. Gaskill  
7/15/1957 JWTS 427/37

MSB 1208/651                First National Bank of Maryland

to

2/6/1990                     Margaret O. Gaskill

MSB 1130/416                Robert D. Faw, Clement M. Gaskill, and John W. T. Webb  
Personal Representatives of Clement I. Gaskill

to

12/1/1987                    First National Bank

Item No. 2, Undivided ½ interest

JWTS 785/247                Betty N. Bounds

to

2/26/1973                    Clement I. Gaskill  
Margaret O. Gaskill





WI-271  
Wicomico News Building  
West Main Street  
Salisbury, Wicomico County, Maryland  
Chain of title continued

Page 3

IDT 203/554

Richard P. Curtiss  
Guivevere Clarkson Curtiss

to

9/1/1937

Brush-Moore Newspapers, Inc.

the courses and distances given herein and taken from  
a plat of survey made for Woodcock & Webb by  
William S. Hartley 12/27/1919, recorded 2/3/1920  
JCK 117/600

203/544

News Publishing Company

to

8/31/1937

Richard P. Curtiss

JCK 117/124

Amos W. W. Woodcock  
Fred W. C. Webb

to

1/29/1920  
Received 2/3/1920

News Publishing Company, Salisbury, Maryland  
Assumption of mortgage to Floy T. Watson  
\$9,500. 7/1/1919 JCK 110/521 and the sum of  
\$8,000.

WI-271  
Wicomico News Building  
West Main Street  
Salisbury, Wicomico County, Maryland  
Chain of title contined

Page 4

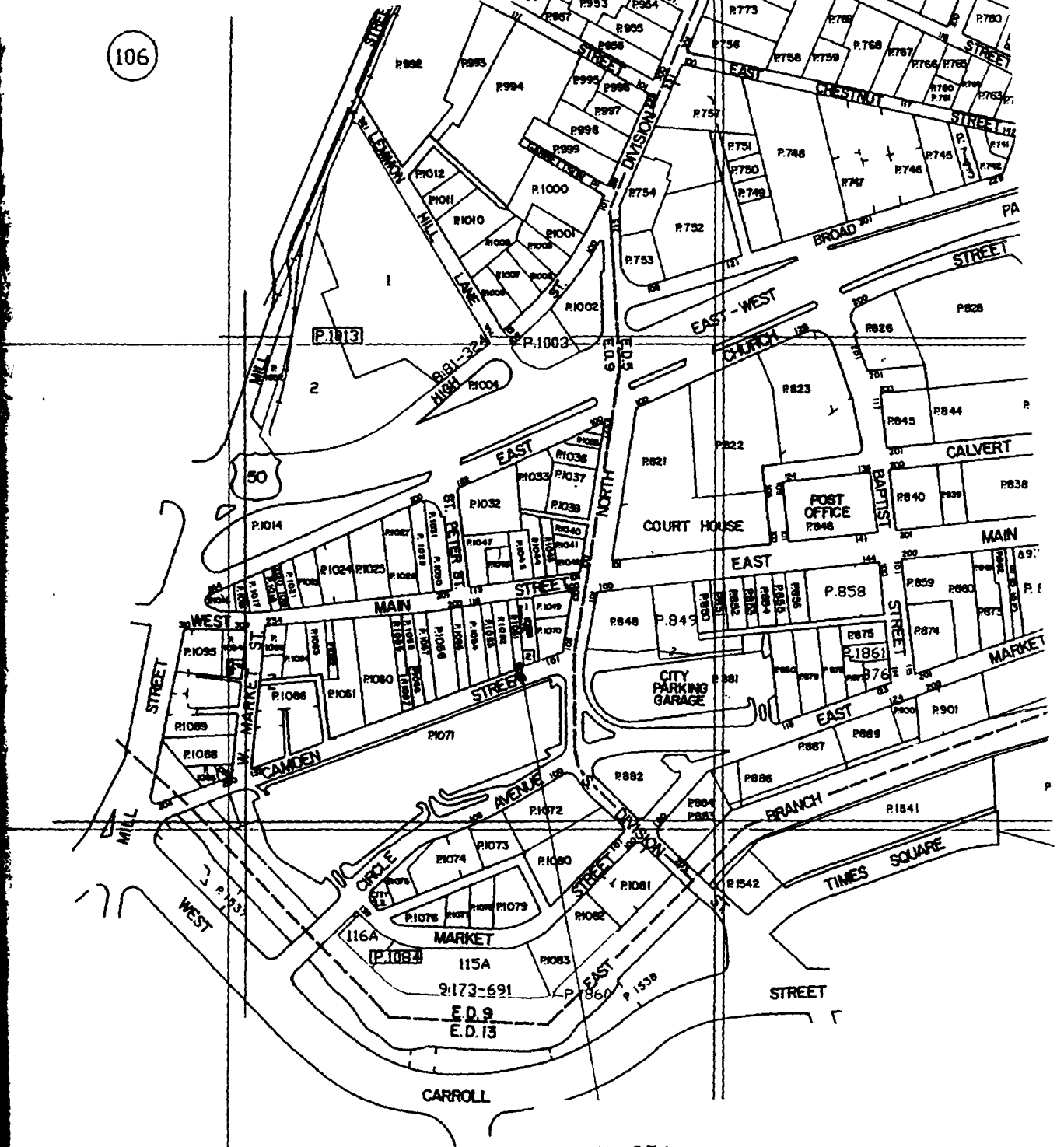
JCK 113/171

Harriette Wright  
Lillian B. Wright

to

7/1/1919

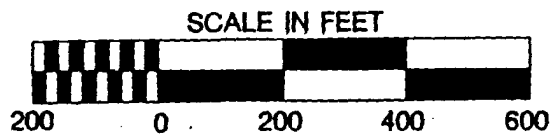
Amos W. W. Woodcock  
Frederick W. C. Webb



WI-271  
 Wicomico News Building  
 110 West Main Street

Wicomico County Tax Map 107  
 Parcel 1051

MAPS ARE PROTECTED BY COPYRIGHT. THEY MAY NOT BE REPRODUCED IN ANY FORM INCLUDING ELECTRONIC SUCH AS: DIGITIZING, SCANNING, AND IMAGE PROCESSING. ANY SYSTEM NOW KNOWN OR TO BE INVENTED WITHOUT PERMISSION IN WRITING FROM THE PROPERTY MAP DIVISION.



WI-271  
Wicomico News Building  
110 West Main Street

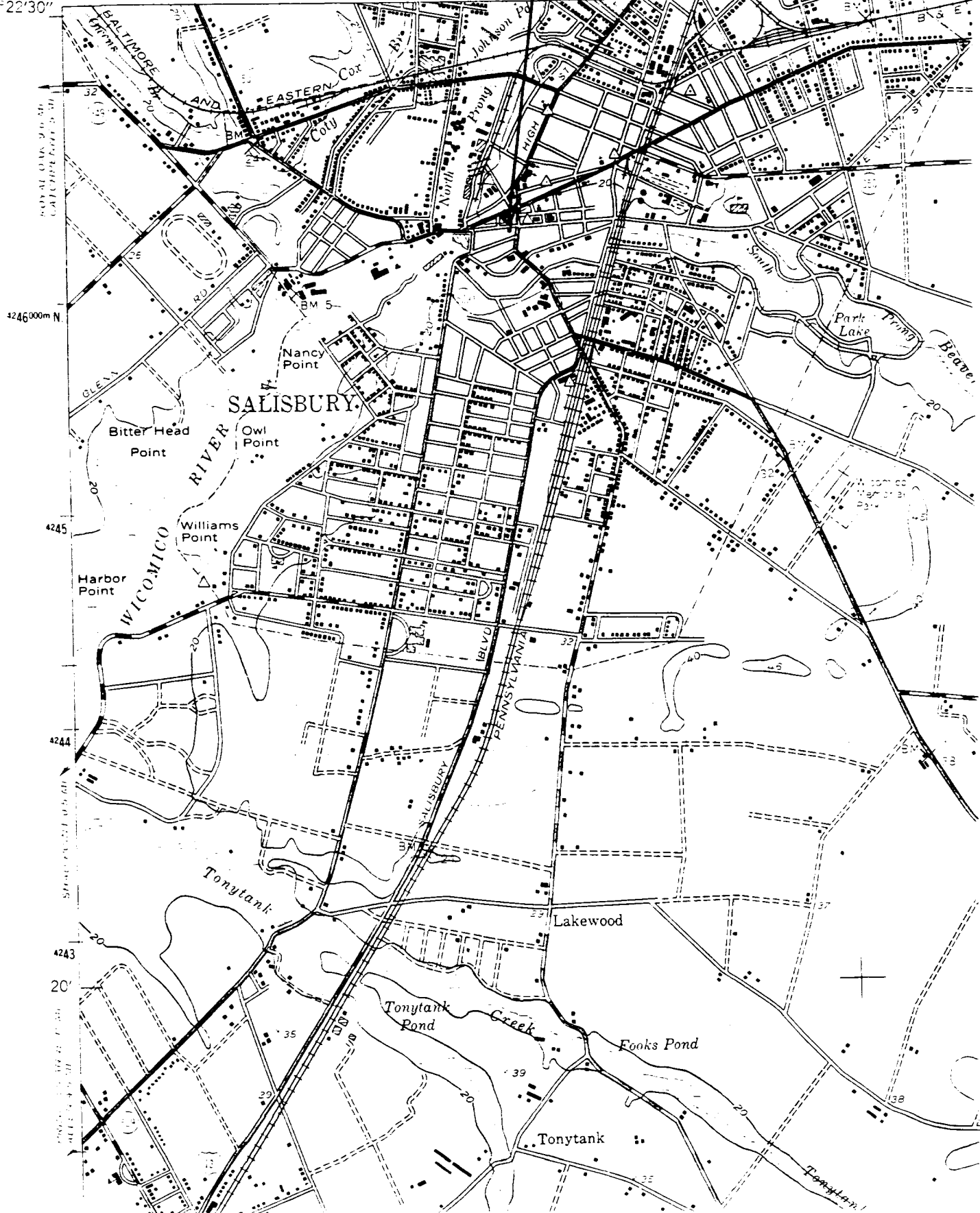
UNITED STATES  
DEPARTMENT OF THE INTERIOR  
GEOLOGICAL SURVEY

Salisbury, Maryland Quadrangle  
1942

5800 1 NW  
(MERIDIAN)

75°37'30"  
38°22'30"

47000m E  
4246000m N







Real Property Data Search ( )  
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

**Special Tax Recapture:** None

**Account Identifier:** District - 09 Account Number - 049444

**Owner Information**

**Owner Name:** 501 W MAIN STREET SALISBURY MD LLC      **Use:** COMMERCIAL/RESIDENTIAL  
**Mailing Address:** 1304 S DIVISION ST      **Principal Residence:** NO  
 UNIT 1      **Deed Reference:** /05192/ 00438  
 SALISBURY MD 21804-

**Location & Structure Information**

**Premises Address:** 501 W MAIN ST      **Legal Description:** PAR 1 7,788SQ FT  
 SALISBURY 21801-0000      501-03-05-507 W MAIN ST  
 FRANKLIN HOTEL SUBD

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0106	0016	3273	10003.23	0000			PAR 1	2024	Plat Ref:

**Town:** SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1927	5,044 SF		7,788 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
		MIXED RESIDENTIAL / RETAIL	/	C3			

**Value Information**

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2024	07/01/2023	07/01/2024
<b>Land:</b>	61,100	61,100		
<b>Improvements</b>	334,800	1,097,600		
<b>Total:</b>	395,900	1,158,700	395,900	650,167
<b>Preferential Land:</b>	0	0		

**Transfer Information**

<b>Seller:</b> SIMSON DANA & JOHN ORTH <b>Type:</b> ARMS LENGTH MULTIPLE	<b>Date:</b> 12/07/2022 <b>Deed1:</b> /05192/ 00438	<b>Price:</b> \$1,250,000 <b>Deed2:</b>
<b>Seller:</b> SIMSON, DANA & JOHN ORTH <b>Type:</b> NON-ARMS LENGTH OTHER	<b>Date:</b> 05/05/2000 <b>Deed1:</b> /01629/ 00690	<b>Price:</b> \$70,000 <b>Deed2:</b>
<b>Seller:</b> SALISBURY, CITY OF <b>Type:</b> NON-ARMS LENGTH OTHER	<b>Date:</b> 09/18/1998 <b>Deed1:</b> /01629/ 00690	<b>Price:</b> \$70,000 <b>Deed2:</b>

**Exemption Information**

Partial Exempt Assessments:	Class	07/01/2023	07/01/2024
<b>County:</b>	000	0.00	
<b>State:</b>	000	0.00	
<b>Municipal:</b>	000	0.00 0.00	0.00 0.00

**Special Tax Recapture:** None

**Homestead Application Information**

**Homestead Application Status:** No Application

**Homeowners' Tax Credit Application Information**

**Homeowners' Tax Credit Application Status:** No Application      **Date:**

# Salisbury Historic District Commission

---

## Hearing Notification

**Hearing Date:** April 24, 2024

**Time:** 7:00 pm

**Location:** Government Office Building  
125 N. Division Street  
Salisbury, MD. 21804  
Room 301

**Case Number:** #24-07

**Commission Considering:** Solar System Installation

**Owner's Name:** Arreaud Germain

**Applicant Name:** Power Factor – Cary Shank

**Agent/Contractor:** Power Factor – Cary Shank

**Subject Property Address:** 233 Newton St

**Historic District:** Camden Historic District

**Use Category:** Residential

**Chairman:** Mr. Scott Saxman

**HDC Staff contact:** Amanda Rodriquez  
City Planner  
(410) 548-3170



**Salisbury Historic District Commission**

125 N. Division Street  
Room 304  
Salisbury, MD 21801  
(410) 548-3170/ fax (410) 548-3107

**Permit Application**

\$150 Fee Received 3/8/24 (date)

**Date Submitted:** \_\_\_\_\_

**Case #:** 24-07

**Date Accepted as Complete:** \_\_\_\_\_

**Action Required By (45 days):** \_\_\_\_\_

Subject Location: 233 Newton Street Salisbury, Md. 21801

Application by: Power Factor - Cary Shank

Owner Name: Arreaud Germain

Owner Address: 233 Newton Street Salisbury, Md. 21801

Applicant Address: 8240 Beachwood Road Baltimore, Md. 21222

Owner Phone: 321-746-3692

Applicant Phone: 443-559-0174

Owner Email: germainarreaud10@gmail.com

Email: admin@powerfactorco.com

Work Involves:  Alterations  New Construction  Addition  Other Solar Panels  
 Demolition  Sign  Awning Estimated Cost \$4,556.00

**DESCRIPTION OF WORK PROPOSED** (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Install (5) panel rooftop modules solar system 2.025KW

**Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.**  Yes  No

**Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff?**  Yes  No

**If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.**

**See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION**

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: [www.ci.salisbury.md.us](http://www.ci.salisbury.md.us).

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on April 24th, 2024 (date).

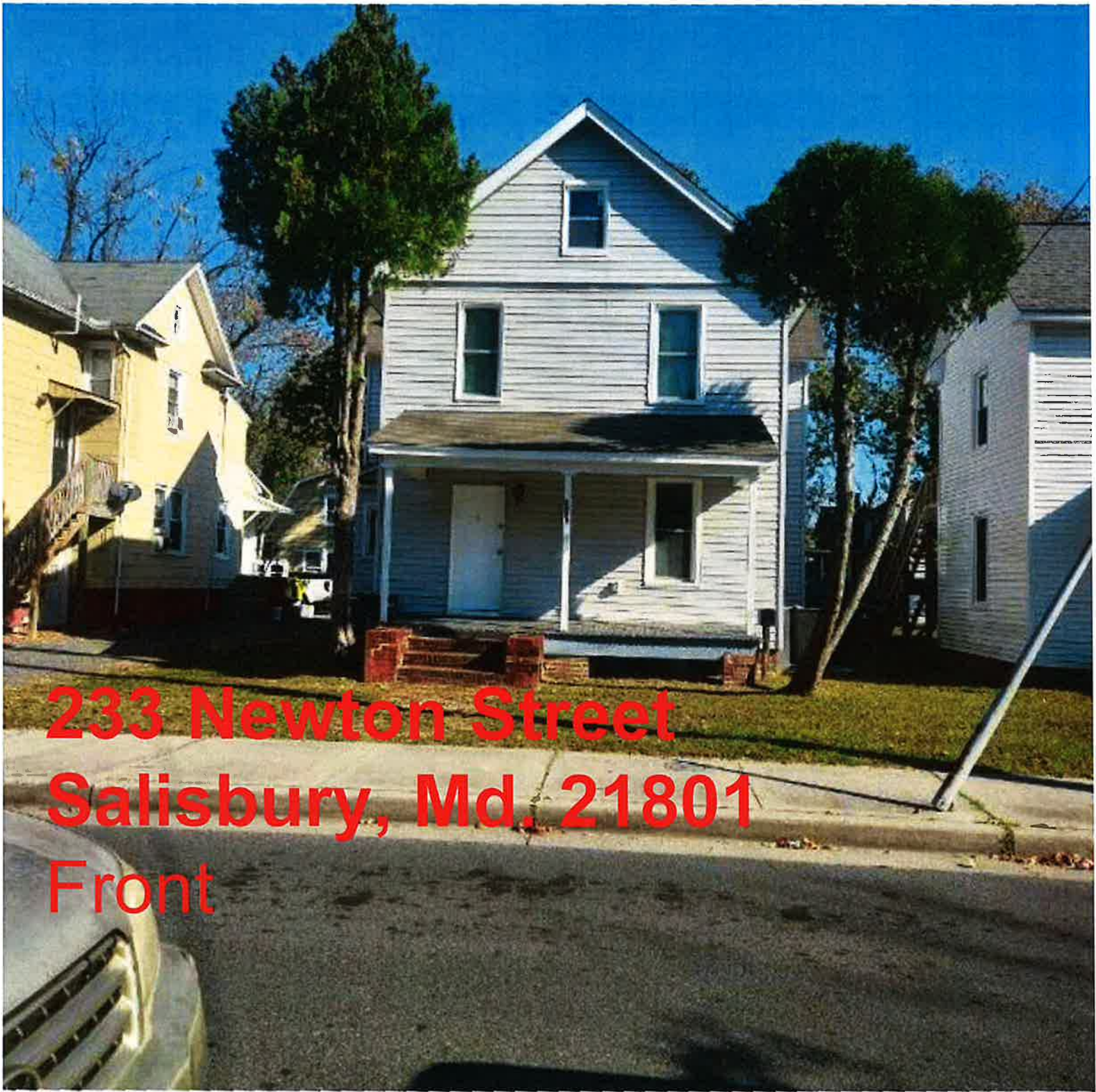
I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature [Signature]

Date 03/06/2024

Amanda Rodriguez  
Secretary, S.H.D.C. (Date)

Application Processor (Date)



**233 Newton Street  
Salisbury, Md. 21801  
Front**

A photograph of a residential street in Salisbury, Maryland. The scene is viewed from a sidewalk looking down a gravel driveway. On the left is a two-story yellow house with a dark roof and a satellite dish. On the right is a two-story white house with a porch and a black trash can with the number '233' on it. In the background, there are trees with some autumn-colored leaves and a white car parked. The sky is overcast.

**233 Newton Street Salisbury,  
Md. 21801 - Left Facing of  
Home**

A photograph of a residential street in Salisbury, Maryland. The image shows two white, two-story houses with gabled roofs and a chimney. A large tree stands in the yard between the houses. In the foreground, there is a concrete sidewalk, a utility pole, and a fallen pipe leaning against the house on the left. The ground is covered with fallen autumn leaves. The sky is overcast.

**233 Newton Street  
Salisbury, Md. 21801-  
Right Facing of Home**



**233 Newton Street Salisbury,  
Md. 21801- Rear Left facing of  
Home**



**233 Newton Street Salisbury,  
Md. 21801 - Rear Center Facing  
of Home**



**233 Newton Street Salisbury,  
Md. 21801- Rear Right Facing  
of Home, Image 1**



11/09/2023

**Powur PBC**

2683 Via De La Valle #321G, Del Mar, CA, 92014

**Subject:** Structural Certification for Installation of Residential Solar

**Job:** Arreaud Germain

**Project Address:** 233 Newton Street, Salisbury, MD, 21801

**Attn.:** To Whom It May Concern

Observation of the condition of the existing framing system was performed by an audit team of Powur PBC.

After review of the field observation data, structural capacity calculations were performed in accordance with applicable building codes to determine adequacy of the existing roof framing supporting the proposed panel layout. Please see full Structural Calculations report for details regarding calculations performed and limits of scope of work and liability. The design criteria and structural adequacy are summarized below:

**Design Criteria**

**Code:** IBC 2015, IRC 2015, ASCE 7-16

**Ult Wind Speed:** 119.0 mph

**Ground Snow:** 20.0 psf

**Min Snow Roof:** 0.0 psf

Current Renewables Engineering Inc.  
Professional Engineer  
info@currentrenewableseng.com



Signed on: 11/09/2023



**Summaries:**

**Check 1:** Shingle roofing supported by 2x6 Rafter @ 24 in. OC spacing. The roof is sloped at approximately 40 degrees and has a max beam span of 12.0 ft between supports. Roof is adequate to support the imposed loads. Therefore, no structural upgrades are required.

11/09/2023

**Powur PBC**

2683 Via De La Valle #321G, Del Mar, CA, 92014



**Attn.:** To Whom It May Concern

**Job:** Arreaud Germain

**Project Address:** 233 Newton Street, Salisbury, MD, 21801

The following calculations are for the structural engineering design of the photovoltaic panels and are valid only for the structural info referenced in the stamped plan set. I certify that the roof structure has sufficient structural capacity for the applied PV loads. All mounting equipment shall be designed and installed per manufacturer's approved installation specifications.

**Design Criteria**

**Code:** IBC 2015, IRC 2015, ASCE 7-16

**Live Load:** 20 psf

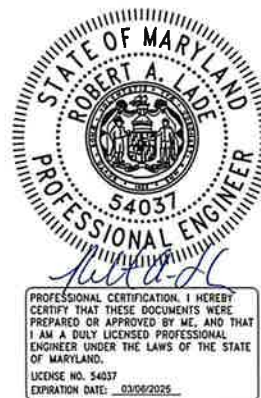
**Ult Wind Speed:** 119.0 mph

**Exposure Cat:** C

**Ground Snow:** 20.0 psf

**Min Snow Roof:** N/A

Current Renewables Engineering Inc.  
Professional Engineer  
info@currentrenewableseng.com



Signed on: 11/09/2023

**Roof Properties:**

	Check 1
Roof Type:	Shingle
Roof Pitch (deg):	40
Mean Roof Height (ft):	23.00
Attachment Trib Width (ft):	3.25
Attachment Spacing (ft):	4.00
Framing Type:	Rafter
Framing Size:	2x6
Framing OC Spacing (in):	24.00
Section Thickness, b (in):	1.50
Section Depth, d (in):	5.50
Section Modulus, S <sub>x</sub> (in <sup>3</sup> ):	7.562
Moment of Inertia, I <sub>x</sub> (in <sup>4</sup> ):	20.797
Unsupported Span (ft):	12.00
Upper Chord Length (ft):	12.00
Deflection Limit D+L (in):	2.400
Deflection Limit S or W (in):	1.600
Framing Upgrade:	No
Sister Size:	N/A
Wood Species:	SPF
Wood Fb (psi):	875.00
Wood Fv (psi):	135.00
Wood E (psi):	1,400,000.00
C <sub>D</sub> (Wind):	1.60
C <sub>D</sub> (Snow):	1.15
C <sub>LS</sub> :	1.00
C <sub>M</sub> = C <sub>t</sub> = C <sub>L</sub> = C <sub>i</sub> :	1.00
C <sub>F</sub> :	1.30
C <sub>fu</sub> :	1.00
C <sub>r</sub> :	1.15
F'b Wind (psi):	2,093.00
F'b Snow (psi):	1,504.34
F'v Wind (psi):	216.00
F'v Snow (psi):	155.25
Moment Allowable Wind (lb-ft):	1,319.03
Moment Allowable Snow (lb-ft):	948.05
V Allowable Wind (lbs):	1,188.00
V Allowable Snow (lbs):	853.88
E' (psi):	1,400,000

**Load Calculations:****Dead Load Calculations:**

	<u>Check 1</u>
Panel Dead Load (psf):	3.00
Roofing Weight (psf):	3.00
Decking Weight (psf):	2.00
Framing Weight (psf):	0.95
Misc. Additional Weight (psf):	1.00
Existing Dead Load (psf):	6.95
Total Dead Load (psf):	9.95

**Wind Load Calculations:**

	<u>Check 1</u>
Ultimate Wind Speed (mph):	119.00
Directionality Factor, kd:	0.85
Topographic Factor, kzt:	1.00
Velocity Press Exp Factor, kz:	0.93
Velocity Pressure, qz (psf):	28.60
External Pressure Up, GCp <sub>1</sub> :	-1.50
External Pressure Up, GCp <sub>2</sub> :	-1.77
External Pressure Up, GCp <sub>3</sub> :	-2.19
External Pressure Down, GCp:	0.78
Design Pressure Up, p <sub>1</sub> :	-29.58
Design Pressure Up, p <sub>2</sub> :	-34.90
Design Pressure Up, p <sub>3</sub> :	-43.19
Design Pressure Down, p (psf):	16.00

**Snow Load Calculations:**

	<u>Check 1</u>
Ground Snow Load, pg (psf):	20.00
Min Flat Snow, pf_min (psf):	0.00
Min Sloped Snow, ps_min (psf):	0.00
Snow Importance Factor, Ic:	1.00
Exposure Factor, Ce:	0.90
Thermal Factor, Ct:	1.10
Flat Roof Snow, pf (psf):	13.86
Slope Factor, Cs:	0.92
Sloped Roof Snow, ps (psf):	12.79

**Hardware Checks:**

**Attachment Check:**

	<u>Check 1</u>
<b>Attachment Type:</b>	Custom
<b>Allowable Up Force (lbs):</b>	495.00
<b>Allowable Down Force (lbs):</b>	495.00
<b>Allowable Side Force (lbs):</b>	190.00
<b>Applied Uplift Force (lbs):</b>	-217.51
<b>Uplift DCR:</b>	0.439
<b>Applied Down Force (lbs):</b>	222.58
<b>Down DCR:</b>	0.450
<b>Applied Lateral Force (lbs):</b>	131.98
<b>Lateral DCR:</b>	0.695

**Roof Framing Checks:****Force Checks****LC1: D+S****Check 1**

Applied Moment (lb-ft):	818.6
Applied Shear (lbs):	271.0
Allowable Moment (lb-ft):	948.0
Allowable Shear (lbs):	853.9
Moment DCR:	0.863
Shear DCR:	0.317

**LC2: D+0.6W****Check 1**

Applied Moment (lb-ft):	703.6
Applied Shear (lbs):	232.9
Allowable Moment (lb-ft):	1,319.0
Allowable Shear (lbs):	1,188.0
Moment DCR:	0.533
Shear DCR:	0.196

**LC3: D+0.75(S+0.6W)****Check 1**

Applied Moment (lb-ft):	962.7
Applied Shear (lbs):	318.7
Allowable Moment (lb-ft):	1,319.0
Allowable Shear (lbs):	1,188.0
Moment DCR:	0.730
Shear DCR:	0.268

**LC4: 0.6D+0.6W****Check 1**

Applied Moment (lb-ft):	560.4
Applied Shear (lbs):	185.5
Allowable Moment (lb-ft):	1,319.0
Allowable Shear (lbs):	1,188.0
Moment DCR:	0.425
Shear DCR:	0.156

**Deflection Checks (Service Level):****LC1: D+L**

	<u>Check 1</u>
Deflection (in.):	1.004
Deflection Limit (in.):	2.400
Deflection DCR:	0.418

**LC2: S**

	<u>Check 1</u>
Deflection (in.):	0.410
Deflection Limit (in.):	1.600
Deflection DCR:	0.256

**LC3: W (Down)**

	<u>Check 1</u>
Deflection (in.):	0.215
Deflection Limit (in.):	1.600
Deflection DCR:	0.135

**LC4: W (Up)**

	<u>Check 1</u>
Deflection (in.):	0.398
Deflection Limit (in.):	1.600
Deflection DCR:	0.249

**Seismic Check:**

**Existing Weight:**

Wall Weight (psf):	17.00
Tributary Wall Area (ft <sup>2</sup> ):	1,860.00
Total Wall Weight (lbs):	31,620.00
Roof Weight (psf):	6.95
Roof Area (ft <sup>2</sup> ):	961.00
Total Roof Weight (lbs):	6,674.45
Total Existing Weight (lbs):	38,294.45

**Additional PV Weight:**

PV Panel Weight (lbs):	64.35
Number of Panels:	10
Total Additional PV Weight (lbs):	<b>643.50</b>

**Weight Increase:**

**$(\text{Existing W} + \text{Additional W}) \div (\text{Existing W}) = 101.68\%$**

The increase in weight as a result of the solar system is less than 10% of the existing structure. Therefore, no further seismic analysis is required.



**Limits of Scope of Work and Liability:**

Existing structure is assumed to have been designed and constructed following appropriate codes at time of erection, and assumed to have appropriate permits. The calculations produced are only for the roof framing supporting the proposed PV installation referenced in the stamped planset and were completed according to generally recognized structural analysis standards and procedures, professional engineering and design experience, opinions and judgements. Existing deficiencies which are unknown or were not observable during time of inspection are not included in this scope of work. All PV modules, racking, and mounting equipment shall be designed and installed per manufacturer's approved installation specifications. The Engineer of Record and the engineering consulting firm assume no responsibility for misuse or improper installation. This analysis is not stamped for water leakage. Framing was determined based on information in provided plans and/or photos, along with engineering judgement. Prior to commencement of work, the contractor shall verify the framing sizes, spacings, and spans noted in the stamped plans, calculations, and cert letter (where applicable) and notify the Engineer of Record of any discrepancies prior to starting construction. Contractor shall also verify that there is no damaged framing that was not addressed in stamped plans, calculations, and cert letter (where applicable) and notify the Engineer of Record of any concerns prior to starting construction.

# PHOTOVOLTAIC ROOF MOUNT SYSTEM

5 MODULES-ROOF MOUNTED - 2.025 kWDC, 1.745 kWAC

233 NEWTON ST, SALISBURY, MD 21801, USA

## SYSTEM SUMMARY:

- (N) 5 - REC SOLAR REC405AA PURE (405W) MODULES
- (N) 5 - ENPHASE ENERGY IQ8A-72-2-US MICRO-INVERTERS
- (N) JUNCTION BOX
- (E) 200A MAIN SERVICE PANEL WITH (E) 200A MAIN BREAKER
- (N) 30A NON FUSED AC DISCONNECT
- (N) ENPHASE IQ COMBINER 4
- X2-IQ-AM1-240-4 (IEEE 1547:2018)

**INTERCONNECTION METHOD : BACKFEED BREAKER**

## DESIGN CRITERIA:

- ROOF TYPE: - COMP SHINGLE
- NUMBER OF LAYERS: - 01
- ROOF FRAME: - 2" X 6" RAFTERS @ 24" O.C.
- STORY: - TWO STORY
- SNOW LOAD : - 20 PSF
- WIND SPEED :- 118 MPH
- WIND EXPOSURE:- C
- RISK CATEGORY:- II
- COORDINATE:- 38.360494, -75.602275



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 54037  
 EXPIRATION DATE: 3/6/2025

STAMPED 03/06/2024

**NOTE:** INSTALLER TO DETERMINE OPTIMAL CONDUIT RUN ON SITE. ATTIC RUN IS OPTIONAL UNLESS REQUIRED BELOW.

ATTIC RUN: OPTIONAL

## GOVERNING CODES:

- 2014 NATIONAL ELECTRICAL CODE (NEC)
- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL ENERGY CONSERVATION (IEC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)

## SHEET INDEX

- PV-0 COVER SHEET
- PV-1 SITE PLAN WITH ROOF PLAN
- PV-2 ROOF PLAN WITH MODULES
- PV-3 ATTACHMENT DETAILS
- PV-4 ELECTRICAL LINE DIAGRAM WITH CALCULATION
- PV-5 WARNING LABELS & PLACARD
- PV-6+ EQUIPMENT SPEC SHEETS

## GENERAL NOTES

- THE CONTRACTOR/INSTALLER OF THE SOLAR PV SYSTEM OVER EXISTING ROOF SHALL CONFORM TO OSHA REQUIREMENTS DURING THE CONSTRUCTION PHASE. JOB SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/INSTALLER.
- REFER TO ELECTRICAL DRAWING PV-5 FOR PANEL DETAILED INFORMATION.
- IN CASE OF CONFLICT BETWEEN STRUCTURAL DRAWINGS AND ELECTRICAL DRAWINGS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
- THE CONTRACTOR/INSTALLER SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ROOF TOP PROJECTIONS, ETC.) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATIONS OF PV SYSTEM.
- THE CONTRACTOR/INSTALLER SHALL VERIFY AND COORDINATE EXISTING OPENINGS, ROOF TOP UNITS, VENT PIPES, ETC. SHOWN ON DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, IT IS THE CONTRACTORS/INSTALLER'S RESPONSIBILITY TO NOTIFY ENGINEER PRIOR TO PERFORMING THE WORK.
- ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWN, COUNTY & STATE REGULATIONS AND/OR ANY OTHER GOVERNING BODIES.
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS. CONTRACTOR MUST CONDUCT ROOF SURVEY TO VERIFY DIMENSIONS SHOWN ON PLAN PRIOR TO INSTALLATION. IF THERE IS A DISCREPANCY IT IS CONTRACTOR/INSTALLER'S RESPONSIBILITY TO NOTIFY THE ENGINEER IMMEDIATELY.
- LOCATED IN AREAS NOT REQUIRING PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS DOORS OR WINDOWS.
- LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES, OR SIGNS.
- DISCONNECT MEANS MUST HAVE DEDICATED CLEAR UNOBSTRUCTED WORKING SPACE NOT LESS THAN 3' DEEP BY 2.5' WIDE TO NOT LESS THAN 6.5' ABOVE WALKABLE SURFACES IN FRONT OF DISTRIBUTION PANEL.
- ALL SOLAR MODULES, EQUIPMENT, AND METALLIC COMPONENTS TO BE BONDED.
- PV ARRAY NOT TO EXCEED HIGHEST POINT OF THE ROOF.
- RAPID SHUTDOWN IS ACTIVATED AT THE INVERTER BY THE DC DISCONNECT.

## ELECTRICAL NOTES

- 1.) ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
- 2.) ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- 3.) WIRING, CONDUIT, AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO, AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.
- 4.) WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
- 5.) DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
- 6.) WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- 7.) ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- 8.) MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION.
- 9.) MODULE SUPPORT RAIL TO BE BONDED TO CONTINUOUS COPPER E.G.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
- 10.) THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE



1 AERIAL PHOTO

PV-0 SCALE: NTS



2 VICINITY MAP

PV-0 SCALE: NTS



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
CHAT.POWUR.COM

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
**ARREAUD GERMAIN**  
**233 NEWTON ST,**  
**SALISBURY, MD 21801, USA**  
**APN# 2313042519**  
**UTILITY: DELMARVA POWER**  
**AHJ: CITY OF SALISBURY**

SHEET NAME  
**COVER SHEET**

SHEET SIZE  
**ANSI B**  
**11" X 17"**

SHEET NUMBER  
**PV-0**

● **ROOF ACCESS POINT** SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES OR SIGNS.

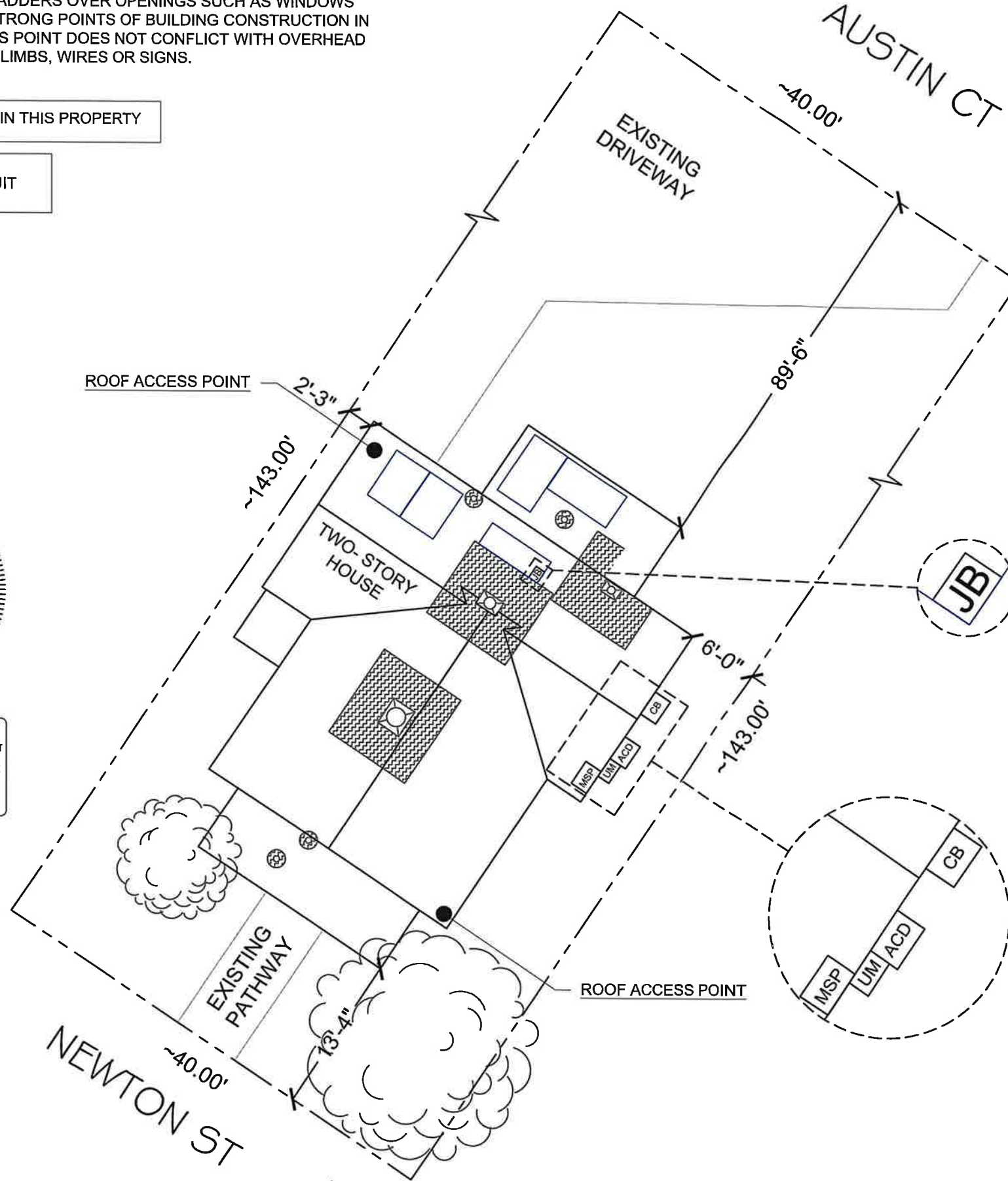
THERE IS NO FENCE OR GATE IN THIS PROPERTY

NOTE:  
3/4" OR GREATER EMT CONDUIT  
RUN (1/2" ABOVE ROOF)



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 54037  
EXPIRATION DATE: 3/6/2025

STAMPED 03/06/2024



NOTE:  
A ALL ELECTRICAL EQUIPMENT, INVERTERS/COMBINER, DISCONNECTS, MAIN SERVICE PANELS, ETC. SHALL NOT BE INSTALLED WITHIN 3' OF THE GAS METERS' SUPPLY OR DEMAND PIPING.

**STRUCTURAL NOTES :**  
1. THESE PLANS ARE STAMPED FOR STRUCTURAL CODE COMPLIANCE OF THE ROOF FRAMING SUPPORTING THE PROPOSED PV INSTALLATION ONLY.  
2. THESE PLANS ARE NOT STAMPED FOR WATER LEAKAGE.  
3. PV MODULES, RACKING, AND ATTACHMENT COMPONENTS MUST FOLLOW MANUFACTURER GUIDELINES AND REQUIREMENTS.  
4. PLEASE SEE THE ACCOMPANYING STRUCTURAL CALCULATIONS REPORT FOR ADDITIONAL INFORMATION.  
5. PRIOR TO COMMENCEMENT OF WORK, THE SOLAR INSTALLER SHALL VERIFY THE ROOF FRAMING INFO BEFORE INSTALLATION AND NOTIFY THE E.O.R. IF THERE IS ANY INCONSISTENCY BETWEEN SITE VERIFICATION AND FOLLOWING:  
**ROOF 1: 2x6 RAFTERS @ 24" OC SPACING WITH MAX UNSUPPORTED SPAN EQUAL OR LESS THAN 6 FT.**  
**ROOF 2: 2x6 RAFTERS @ 24" OC SPACING WITH MAX UNSUPPORTED SPAN EQUAL OR LESS THAN 6 FT.**

LEGEND	
UM	UTILITY METER
MSP	MAIN SERVICE PANEL
ACD	AC DISCONNECT
CB	ENPHASE IQ COMBINER 4 X2-IQ-AM1-240-4 (IEEE 1547:2018)
JB	JUNCTION BOX
○	VENT, ATTIC FAN (ROOF OBSTRUCTION)
⊗	CHIMNEY TYP.
⊙	6" OBSTRUCTION CLEARANCE
---	PROPERTY LINE
🌳	TREES



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
CHAT.POWUR.COM

VERSION		
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INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
**ARREAUD GERMAIN**  
**233 NEWTON ST,**  
**SALISBURY, MD 21801, USA**  
**APN# 2313042519**  
**UTILITY: DELMARVA POWER**  
**AHJ: CITY OF SALISBURY**

SHEET NAME  
**SITE PLAN WITH ROOF PLAN**

SHEET SIZE  
**ANSI B**  
**11" X 17"**

SHEET NUMBER  
**PV-1**

**1** **SITE PLAN WITH ROOF PLAN**  
SCALE: 3/32" = 1'-0"



**MODULE TYPE, DIMENSIONS & WEIGHT**

NUMBER OF MODULES = 5 MODULES  
 MODULE TYPE = REC SOLAR REC405AA PURE (405W) MODULES  
 MODULE WEIGHT = 45.19 LBS / 20.5 KG.  
 MODULE DIMENSIONS = 71.7" X 40.0" = 19.92 SF  
 UNIT WEIGHT OF ARRAY = 2.27 PSF

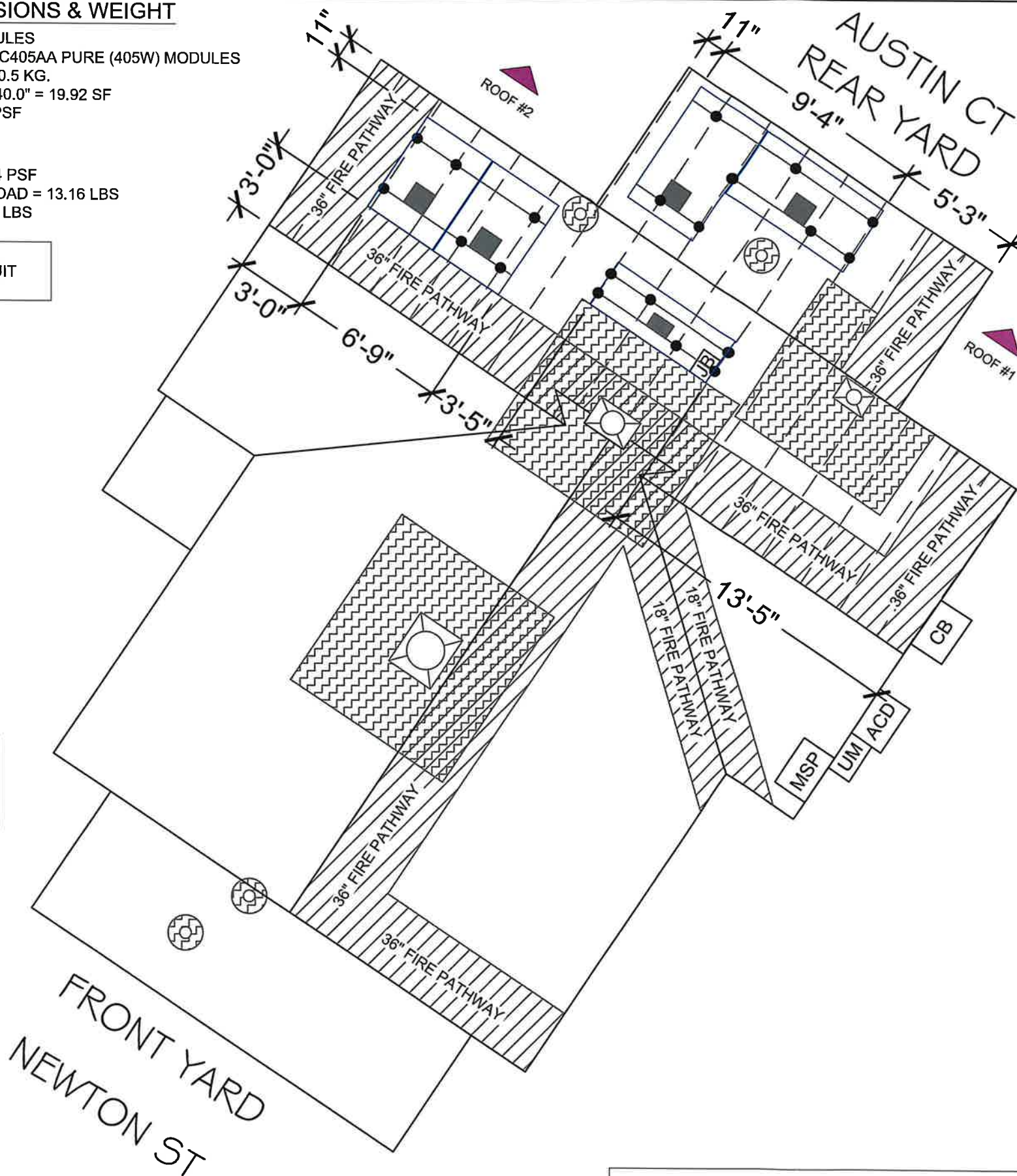
DISTRIBUTED DEAD LOAD = 2.64 PSF  
 AVERAGE ROOF POINT DEAD LOAD = 13.16 LBS  
 TOTAL SYSTEM WEIGHT: 263.14 LBS

NOTE:  
 3/4" OR GREATER EMT CONDUIT  
 RUN (1/2" ABOVE ROOF)



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 LICENSE NO. 54037  
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NOTE: ACTUAL ROOF CONDITIONS AND RAFTERS (OR SEAM) LOCATIONS MAY VARY. INSTALL PER MANUFACTURER(S) INSTALLATION GUIDELINES AND ENGINEERED SPANS FOR ATTACHMENTS

- PLUMBING VENTS, SKYLIGHTS AND MECHANICAL VENTS SHALL NOT BE COVERED, MOVED, RE-ROUTED OR RE-LOCATED.

ROOF DESCRIPTION				
ROOF TYPE			COMP SHINGLE ROOF	
ROOF	ROOF TILT	AZIMUTH	RAFTERS SIZE	RAFTERS SPACING
#1	30°	34°	2" X 6"	24" O.C.
#2	45°	34°	2" X 6"	24" O.C.

ARRAY AREA & ROOF AREA CALC'S				
ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	02	39.83	110	36.21
#2	03	59.75	388	15.40

BILL OF MATERIALS		
EQUIPMENT	QTY	DESCRIPTION
RAIL	04	UNIRAC SM LIGHT RAIL 168" MILL
MID CLAMP	04	UNIVERSAL AF SERIES MID CLAMP
END CLAMP	13	UNIVERSAL AF SERIES END CLAMP
ATTACHMENT	20	UNIRAC FLASHLOC DUO
GROUNDING LUG	03	GROUND LUG
MICROINVERTER MOUNTING	05	MICRO MNT BND T-BOLT 1/4IN X 3/4IN SS

ARRAY AREA & ROOF AREA CALC'S		
AREA OF NEW ARRAY (Sq. Ft.)	AREA OF ROOF (PLAN VIEW) (Sq. Ft.)	TOTAL ROOF ARE COVERED BY ARRAY %
99.58	1597.4	6.23

LEGEND	
UM	UTILITY METER
MSP	MAIN SERVICE PANEL
ACD	AC DISCONNECT
CB	ENPHASE IQ COMBINER 4 X2-IQ-AM1-240-4 (IEEE 1547:2018)
JB	JUNCTION BOX
■	ENPHASE ENERGY IQ8A-72-2-US MICRO-INVERTERS
—	UNIRAC SM LIGHT RAIL
●	ROOF ATTACHMENT UNIRAC FLASHLOC DUO @ 48" O.C.
○ □	VENT, ATTIC FAN (ROOF OBSTRUCTION)
⊗	6" OBSTRUCTION CLEARANCE
⊠	CHIMNEY TYP.
—	RAFTERS
▨	FIRE PATHWAY



DEL MAR, CA 92014, USA

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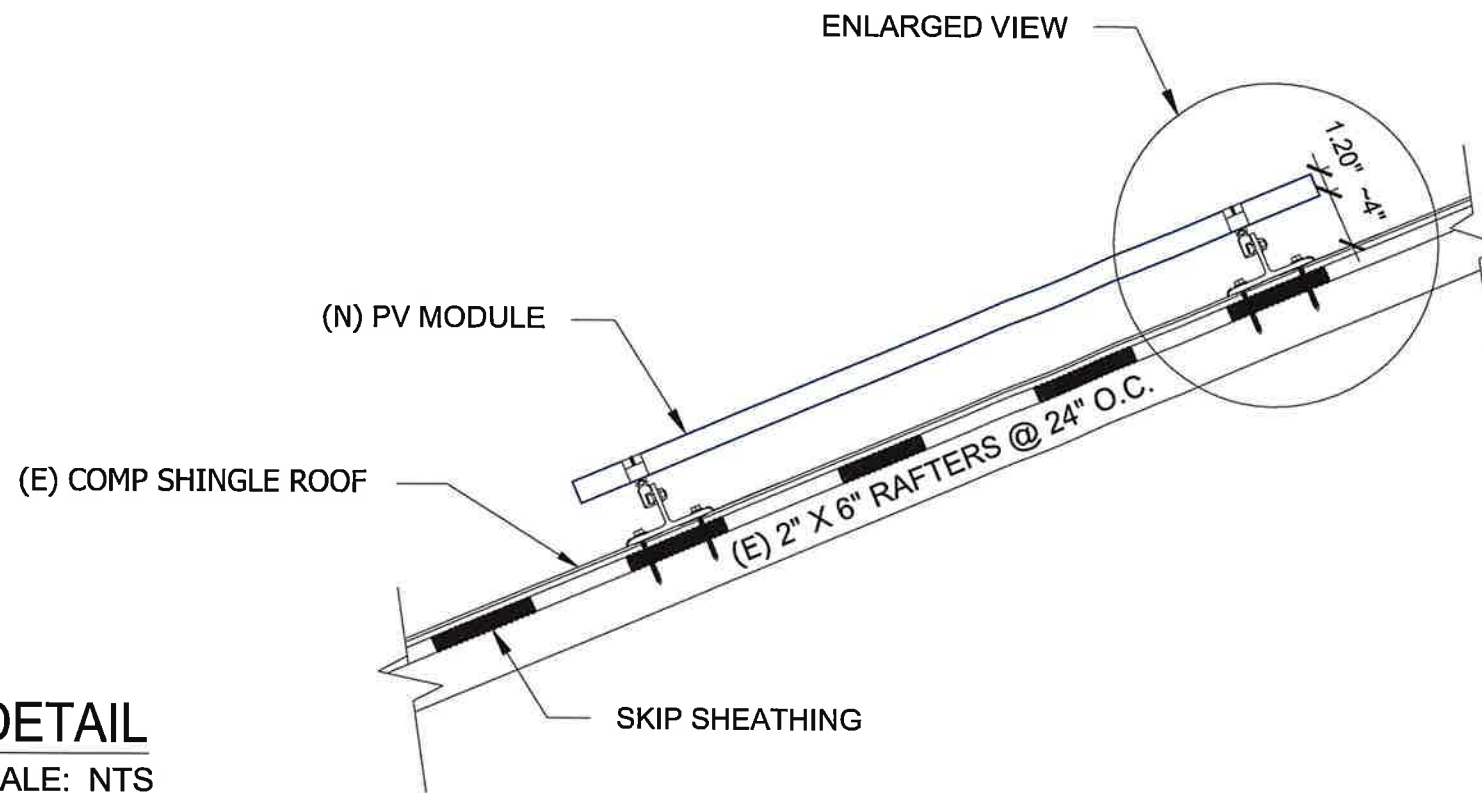
SHEET NAME  
 ROOF PLAN WITH MODULES

SHEET SIZE  
 ANSI B  
 11" X 17"

SHEET NUMBER  
 PV-2

**1 ROOF PLAN WITH MODULES**  
 SCALE: 3/16" = 1'-0"



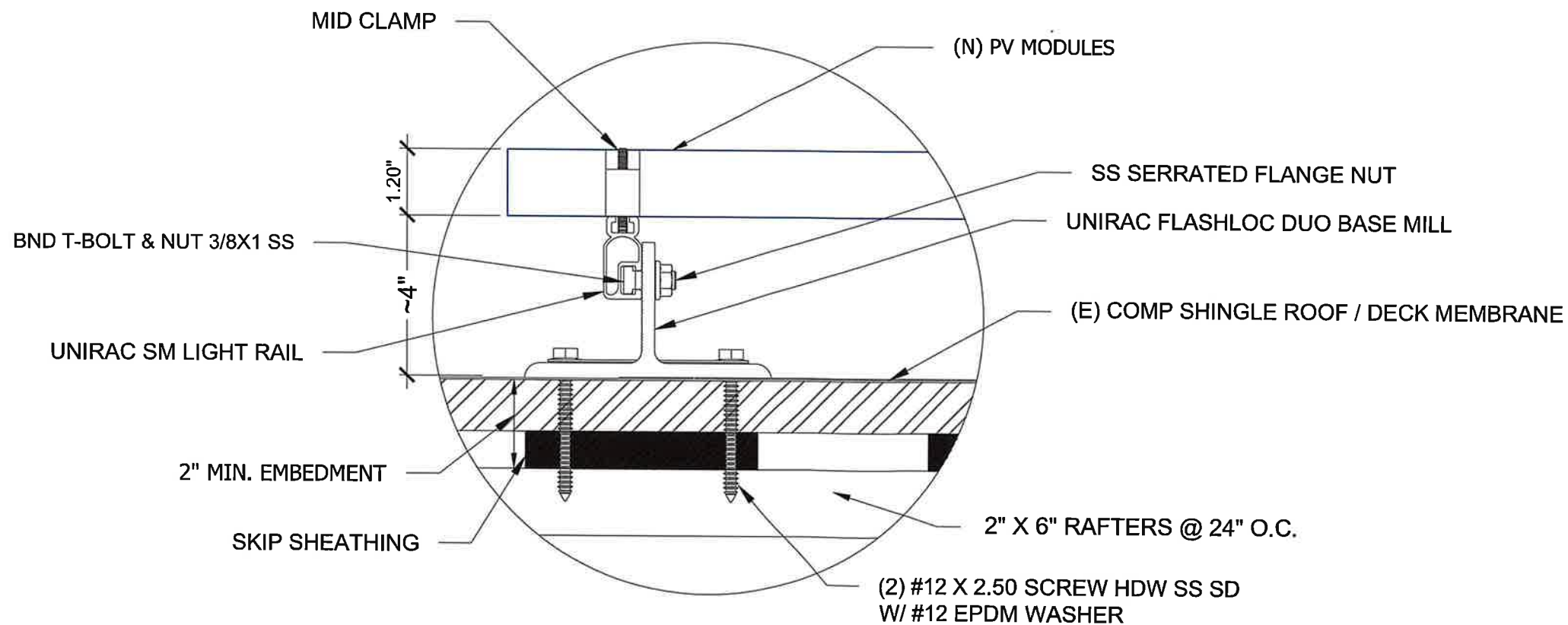


PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 54037  
 EXPIRATION DATE: 3/6/2025

STAMPED 03/06/2024

**NOTE:** ACTUAL ROOF CONDITIONS AND RAFTERS (OR SEAM) LOCATIONS MAY VARY. INSTALL PER MANUFACTURER(S) INSTALLATION GUIDELINES AND ENGINEERED SPANS FOR ATTACHMENTS

**1** ATTACHMENT DETAIL  
 SCALE: NTS



**2** ATTACHMENT DETAIL (ENLARGED VIEW)  
 SCALE: NTS



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
 CHAT.POWUR.COM

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
**ARREAUD GERMAIN**  
**233 NEWTON ST,**  
**SALISBURY, MD 21801, USA**  
**APN# 2313042519**  
**UTILITY: DELMARVA POWER**  
**AHJ: CITY OF SALISBURY**

SHEET NAME  
**ATTACHMENT  
 DETAIL**

SHEET SIZE  
**ANSI B  
 11" X 17"**

SHEET NUMBER  
**PV-3**

SERVICE INFO.	
UTILITY PROVIDER:	DELMARVA POWER
MAIN SERVICE VOLTAGE:	240V
MAIN PANEL BRAND:	SQUARE-D
MAIN SERVICE PANEL:	(E) 200A
MAIN CIRCUIT BREAKER RATING:	(E) 200A
MAIN SERVICE LOCATION:	SOUTH-EAST
SERVICE FEED SOURCE:	OVERHEAD

SYSTEM SIZE:- 5 x 405W = 2.025 kWDC  
5 x 349VA = 1.745 kWAC

AMBIENT TEMPERATURE SPECIFICATIONS				
RECORD LOW TEMP	AMBIENT TEMP (HIGH TEMP 2%)	ROOF TOP TEMP	CONDUCTOR TEMPERATURE RATE (ON ROOF)	CONDUCTOR TEMPERATURE RATE (OFF ROOF)
-14°	33°	33°+22° = 55°	90°	75°

NOTE: PV BREAKER CALCULATION: (5 X 1.45 X 1.25 = 9.06) ~20A

NOTE:  
3/4" OR GREATER EMT CONDUIT RUN (1/2" ABOVE ROOF)

SOLAR MODULE SPECIFICATIONS						
MANUFACTURER / MODEL #	VMP (V)	IMP (A)	VOC (V)	ISC (A)	TEMPERATURE COEFFICIENT OF Voc	# OF MODULES
REC SOLAR REC405AA PURE (405W)	41.8	9.69	49.1	10.41	-0.24%/°C	5
MODULE DIMENSION	71.7" L x 40.0" W x 1.20"D					

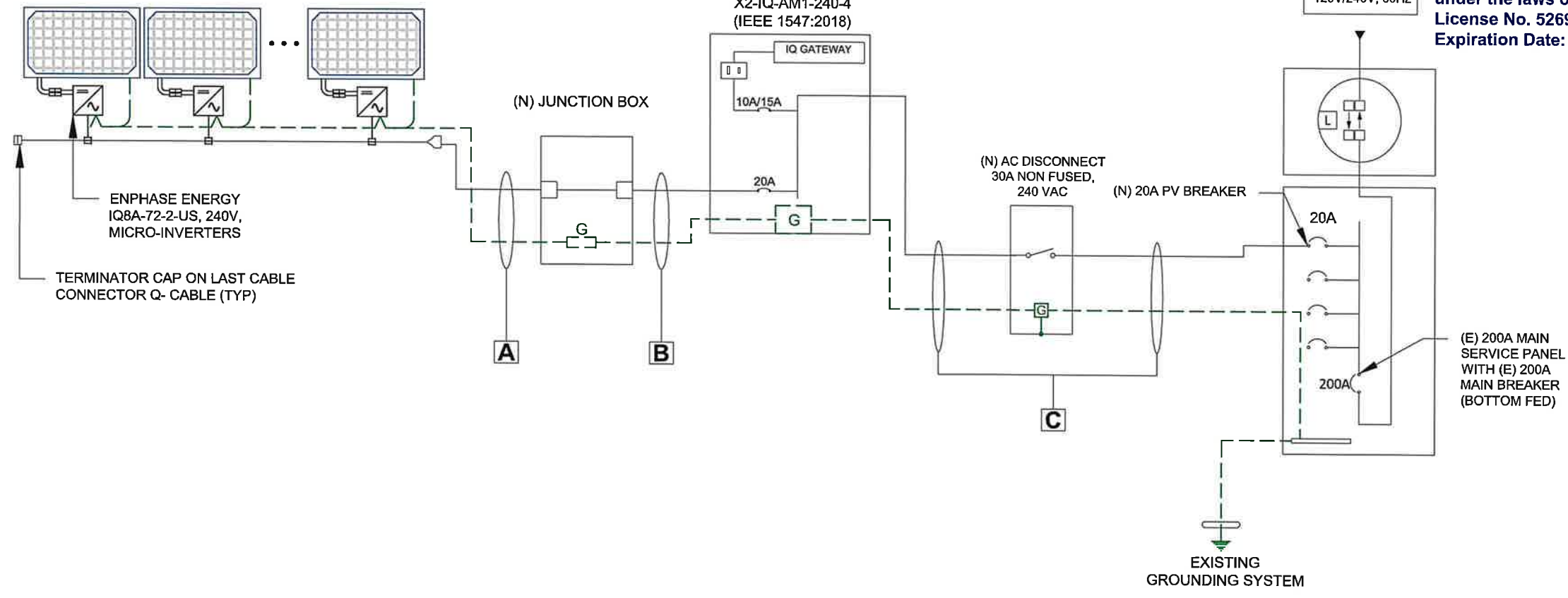
INVERTER SPECIFICATIONS			
MANUFACTURER / MODEL#	QTY	NOMINAL OUTPUT VOLTAGE	NOMINAL OUTPUT CURRENT
ENPHASE ENERGY IQ8A-72-2-US	5	240 VAC	1.45A

NOTE: THE AC DISCONNECT IS LOCATED WITHIN 10FT OF UTILITY METER

INTERCONNECTION  
120% RULE - NEC 705.12(D)(2)(3)(b)  
UTILITY FEED + SOLAR CURRENT  
200A + 9.06A = 209.06A  
BUS RATING x 120%  
200A x 120% = 240A

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland: License No. 52692 Expiration Date: 05/24/2024

5 MICRO-INVERTERS IN BRANCH CIRCUIT #1



WIRE TAG	CONDUIT	WIRE QTY	WIRE GAUGE	WIRE TYPE	TEMP. RATING	WIRE AMPACITY (A)	TEMP. DERATE	CONDUIT FILL DERATE	DERATED AMPACITY (A)	INVERTER QTY.	DESIGN CURRENT (A)	GROUND SIZE	GROUND WIRE TYPE
A	OPEN AIR	1	12 AWG	Q-CABLES	90°C	30	0.96	N/A	28.80	5	7.25	06 AWG	BARE CU GND
B	3/4" EMT	2	10 AWG	THWN-2	90°C	40	0.76	1.0	30.40	5	7.25	10 AWG	THWN-2
C	3/4" EMT	3	10 AWG	THWN-2	75°C	35	0.94	1.0	32.90	5	7.25	10 AWG	THWN-2

**1 ELECTRICAL LINE DIAGRAM WITH CALCULATION**  
SCALE: NTS



DESIGN SUPPORT DAY OF INSTALL: CHAT.POWUR.COM

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
ARREAUD GERMAIN  
233 NEWTON ST,  
SALISBURY, MD 21801, USA  
APN# 2313042519  
UTILITY: DELMARVA POWER  
AHJ: CITY OF SALISBURY

SHEET NAME  
ELECTRICAL LINE  
DIAGRAM WITH  
CALCULATION

SHEET SIZE  
ANSI B  
11" X 17"

SHEET NUMBER  
PV-4

**⚠ WARNING**  
**ELECTRIC SHOCK HAZARD**  
 DO NOT TOUCH TERMINALS  
 TERMINALS ON BOTH LINE AND  
 LOAD SIDES MAY BE ENERGIZED  
 IN THE OPEN POSITION

LABEL LOCATION:  
 AC DISCONNECT, POINT OF INTERCONNECTION  
 PER CODE: NEC 690.17(E)

**WARNING: PHOTOVOLTAIC  
 POWER SOURCE**

LABEL LOCATION:  
 CONDUIT, COMBINER BOX  
 (PER CODE: NEC 690.31(G)(3)(4))

**⚠ WARNING DUAL POWER SOURCE  
 SECOND SOURCE IS PHOTOVOLTAIC SYSTEM**

LABEL LOCATION:  
 POINT OF INTERCONNECTION  
 (PER CODE: NEC 705.12(D)(3) & NEC 690.64)

- ADHESIVE FASTENED SIGNS:
- THE LABEL SHALL BE SUITABLE FOR THE ENVIRONMENT WHERE IT IS INSTALLED. (NEC 110.21(B)(3))
  - WHERE REQUIRED ELSEWHERE IN THIS CODE, ALL FIELD APPLIED LABELS, WARNINGS, AND MARKINGS SHOULD COMPLY WITH ANSI Z535.4 [NEC 110.21(B) FIELD MARKING].
  - ADHESIVE FASTENED SIGNS MAY BE ACCEPTABLE IF PROPERLY ADHERED. VINYL SIGNS SHALL BE WEATHER RESISTANT [IFC 605.11.1.3]

**PHOTOVOLTAIC SYSTEM AC DISCONNECT**  
 RATED AC OPERATING CURRENT 7.25 AMPS  
 AC NOMINAL OPERATING VOLTAGE 240 VOLTS

LABEL LOCATION:  
 AC DISCONNECT, POINT OF INTERCONNECTION  
 (PER CODE: NEC690.54 & NEC690.13(B))

**WARNING**  
 INVERTER OUTPUT CONNECTION DO NOT  
 RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:  
 POINT OF INTERCONNECTION  
 (PER CODE: NEC 705.12 (D)(2)(3b))  
 [NOT REQUIRED IF PANELBOARD IS RATED NOT LESS THAN SUM  
 OF AMPERE RATINGS OF ALL OVERCURRENT DEVICES  
 SUPPLYING IT]

**SOLAR DISCONNECT**

LABEL LOCATION:  
 DISCONNECT, POINT OF INTERCONNECTION  
 (PER CODE: NEC690.13(B))

**PHOTOVOLTAIC SYSTEM  
 EQUIPPED WITH  
 RAPID SHUTDOWN**

LABEL LOCATION:  
 UTILITY SERVICE ENTRANCE/METER, INVERTER/DC  
 DISCONNECT IF REQUIRED BY LOCAL AHJ, OR OTHER  
 LOCATIONS AS REQUIRED BY LOCAL AHJ.  
 PER CODE(S): NEC 2014: 690.56(C), IFC 2012: 605.11.1

**MAIN PHOTOVOLTAIC  
 SYSTEM DISCONNECT**

LABEL LOCATION:  
 MAIN SERVICE DISCONNECT / UTILITY METER  
 (PER CODE: NEC 690.13(B))

**PHOTOVOLTAIC  
 AC DISCONNECT**

LABEL LOCATION:  
 AC DISCONNECT  
 (PER CODE: NEC 690.15,  
 NEC 690.13(B))

**Professional Certification: I hereby  
 certify that these documents were  
 prepared or approved by me, and that I  
 am a duly licensed professional engineer  
 under the laws of the State of Maryland:  
 License No. 52692  
 Expiration Date: 05/24/2024**



DESIGN SUPPORT DAY OF INSTALL:  
 CHAT.POWUR.COM

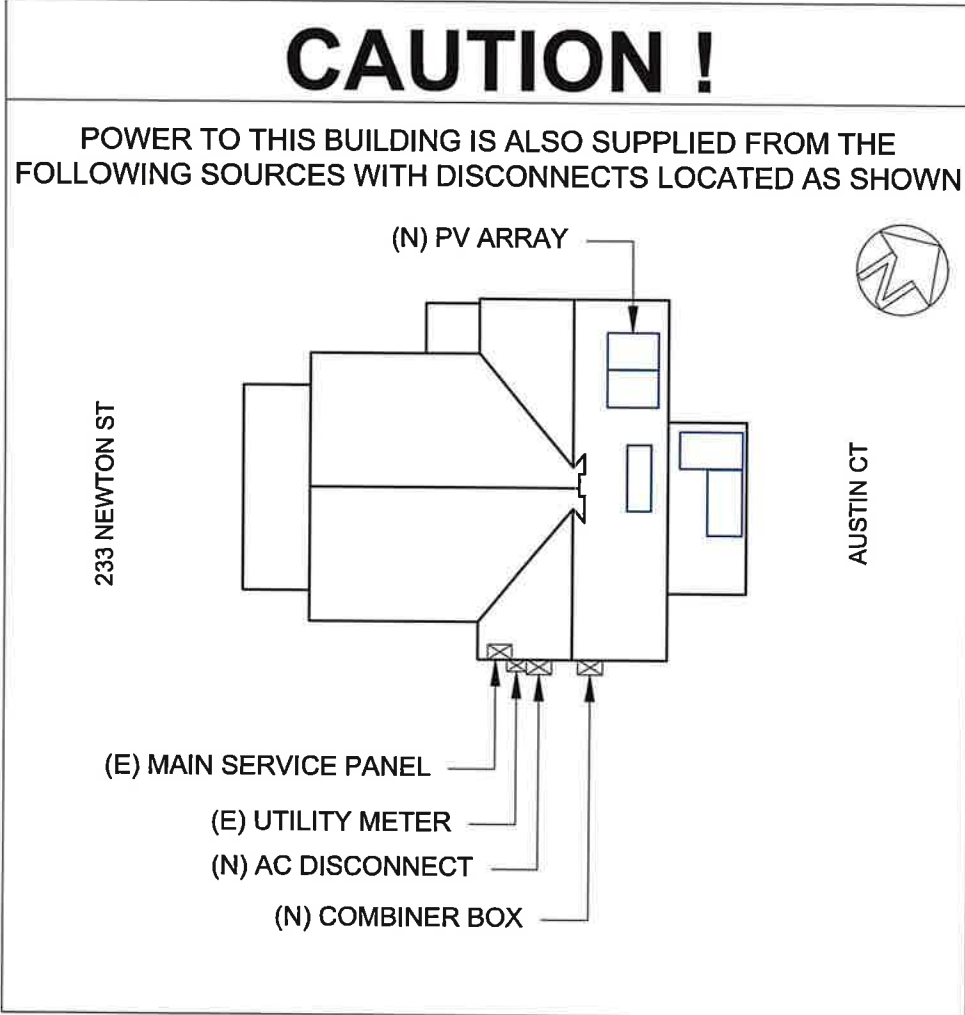
VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
**ARREAUD GERMAIN  
 233 NEWTON ST,  
 SALISBURY, MD 21801, USA  
 APN# 2313042519  
 UTILITY: DELMARVA POWER  
 AHJ: CITY OF SALISBURY**

SHEET NAME  
**WARNING LABELS &  
 PLACARD**

SHEET SIZE  
**ANSI B  
 11" X 17"**

SHEET NUMBER  
**PV-5**



SOLAR'S MOST TRUSTED



# REC ALPHA PURE SERIES

## PRODUCT SPECIFICATIONS



# REC ALPHA<sup>®</sup>

## PURE SERIES

### PRODUCT SPECIFICATIONS

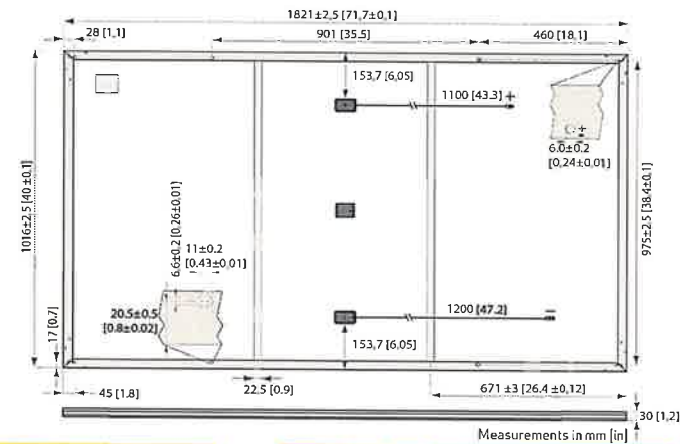
COMPACT PANEL SIZE

410 WP  
20.6 W/FT<sup>2</sup>  
22.2% EFFICIENCY



### GENERAL DATA

**Cell type:** 132 half-cut REC heterojunction bifacial cells with lead-free, gapless technology, 6 strings of 22 cells in series  
**Glass:** 0.13in (3.2mm) solar glass with anti-reflective surface treatment in accordance with EN 12150  
**Backsheet:** Highly resistant polymer (black)  
**Frame:** Anodized aluminum (black)  
**Junction box:** 3-part, 3 bypass diodes, lead-free IP68 rated, in accordance with IEC 62790  
**Connectors:** Stäubli MC4 PV-KBT4/KST4 (4 mm<sup>2</sup>) in accordance with IEC 62852, IP68 only when connected  
**Cable:** 12 AWG (4 mm<sup>2</sup>) PV wire, 43+ 47 in (1.1+ 1.2 m) in accordance with EN 50618  
**Dimensions:** 71.7 x 40 x 1.2 in (1.91 ft<sup>2</sup>) / 1821 x 1016 x 30 mm (1.85 m<sup>2</sup>)  
**Weight:** 45 lbs (20.5 kg)  
**Origin:** Made in Singapore



### ELECTRICAL DATA

	Product Code*: RECxxxAA Pure				
Power Output - P <sub>MAX</sub> (Wp)	390	395	400	405	410
Watt Class Sorting - (W)	0/+5	0/+5	0/+5	0/+5	0/+5
Nominal Power Voltage - V <sub>MPP</sub> (V)	40.6	41.0	41.4	41.8	42.2
Nominal Power Current - I <sub>MPP</sub> (A)	9.61	9.64	9.67	9.69	9.72
Open Circuit Voltage - V <sub>OC</sub> (V)	48.4	48.6	48.8	49.1	49.4
Short Circuit Current - I <sub>SC</sub> (A)	10.38	10.39	10.40	10.41	10.42
Power Density (W/ft <sup>2</sup> )	19.6	19.8	20.1	20.3	20.6
Panel Efficiency (%)	21.1	21.4	21.6	21.9	22.2
Power Output - P <sub>MAX</sub> (Wp)	297	301	305	308	312
Nominal Power Voltage - V <sub>MPP</sub> (V)	38.3	38.6	39.0	39.4	39.8
Nominal Power Current - I <sub>MPP</sub> (A)	7.77	7.79	7.82	7.83	7.85
Open Circuit Voltage - V <sub>OC</sub> (V)	45.6	45.8	46.0	46.3	46.6
Short Circuit Current - I <sub>SC</sub> (A)	8.38	8.39	8.40	8.41	8.42

\*Values at standard test conditions (STC: air mass AM1.5, irradiance 1000 W/m<sup>2</sup>, temperature 77°F (25°C), based on a production spread with a tolerance of P<sub>MAX</sub>, V<sub>OC</sub> & I<sub>SC</sub> ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM1.5, irradiance 800 W/m<sup>2</sup>, temperature 68°F (20°C), windspeed 3.3 ft/s (1 m/s). \*Where xxx indicates the nominal power class (P<sub>MAX</sub>) at STC above.

### MAXIMUM RATINGS

Operational temperature:	-40...+85°C
Maximum system voltage:	1000 V
Maximum test load (front):	+7000 Pa (146 lbs/ft <sup>2</sup> )
Maximum test load (rear):	-4000 Pa (83.5 lbs/ft <sup>2</sup> )
Max series fuse rating:	25 A
Max reverse current:	25 A

\*See installation manual for mounting instructions. Design load = Test load / 1.5 (safety factor)

### WARRANTY

	Standard	REC ProTrust
Installed by an REC Certified Solar Professional	No	Yes
System Size	All	<25 kW 25-500 kW
Product Warranty (yrs)	20	25
Power Warranty (yrs)	25	25
Labor Warranty (yrs)	0	25
Power in Year 1	98%	98%
Annual Degradation	0.25%	0.25%
Power in Year 25	92%	92%

See warranty documents for details. Conditions apply

Available from:

Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.

### CERTIFICATIONS

IEC 61215:2016, IEC 61730:2016, UL 61730  
 IEC 62804 PID  
 IEC 61701 Salt Mist  
 IEC 62716 Ammonia Resistance  
 UL 61730 Fire Type Class 2  
 IEC 62782 Dynamic Mechanical Load  
 IEC 61215-2:2016 Halstone (35mm)  
 IEC 62321 Lead-free acc. to RoHS EU 863/2015  
 ISO 14001, ISO 9001, IEC 45001, IEC 62941



### TEMPERATURE RATINGS\*

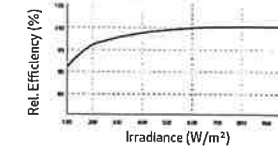
Nominal Module Operating Temperature: 44°C (±2°C)  
 Temperature coefficient of P<sub>MAX</sub>: -0.24%/°C  
 Temperature coefficient of V<sub>OC</sub>: -0.24%/°C  
 Temperature coefficient of I<sub>SC</sub>: 0.04%/°C  
 \*The temperature coefficients stated are linear values

### DELIVERY INFORMATION

Panels per pallet: 33  
 Panels per 40 ft GP/high cube container: 792 (24 pallets)  
 Panels per 53 ft truck: 891 (27 pallets)

### LOW LIGHT BEHAVIOUR

Typical low irradiance performance of module at STC:



REC Solar PTE. LTD.  
 20 Tuas South Ave. 14  
 Singapore 637312  
 post@recgroup.com



Specifications subject to change without notice. Ref: PM-DS-12-06-Rev-9 02.23



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
 CHAT.POWUR.COM

### VERSION

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INITIAL RELEASE	10/31/2023	UR

### PROJECT NAME

ARREAUD GERMAIN  
 233 NEWTON ST,  
 SALISBURY, MD 21801, USA  
 APN# 2313042519  
 UTILITY: DELMARVA POWER  
 AHJ: CITY OF SALISBURY

### SHEET NAME

SPEC SHEETS

### SHEET SIZE

ANSI B  
 11" X 17"

### SHEET NUMBER

PV-6





## IQ8M and IQ8A Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL listed as PV Rapid Shutdown Equipment and conform with various regulations, when installed according to manufacturer's instructions.

\*Only when installed with IQ System Controller 2, meets UL 1741.  
\*\*IQ8M and IQ8A support split-phase, 240V installations only.

## IQ8M and IQ8A Microinverters

INPUT DATA (DC)		IQ8M-72-2-US	IQ8A-72-2-US
Commonly used module pairings <sup>1</sup>	W	260 – 460	295 – 500
Module compatibility		54-cell / 108 half-cell, 60-cell / 120 half-cell, 66-cell / 132 half-cell and 72-cell / 144 half-cell	
MPPT voltage range	V	30 – 45	32 – 45
Operating range	V		16 – 58
Min. / Max. start voltage	V		22 / 58
Max. input DC voltage	V		60
Max. continuous input DC current	A		12
Max. input DC short-circuit current	A		25
Max. module I <sub>sc</sub>	A		20
Overtoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	

OUTPUT DATA (AC)		IQ8M-72-2-US	IQ8A-72-2-US
Peak output power	VA	330	366
Max. continuous output power	VA	325	349
Nominal (L-L) voltage / range <sup>2</sup>	V		240 / 211 – 264
Max. continuous output current	A	135	145
Nominal frequency	Hz		60
Extended frequency range	Hz		47 – 68
AC short circuit fault current over 3 cycles	A <sub>rms</sub>		2
Max. units per 20 A (L-L) branch circuit <sup>3</sup>			11
Total harmonic distortion			<5%
Overtoltage class AC port			III
AC port backfeed current	mA		30
Power factor setting			1.0
Grid-tied power factor (adjustable)			0.85 leading – 0.85 lagging
Peak efficiency	%	97.8	97.7
CEC weighted efficiency	%	97.5	97
Night-time power consumption	mW		60

MECHANICAL DATA	
Ambient temperature range	-40°C to +60°C (-40°F to +140°F)
Relative humidity range	4% to 100% (condensing)
DC Connector type	MC4
Dimensions (H x W x D)	212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")
Weight	1.08 kg (2.38 lbs)
Cooling	Natural convection – no fans
Approved for wet locations	Yes
Pollution degree	PD3
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure
Environ. category / UV exposure rating	NEMA Type 6 / outdoor

COMPLIANCE	
Certifications	CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE 1547:2018 (UL 1741-SB), FCC Part 15 Class B, ICES-0003 Class B, CAN / CSA-C22.2 NO. 107.1-01 This product is UL listed as PV Rapid Shutdown Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.

(1) Pairing PV modules with wattage above the limit may result in additional clipping losses. See the compatibility calculator at <https://link.enphase.com/module-compatibility>. (2) Nominal voltage range can be extended beyond nominal if required by the utility. (3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.



DEL MAR, CA 92014, USA

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SALISBURY, MD 21801, USA  
APN# 2313042519  
UTILITY: DELMARVA POWER  
AHJ: CITY OF SALISBURY

### SHEET NAME

SPEC SHEETS

### SHEET SIZE

ANSI B  
11" X 17"

### SHEET NUMBER

PV-7

# IQ Combiner 4/4C



X-IQ-AM1-240-4C  
X2-IQ-AM1-240-4C (IEEE 1547:2018)

X-IQ-AM1-240-4  
X2-IQ-AM1-240-4 (IEEE 1547:2018)

The **IQ Combiner 4/4C** with IQ Gateway and integrated LTE-M1 cell modem (included only with IQ Combiner 4C) consolidates interconnection equipment into a single enclosure. It streamlines IQ Microinverters and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

### Smart

- Includes IQ Gateway for communication and control
- Includes Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C
- Includes solar shield to match Enphase IQ Battery aesthetics and deflect heat
- Supports Wi-Fi, Ethernet, or cellular connectivity
- Optional AC receptacle available for PLC bridge
- Provides production metering and consumption monitoring

### Simple

- Mounts on single stud with centered brackets
- Supports bottom, back and side conduit entry
- Allows up to four 2-pole branch circuits for 240VAC plug-in breakers (not included)
- 80A total PV or storage branch circuits

### Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year limited warranty
- Two years labor reimbursement program coverage included for both the IQ Combiner SKU's
- UL listed
- X2-IQ-AM1-240-4 and X2-IQ-AM1-240-4C comply with IEEE 1547:2018 (UL 1741-SB, 3<sup>rd</sup> Ed.)

## IQ Combiner 4/4C

MODEL NUMBER	
IQ Combiner 4 X-IQ-AM1-240-4 X2-IQ-AM1-240-4 (IEEE 1547:2018)	IQ Combiner 4 with IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 ± 0.5%) and consumption monitoring (± 2.5%). Includes a silver solar shield to match the IQ Battery and IQ System Controller 2 and to deflect heat.
IQ Combiner 4C X-IQ-AM1-240-4C X2-IQ-AM1-240-4C (IEEE 1547:2018)	IQ Combiner 4C with IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 ± 0.5%) and consumption monitoring (± 2.5%). Includes Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), a plug-and-play industrial-grade cell modem for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Includes a silver solar shield to match the IQ Battery and IQ System Controller and to deflect heat.
ACCESSORIES AND REPLACEMENT PARTS (not included, order separately)	
Supported microinverters	IQ6, IQ7, and IQ8. (Do not mix IQ6/7 Microinverters with IQ8)
Communications Kit COMMS-CELLMODEM-M1-06 CELLMODEM-M1-06-SP-05 CELLMODEM-M1-06-AT-05	- Includes COMMS-KIT-01 and CELLMODEM-M1-06-SP-05 with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year AT&T data plan
Circuit Breakers BRK-10A-2-240V BRK-15A-2-240V BRK-20A-2P-240V BRK-15A-2P-240V-B BRK-20A-2P-240V-B	Supports Eaton BR210, BR215, BR220, BR230, BR240, BR250, and BR260 circuit breakers. Circuit breaker, 2 pole, 10A, Eaton BR210 Circuit breaker, 2 pole, 15A, Eaton BR215 Circuit breaker, 2 pole, 20A, Eaton BR220 Circuit breaker, 2 pole, 15A, Eaton BR215B with hold down kit support Circuit breaker, 2 pole, 20A, Eaton BR220B with hold down kit support
XA-SOLARSHIELD-ES	Replacement solar shield for IQ Combiner 4/4C
XA-PLUG-120-3	Accessory receptacle for Power Line Carrier in IQ Combiner 4/4C (required for EPLC-01)
X-IQ-NA-HD-125A	Hold-down kit for Eaton circuit breaker with screws
Consumption monitoring CT (CT-200-SPLIT/CT-200-CLAMP)	A pair of 200A split core current transformers
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
System voltage	120/240VAC, 60 Hz
Eaton BR series busbar rating	125A
Max. continuous current rating	65A
Max. continuous current rating (input from PV/storage)	64A
Max. fuse/circuit rating (output)	90A
Branch circuits (solar and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. total branch circuit breaker rating (input)	80A of distributed generation/95A with IQ Gateway breaker included
IQ Gateway breaker	10A or 15A rating GE/Siemens/Eaton included
Production metering CT	200A solid core pre-installed and wired to IQ Gateway
MECHANICAL DATA	
Dimensions (WxHxD)	37.5 cm x 49.5 cm x 16.8 cm (14.75 in x 19.5 in x 6.63 in). Height is 53.5 cm (21.06 in) with mounting brackets.
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40°C to +46°C (-40°F to 115°F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	• 20A to 50A breaker inputs: 14 to 4 AWG copper conductors • 60A breaker branch input: 4 to 1/0 AWG copper conductors • Main lug combined output: 10 to 2/0 AWG copper conductors • Neutral and ground: 14 to 1/0 copper conductors • Always follow local code requirements for conductor sizing.
Altitude	Up to 3,000 meters (9,842 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	IEEE 802.11b/g/n
Cellular	CELLMODEM-M1-06-SP-05, CELLMODEM-M1-06-AT-05 (4G base d LTE-M1 cellular modem). Note that an Mobile Connect cellular modem is required for all Enphase Energy System installations.
Ethernet	Optional, IEEE 802.3, Cat5E (or Cat6) UTP Ethernet cable. (not included)
COMPLIANCE	
Compliance, IQ Combiner	CA Rule 21 (UL 1741-SA) IEEE 1547:2018 - UL 1741-SB, 3 <sup>rd</sup> Ed. (X2-IQ-AM1-240-4 and X2-IQ-AM1-240-4C) CAN/CSA C22.2 No. 107.1, Title 47 CFR, Part 15, Class B, ICES 003 Production metering: ANSIC12.20 accuracy class 0.5 (PV production) Consumption metering: accuracy class 2.5
Compliance, IQ Gateway	UL 60601-1/CANCSA 22.2 No. 61010-1

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DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
CHAT.POWUR.COM

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME  
ARREAUD GERMAIN  
233 NEWTON ST,  
SALISBURY, MD 21801, USA  
APN# 2313042519  
UTILITY: DELMARVA POWER  
AHJ: CITY OF SALISBURY

SHEET NAME	SPEC SHEETS
SHEET SIZE	ANSI B 11" X 17"
SHEET NUMBER	PV-8

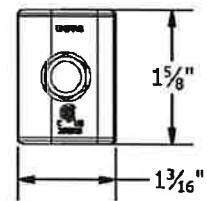


To learn more about Enphase offerings, visit [enphase.com](https://enphase.com)  
IQ-C-4-4C-DS-0103-EN-US-12-29-2022

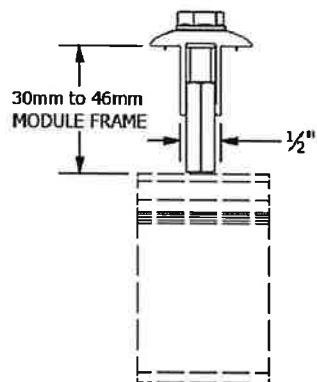
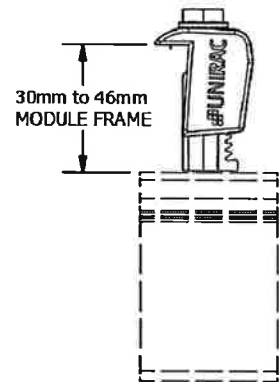
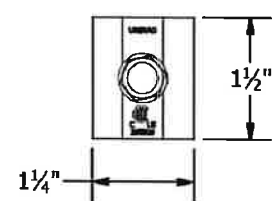


PART # TABLE	
P/N	DESCRIPTION
302045M	UNIVERSAL AF MID CLAMP - MILL
302045D	UNIVERSAL AF MID CLAMP - DRK
302050M	UNIVERSAL AF END CLAMP - MILL
302050D	UNIVERSAL AF END CLAMP - DRK

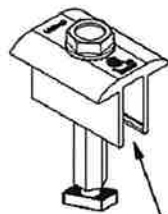
UNIVERSAL AF  
END CLAMP



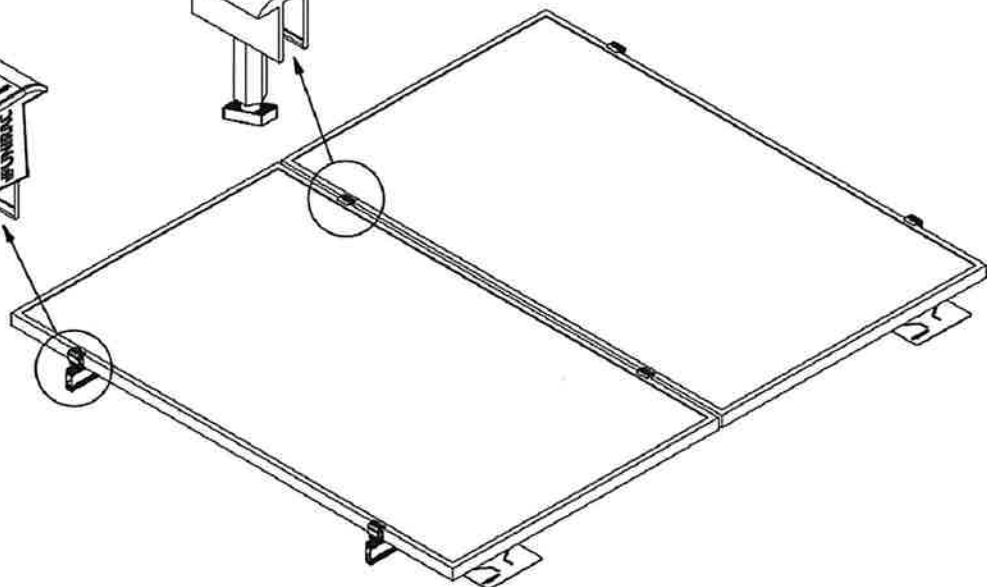
UNIVERSAL AF  
MID CLAMP



UNIVERSAL  
MID CLAMP



UNIVERSAL  
END CLAMP



1411 BROADWAY BLVD. NE  
ALBUQUERQUE, NM 87102 USA  
PHONE: 505.242.6411  
WWW.UNIRAC.COM

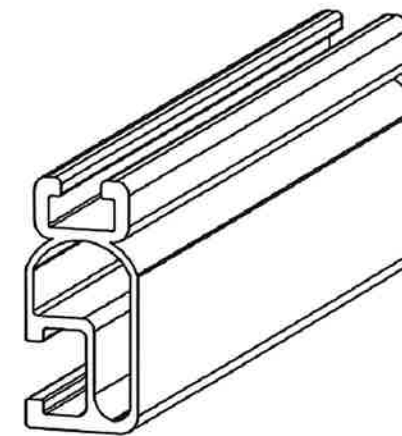
PRODUCT LINE:	SOLARMOUNT
DRAWING TYPE:	PART & ASSEMBLY
DESCRIPTION:	UNIVERSAL AF CLAMPS
REVISION DATE:	9/28/2020

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE  
NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

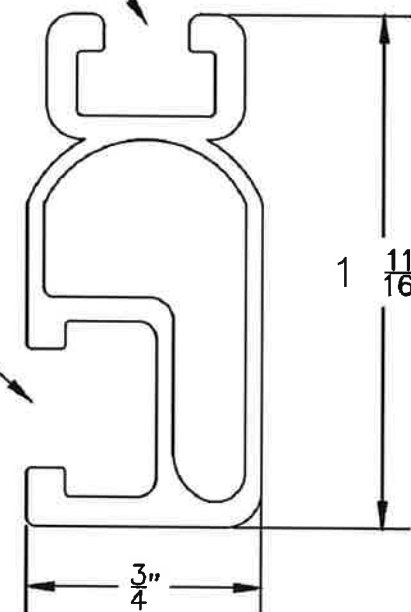
SM-A01B

SHEET



1/4" BOLT LOCATION

3/8" BOLT LOCATION



Standard Rail Lengths:  
168"  
240"



1411 BROADWAY BLVD NE  
ALBUQUERQUE, NM 87102 USA  
WWW.UNIRAC.COM

PRODUCT LINE:	SOLARMOUNT
DRAWING TYPE:	PART DETAIL
DESCRIPTION:	LIGHT RAIL
REVISION DATE:	October 2016

DRAWING NOT TO SCALE  
ALL DIMENSIONS ARE NOMINAL

PRODUCT PROTECTED BY  
ONE OR MORE US PATENTS  
LEGAL NOTICE

SM-P02

SHEET



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
CHAT.POWUR.COM

VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

PROJECT NAME

ARREAUD GERMAIN  
233 NEWTON ST,  
SALISBURY, MD 21801, USA  
APN# 2313042519  
UTILITY: DELMARVA POWER  
AHJ: CITY OF SALISBURY

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B  
11" X 17"

SHEET NUMBER

PV-9

# FLASHLOC™ DUO

THE MOST VERSATILE DIRECT TO DECK ATTACHMENT

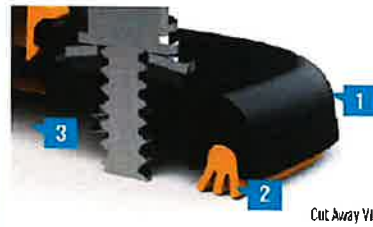


**FLASHLOC™ DUO** is the most versatile direct to deck and rafter attachment for composition shingle and rolled comp roofs. The all-in-one mount installs fast — no kneeling on hot roofs to install flashing, no prying or cutting shingles, no pulling nails. Simply drive the required number of screws to secure the mount and inject sealant into the base. **FLASHLOC's** patented TRIPLE SEAL technology preserves the roof and protects the penetration with a permanent pressure seal. Kitted with two rafter screws, sealant and hardware for maximum convenience (deck screws sold separately). Don't just divert water, **LOC it out!**



**PROTECT THE ROOF**  
Install a high-strength waterproof attachment without lifting, prying or damaging shingles.

JUNE2021\_FLASHLOCDOU\_V2



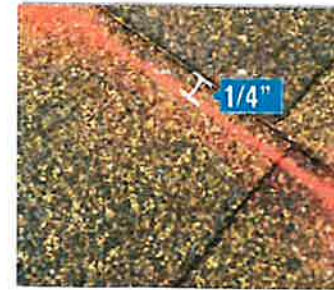
**LOC OUT WATER**  
With an outer shield **1** contour-conforming gasket **2** and pressurized sealant chamber **3** the Triple Seal technology delivers a 100% waterproof connection.



**HIGH-SPEED INSTALL**  
Simply drive the required number of screws and inject sealant into the port **4** to create a permanent pressure seal.

# FLASHLOC™ DUO

INSTALLATION GUIDE



## PRE-INSTALL: CLEAN SURFACE AND MARK LOCATION

Ensure existing roof structure is capable of supporting loads prescribed in Flashloc Duo D&E Guide. Clean roof surface of dirt, debris, snow and ice.

Snap chalk lines for attachment rows. On shingle roofs, snap lines 1/4" below upslope edge of shingle course. This line will be used to align the upper edge of the mount.

**NOTE:** Space mounts per span charts found in FLASHLOC DUO state certification letters.

## STEP ONE: SECURE



**ATTACHING TO A RAFTER:** Place FLASHLOC DUO over rafter location and align upper edge of mount with horizontal chalk line. Secure mount with the two (2) provided rafter screws. **BACKFILL ALL PILOT HOLES WITH SEALANT.**

**ATTACHING TO SHEATHING:** Place FLASHLOC DUO over desired location and align upper edge of mount with horizontal chalk line. Secure mount with the two (2) provided rafter screws. Next, secure mount with four (4) deck screws by drilling through the FLASHLOC DUO deck mount hole locations. Unirac recommends using a drill as opposed to an impact gun to prevent over-tightening or stripping roof sheathing.

**IMPORTANT:** SECURELY ATTACH MOUNT BUT DO NOT OVERTIGHTEN SCREWS.



## STEP TWO: SEAL

Insert tip of UNIRAC approved sealant into port and inject until sealant exits vent. Continue array installation, attaching rails to mounts with provided T-bolts. Follow sealant manufacturer's instructions. Follow sealant manufacturer's cold weather application guidelines, if applicable.

**NOTE:** When FLASHLOC DUO is installed over gap between shingle tabs or vertical joints, fill gap/joint with sealant between mount and upslope edge of shingle course.

**CUT SHINGLES AS REQUIRED:** DO NOT INSTALL THE FLASHLOC SLIDER ACROSS THICKNESS VARIATIONS GREATER THAN 1/8" SUCH AS THOSE FOUND IN HIGH DEFINITION SHINGLES.

**NOTE:** When installing included rail attachment hardware, torque T-bolt nut to 30 ft-lbs.  
**NOTE:** If an exploratory hole falls outside of the area covered by the sealant, flash hole accordingly.  
**NOTE:** Read and comply with the Flashloc Duo Design & Engineering Guide prior to design and installation of the system.



USE ONLY UNIRAC APPROVED SEALANTS. PLEASE CONTACT UNIRAC FOR FULL LIST OF COMPATIBLE SEALANTS.



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SHEET NAME  
SPEC SHEETS

SHEET SIZE  
ANSI B  
11" X 17"

SHEET NUMBER  
PV-10

**FASTER INSTALLATION. 25-YEAR WARRANTY.**

FOR QUESTIONS OR CUSTOMER SERVICE VISIT UNIRAC.COM OR CALL (505) 248-2702

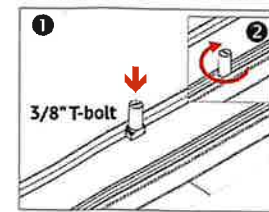
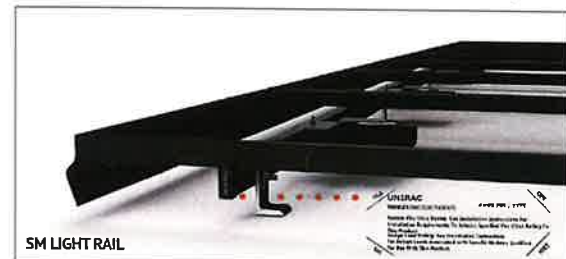
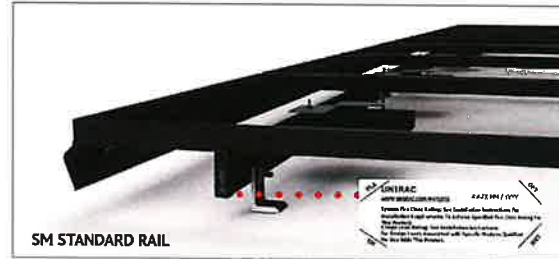
**FASTER INSTALLATION. 25-YEAR WARRANTY.**

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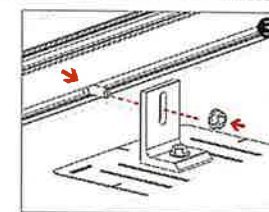
### UL2703 CERTIFICATION MARKING LABEL

Unirac SOLARMOUNT is listed to UL 2703. Certification marking is embossed on all mid clamps as shown. Labels with additional information will be provided. After the racking system is fully assembled, a single label should be applied to the SOLARMOUNT rail at the edge of the array. Before applying the label, the corners of the label that do not pertain to the system being installed must be removed so that only the installed system type is showing.

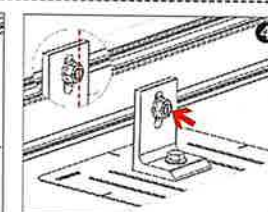
**Note:** The sticker label should be placed such that it is visible, but not outward facing.



**PLACE T-BOLT INTO RAIL & SECURE BOLT:** Insert 3/8" T-bolt into rail at L-foot locations. Apply Anti-Seize to bolt. Rotate T-bolt into position.



**SECURE T-BOLT:** Apply Anti-Seize to bolt. Rotate T-bolt into position.



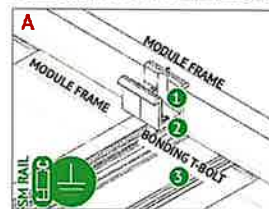
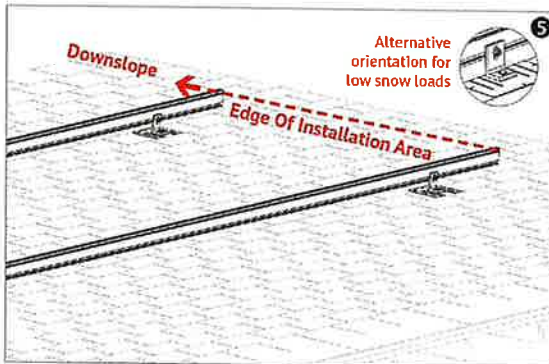
**ALIGN POSITION INDICATOR:** Hand tighten nut until rail alignment is complete. Verify that position indicator on bolt is vertical (perpendicular to rail)

**TORQUE VALUE:** 3/8" nut to 30 ft-lbs

**ALIGN RAILS:** Align one pair of rail ends to the edge of the installation area. The opposite pair of rail ends will overhang installation area. Do not trim them off until the installation is complete. If the rails are perpendicular to the rafters, either end of the rails can be aligned, but the first module must be installed at the aligned end.

If the rails are parallel to the rafters, the aligned end of the rails must face the lower edge of the roof. Securely tighten all hardware after alignment is complete.

Mount modules to the rails as soon as possible. Large temperature changes may bow the rails within a few hours if module placement is delayed.

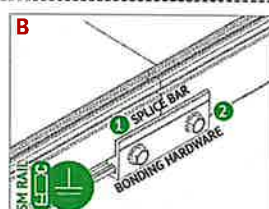


**BONDING MIDCLAMP ASSEMBLY**

- 1 Aluminum mid clamp with stainless steel bonding pins that pierce module frame anodization to bond module to module through clamp
- 2 Stainless steel nut bonds aluminum clamp to stainless steel T-bolt
- 3 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, clamp, and modules to SM rail



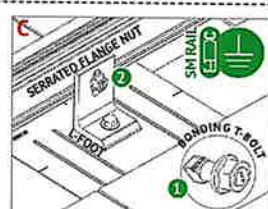
**BONDING MIDCLAMP ASSEMBLY**



**BONDING RAIL SPLICE BAR**

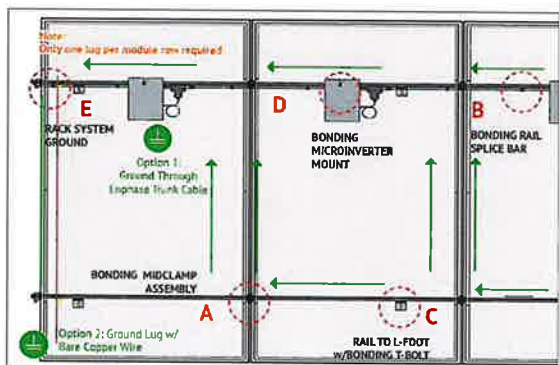
- 1 Bonding Hardware creates bond between splice bar and each rail section
- 2 Aluminum splice bar spans across rail gap to create rail to rail bond. Rail on at least one side of splice will be grounded.

**Note:** Splice bar and bolted connection are non-structural. The splice bar function is rail alignment and bonding.



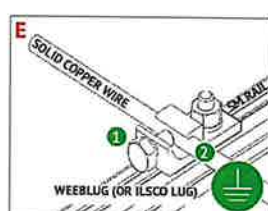
**RAIL TO L-FOOT w/BONDING T-BOLT**

- 1 Serrated flange nut removes L-foot anodization to bond L-Foot to stainless steel T-bolt
- 2 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, and L-foot to grounded SM rail



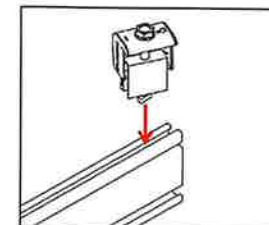
**BONDING MICROINVERTER MOUNT**

- 1 Hex nut with captive lock washer bonds metal microinverter flange to stainless T-bolt
- 2 Serrated T-bolt head penetrates rail anodization to bond T-bolt, nut, and L-foot to grounded SM rail. System ground including racking and modules may be achieved through the trunk cable of approved microinverter systems. See page 11 for details

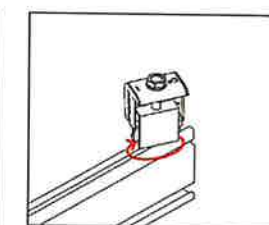


**RACK SYSTEM GROUND**

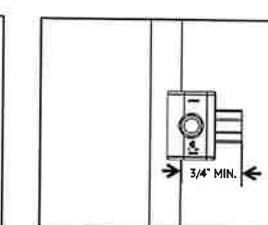
- 1 WEEB washer dimples pierce anodized rail to create bond between rail and lug
- 2 Solid copper wire connected to lug is routed to provide final system ground connection. **NOTE:** Ilco lug can also be used when secured to the side of the rail. See page 12 for details



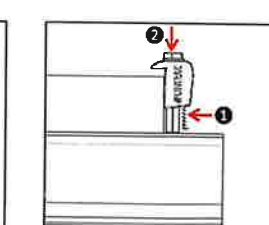
**STEP 1:** Position clamp to align T-bolt with rail slot. Lower clamp and insert T-bolt into rail slot.



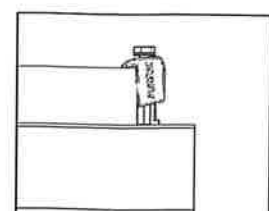
**STEP 2:** Rotate clamp clockwise 2/3 of a turn to engage T-bolt inside rail slot.



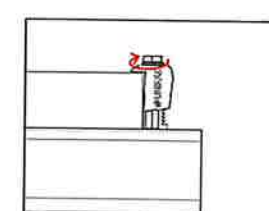
**STEP 3:** Place module at least 3/4" from end of rail and position clamp against module frame.



**STEP 4:** While applying pressure to hold the clamp against the module, push down on the module side of the clamp cap.

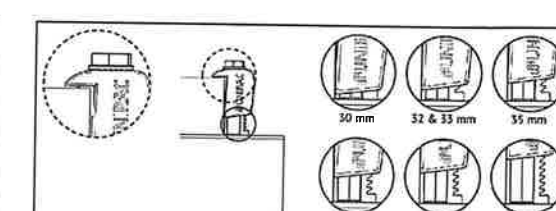


**STEP 5:** When the cap contacts the module frame, release and it will re-engage to the clamp base.



**STEP 6:** Tighten bolt and torque to 15 ft-lbs.

**NOTE - Universal AF End Clamps are single use.**



**STEP 7:** Confirm clamp is engaged in correct module height position and that the top of the cap is sitting level with the module frame.

**NOTE:** When installing 46mm modules, loosen bolt by 1 turn before positioning clamp against module frame. Do not force clamp onto module frame as this may damage the bonding pin.



DEL MAR, CA 92014, USA

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**AHJ: CITY OF SALISBURY**

SHEET NAME  
**SPEC SHEETS**

SHEET SIZE  
**ANSI B**  
**11" X 17"**

SHEET NUMBER  
**PV-11**



# Descriptive Report

MASTER CONTRACT: 266909  
REPORT: 70131735  
PROJECT: 80173532

**Edition 1:** September 20, 2017; Project 70131735 - Irvine  
Prepared By: Michael Hoffnagle  
Authorized By: Michael Hoffnagle

**Edition 24:** May 4, 2023; Project 80165743 - Irvine  
Prepared By: Michael Hoffnagle  
Authorized By: Michael Hoffnagle

**Edition 25:** June 16, 2023; Project 80173532 - Irvine  
Prepared By: Michael Hoffnagle  
Authorized By: Michael Hoffnagle

Report pages reissued

Contents: Certificate of Compliance - Pages 1 to 11  
Supplement to Certificate of Compliance - Pages 1 to 4  
Description and Tests - Pages 1 to 37  
Att1 Installation Manual SM- Pages 1 to 43  
Att2 Schematics SM/ULA- Pages 1 to 76  
Att3 Installation Manual ULA- Pages 1 to 28  
Att4 RM5\_Installation Guide - 1 to 22  
Att5 RMDT\_Installation Guide - 1 to 23  
Att6 RM series schematics - 1 to 33  
Att7 Installation Manual, GFT Shared Rail - Pages 1 to 43  
Att8 Installation Manual, GFT 4-Rail - Pages 1 to 42  
Att9 GFT Schematics - Pages 1 to 45  
Att10 NXT UMOUNT Installation Manual - Pages 1 to 34  
Att11 Schematics NXT UMOUNT - Pages 1 to 78  
Att12 SM Ascender 2P Elevated Installation Manual - Pages 1 to 37  
Att13 SM Ascender 2P NON Elevated Installation Manual - Pages 1 to 36  
Att14 SM Ascender 1P Non Elevated Installation Manual - Pages 1 to 33  
Att15 SM Ascender 1P Elevated Installation Manual - Pages 1 to 36  
Att16 Schematics SM Ascender - Pages 1 to 31

## PRODUCTS

CLASS - C531302 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems  
CLASS - C531382 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems -  
Certified to US Standards

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## COMPATIBLE MODULES SYSTEM CERTIFICATION PAGE 33

### Electrical Bonding and Grounding Test Modules

The list below is not exhaustive of compliant modules but shows those that have been evaluated and found to be electrically compatible with the SOLARMOUNT system.

Manufacture	Module Model / Series
	RECxxxAA (BLK/Pure-R) RECxxxNP (N-PEAK) RECxxxNP2 (Black) RECxxxNP3 Black RECxxxPE, RECxxxPE72 RECxxxTP, RECxxxTP72 RECxxxTP2(M/BLK2) RECxxxTP2S(M)72 RECxxxTP3M (Black) RECxxxTP4 (Black)
Renesola	All 60-cell modules
Risen	RSM Series, RSM110-8-xxxBMDG
SEG Solar	SEG-xxx-BMD-HV SEG-xxx-BMD-TB
S-Energy	SN72 & SN60 Series
Seraphim	SEG-(6PA/6PB/6MA/6MA-HV/6MB/E01/E11) SRP-(6QA/6QB) SRP-xxx-6MB-HV, SRP-320-375-BMB-HV, SRP-xxx-BMC-HV, SRP-390-450-BMA-HV, SRP-xxx-BMZ-HV, SRP-390-405-BMD-HV
Sharp	NU-SA & NU-SC Series
Silfab	SLA-M, SLA-P, SLG-M, SLG-P & BC Series SIL-xxx(BG/BK/BL/H/HC/HL/HM/HN/ML/ NL/NT/NX/NU)
Solar4America	S4Axxx-108MH108B, S4Axxx-72MH58B

Manufacture	Module Model / Series
SolarEver USA	SE-166'83-xxxM-120N SE-182'91-xxxM-108N
Solaria	PowerXT-xxxR-(AC/PD/BD) PowerXT-xxxC-PD PowerXT-xxxR-PM (AC) PowerX-400R
Solartech	STU HJT, STU PERC & Quantum PERC
SolarWorld	Sunmodule Protect, Sunmodule Plus/Pro
Sonali	SS-M-360 to 390 Series SS-M-390 to 400 Series SS-M-440 to 460 Series SS-M-430 to 460 BiFacial Series
Sun Edlson	F-Series, R-Series
Suniva	MV Series & Optimus Series (35mm)
Sunmac Solar	M754SH-BB Series
SunPower	AC, X-Series, E-Series & P-Series SPR E20 435 COM (CA Frame) Axxx-BLK-G-AC, SPR-Mxxx-H-AC SPR-Mxxx-H-AC
SunTech	STR, STPXXXS - B60/Wnrb
Talesun	TP572, TP596, TP654, TP660 TP672, Hipor M, Smart, TD6172M
Tesla	SC, SC B, SC B1, SC B2, TxxxS, TxxxH
Trina	PA05, PD05, DD05, DD06, DE06, DE09.05 PD14, PE14, DD14, DE14, DE15, DE15V(I) DEG15HC.20(I), DEG15MC.20(I) DEG15VC.20(I), DE18M(I), DEG18MC.20(I) DE19, DEG19C.20

Manufacture	Module Model / Series
TSMC	TS-150C2 CIGSw
Universal Solar	UNI4xx-144BMH-DG UNI5xx-144BMH-DG UNIxxx-108M-BB UNIxxx-120M-BB UNIxxx-120MH
Upsolar	UP-MxxxP, UP-MxxxM(-B)
URECO	D7Kxxx(H7A/H8A), D7Mxxx(H7A/H8A) FAKxxx(C8C/E8G), FAMxxxE7G-BB FAMxxxE8G(-BB), FBKxxxM8G F6MxxxE7G-BB FBMxxxMFG-BB
Vikram	Eldora, Somera, Ultima PREXOS VSM DHT.60.AAA.05 PREXOS VSM DHT.72.AAA.05
Vina	VNS-72M1-5-xxxW-1.5, VNS-72M3-5-xxxW-1.5, VNS-144M1-5-xxxW-1.5, VNS-144M3-5-xxxW-1.5, VNS-120M3-5-xxxW-1.0
VSUN	VSUNxxx-60M-BB, VSUNxxx-72MH VSUN4xx-144BMH VSUN4xx-144BMH-DG VSUN5xx-144BMH-DG VSUNxxx-108M-BB VSUNxxx-120M-BB VSUNxxx-120BMH VSUNxxx-132BMH VSUNxxx-108BMH
Waaree	Ahnay Series Bi-33 Arka Series WSM DI

- Unless otherwise noted, all modules listed above include all wattages and specific models within that series. Variable wattages are represented as 'xxx'
- Items in parenthesis are those that may or may not be present in a compatible module's model ID
- Slashes "/" between one or more items indicates that either of those items may be the one that is present in a module's model ID
- The frame profile must not have any feature that might interfere with the bonding devices that are integrated into the racking system
- Use with a maximum over current protection device OCPD of 30A
- Listed models can be used to achieve a Class A fire system rating for steep slope applications. See page 30



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SPEC SHEETS

SHEET SIZE

ANSI B  
11" X 17"

SHEET NUMBER

PV-12



# Certificate of Compliance

**Certificate:** 70131735                      **Master Contract:** 266909  
**Project:** 80173532                      **Date Issued:** 2023-06-16  
**Issued To:** Unirac  
1411 Broadway NE  
Albuquerque, New Mexico, 87102  
United States

Attention: Rob D'Anastasio

*The products listed below are eligible to bear the CSA Mark shown with adjacent indicators 'C' and 'US' for Canada and US or with adjacent indicator 'US' for US only or without either indicator for Canada only.*

Issued by: *Michael Hoffnagle*  
Michael Hoffnagle



### PRODUCTS

CLASS - C531302 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems  
CLASS - C531382 - POWER SUPPLIES - PHOTOVOLTAICS-PV Racking and clamping systems -  
Certified to US Standards



**Certificate:** 70131735  
**Project:** 80173532

**Master Contract:** 266909  
**Date Issued:** 2023-06-16

Models:	SM	-	SOLARMOUNT Flush-to-Roof is an extruded aluminum rail PV racking system that is installed parallel to the roof in landscape or portrait orientations.
	ULA	-	Unirac Large Array is a ground mount system using the SolarMount (SM) platform for the bonding and grounding of PV modules.

### Solarmount

The system listed is designed to provide bonding/grounding, and mechanical stability for photovoltaic modules. The system is secured to the roof with the L-Foot components through the roofing material to building structure. Modules are secured to the racking system with stainless steel or aluminum mid clamps and Aluminum end clamps. The modules are bonded to the racking system with the stainless-steel bonding mid clamps with piercing points. The system is grounded with 10 AWG copper wire to bonding/grounding lugs. Fire ratings of Class A with Type 1, 2, 3 (with metallic frame), 4 (with trim), 5 (with trim), 10(with metallic frame), 19, 22, 25, 29, or 30 for steep slope. Class A with Type 1, 2, 29 or 30 for low slope. Tested at 5" interstitial gap which allows installation at any stand-off height.

The grounding of the system is intended to comply with the latest edition of the National Electrical Code, to include NEC 250 & 690. Local codes compliance is required, in addition to national codes. All grounding/bonding connections are to be torqued in accordance with the Installation Manual and the settings used during the certification testing for the current edition of the project report.

The system may employ optimizers/micro-inverters and used for grounding when installed per installation instructions.

UL 2703 Mechanical Load ratings:

Module Area up to 22.2 sq ft	
Downward Design Load (lb/ft <sup>2</sup> )	113.5
Upward Design Load (lb/ft <sup>2</sup> )	50.7
Down-Slope Load (lb/ft <sup>2</sup> )	16.13

Module Area up to 27.12 sq ft	
Downward Design Load (lb/ft <sup>2</sup> )	33.9
Upward Design Load (lb/ft <sup>2</sup> )	33.9
Down-Slope Load (lb/ft <sup>2</sup> )	16.5



DEL MAR, CA 92014, USA

DESIGN SUPPORT DAY OF INSTALL:  
CHAT.POWUR.COM

### VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	10/31/2023	UR

### PROJECT NAME

ARREAUD GERMAIN  
233 NEWTON ST,  
SALISBURY, MD 21801, USA  
APN# 2313042519  
UTILITY: DELMARVA POWER  
AHJ: CITY OF SALISBURY

### SHEET NAME

SPEC SHEETS

### SHEET SIZE

ANSI B  
11" X 17"

### SHEET NUMBER

PV-13

# Salisbury Historic District Commission

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## STAFF FINDINGS

### Meeting of April 24, 2024

**Case Number:** #24-07

**Commission Considering:** Solar System Installation

**Owner Name:** Arreaud Germain  
**Owners Address:** 233 Newton St  
Salisbury, MD 21801

**Applicant Name:** Power Factor – Cary Shank

**Applicant’s Address:** 8240 Beachwood Rd,  
Baltimore, MD 21222

**Agent/Contractor:** Power Factor – Cary Shank

**Subject Property Address:** 233 Newton St  
Salisbury, MD 21801

**Historic District:** Camden Historic District

**Use Category:** Residential

**Zoning Classification:** R-8 Residential

**Structure / Site Description:**

**Built Date:** 1915

**Enclosed Area:** 1,647sq. ft.

**Lot Size:** 5,720 sq. ft.

**Number of Stories:** 2

**Contributing Structure:** Non-Contributing, 2/23/2022



**Wicomico County Historic Survey on file:** Yes

**Nearby Properties on County Survey:** Yes

**Properties included below but not limited to:**

WI-513– 232 Newton Street—William W. Mitchell House

**Explanation of Request:** The applicant is seeking approval to install five panel rooftop modules solar system.

**Areas of Historic Guidelines to be considered:**

**Guideline 31: Solar Panels**

a. Solar panels should be installed in a location that minimizes their visibility as much as possible. Flat roofs, and rear sloping roofs are the best candidates.

**Roofing and Chimneys**

The roof is one of the prominent defining features of historic buildings. Historic roof shapes and elements such as chimneys, gables, dormers, and steeples are important character defining features. In the Downtown Historic District, many historic roofs are flat and therefore not visible from street-level. The most commonly observed roofing systems in the Camden and Newtown Historic Districts are shingles and built-up roof applications for pitched and flat roofs, respectively.

A roof's original shape and pitch should be retained. The construction of new dormers should be carefully considered so as to not compromise the original design of the house. If a dormer is added, its size, design, and placement should be in scale with the overall size of the building, its siding and roofing materials should match those on the rest of the house, and its window should be consistent with the existing windows on the house in style, orientation and material. Other alterations, such as roof decks, vents, skylights and mechanical and electrical equipment should be installed so that they are not visible from the public right-of-way and do not damage historic fabric.

Roof systems are selected and assembled to resist the environmental forces of nature such as rain, snow, wind, solar radiation and gravity loads. Roof gutters, and downspouts constitute a system where water is collected, transported and removed from the building. Neglect of or damage to any one of the roof components can keep this water-removal system from working properly and cause serious damage to the walls, ceiling, foundations and floors of the building.

Roof drainage is one of the most important elements of the roof system. Gutters and downspouts should be examined annually. Remove all rotted wood or rusted metal gutters and replace. Aluminum with a baked-on color finish does not rust as quickly as galvanized materials and requires less frequent painting.

Gutters and downspouts should be regularly cleaned and kept in good condition. Downspouts should be inconspicuously located on the exterior of the house and be compatible in color with that of the exterior of the building.

Staff Findings Prepared By: Jennifer Jean  
Infrastructure and Development  
125 N Division Street, Suite 304  
Salisbury, MD 21801  
(410) 548-3170  
Date: April 24, 2024

WI-552

## Camden Historic District (a.k.a. Newton)

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

**MARYLAND HISTORICAL TRUST  
NR-ELIGIBILITY REVIEW FORM**

NR Eligible: yes   
no

Property Name: Camden Historic District (aka Newton) Inventory Number: WI-552

Address: \_\_\_\_\_ City: Salisbury Zip Code: \_\_\_\_\_

County: Wicomico USGS Topographic Map: Salisbury Quad

Owner: \_\_\_\_\_

Tax Parcel Number: \_\_\_\_\_ Tax Map Number: \_\_\_\_\_ Tax Account ID Number: \_\_\_\_\_

Project: \_\_\_\_\_ Agency: \_\_\_\_\_

Site visit by MHT Staff:  no  yes Name: Andrew Lewis/Michael Day Date: 03/23/01

Eligibility recommended  Eligibility not recommended

Criteria:  A  B  C  D Considerations:  A  B  C  D  E  F  G  None

Is the property located within a historic district?  no  yes Name of district: \_\_\_\_\_

Is district listed?  no  yes Determined eligible?  no  yes District Inventory Number: WI-552

Documentation on the property/district is presented in:

**Description of Property and Eligibility Determination:** *(Use continuation sheet if necessary and attach map and photo)*

The Camden Historic District (aka the Newton-Camden Historic District) is a local historic district composed of homes of a wide variety of architectural styles. According to information contained in the Wicomico survey files, the district was determined eligible by "Lukenbach & Andreve" on April 17, 1986, but no copy of the DOE form could be found. Nevertheless, the district contains numerous homes with a great deal of integrity and the earlier determination of eligibility still appears valid. Architectural styles represented within the district include Colonial Revival, Queen Anne and other Victorian styles. The City of Salisbury specifically identifies some of the homes in the area to be of "great historical value to the community". These homes include "the Humphrey House, Red Gables and the house known as "Cricket Box"". The City Ordinance establishing the district also included the following findings:

- Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18<sup>th</sup> Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.
- The Camden area was the location of the first known sanitary sewer installed in 1887 to serve the L.W. Gunby and William P. Jackson homes on Camden Avenue.
- After the fire of 1886, City Board of Commissioners established a series of ordinances which included maintaining sidewalks in front of properties and establishing the rights of way of various streets. Among the first streets subject to improvement of widening and straightening in 1887 under this law was Camden Street, now Camden Avenue.

<b>MARYLAND HISTORICAL TRUST REVIEW</b>	
Eligibility recommended <input checked="" type="checkbox"/>	Eligibility not recommended <input type="checkbox"/>
Criteria: <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> C <input type="checkbox"/> D	Considerations: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> None
Comments: _____	
<u>Andrew Lewis</u> Reviewer, Office of Preservation Services	<u>05/02/01</u> Date
<u>[Signature]</u> Reviewer, DR program	<u>5/2/07</u> Date

*mg*

**MARYLAND HISTORICAL TRUST  
NR-ELIBILITY REVIEW FORM**

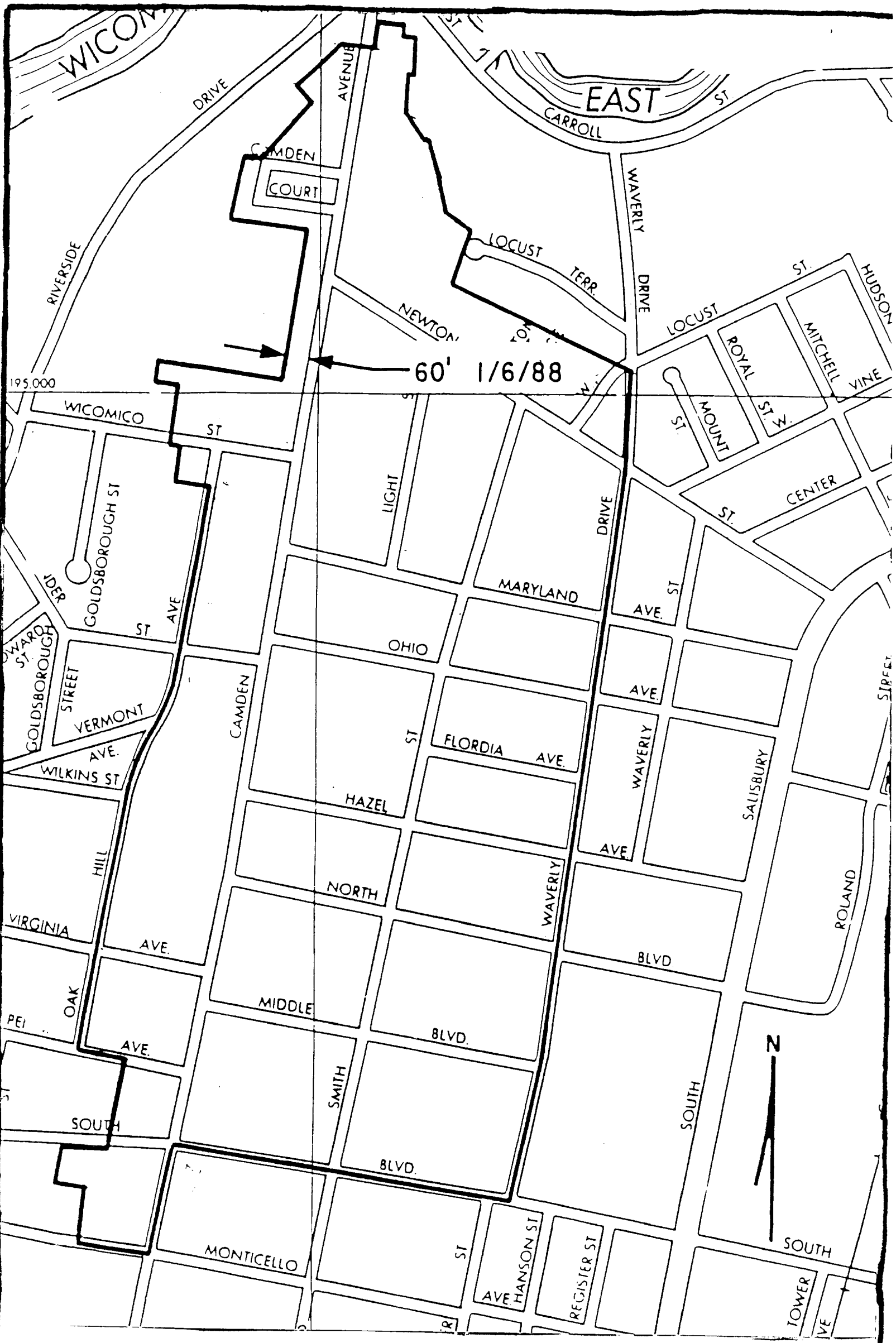
Camden Historic District (WI-552)  
Continuation Sheet No. 1

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- The town's first development laws were enacted in 1892 and involved the Camden area. Only structures of brick, stone or iron with slate roofs or other non-combustible materials were permitted.
- Salisbury's first row homes were constructed in the area now known as Camden Court.
- The first planned residential development in Salisbury was centered around what is now North, South and Middle Boulevards in 1908.
- The 1909, L. W. Gunby, a resident of Camden, and Salisbury Auto Company opened the first automotive sales and service facility on Camden Avenue.
- In 1910, Frank W. Baysinger provided the City of Salisbury with its first taxi service from his garage on Camden Avenue.
- In 1890, the Jackson family constructed one of the most elegant homes built in the Camden area. This stylish example of architecture was beyond the scope of anything previously built in the City. Due to lack of regulations protecting such an architectural legacy, the home was demolished.
- The Newton Jackson home on the corner of Camden and Newton Street remains as a historic reminder of the City's past.
- The Gunby home at 507 Camden Avenue, built about 1830 and renovated in the 1880's, was the home of the founder of the William B. Tilghman Fertilizer Company.
- The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.
- The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.
- On the northeast corner of Newton and Camden, a residence now used as an office by an accountant has been declared one of the oldest residences in Salisbury and shown on 1877 maps.
- The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

Prepared by: Andrew Lewis

Date Prepared: 05/02/01



# Newton-Camden Historic District

WI - 552



**MARYLAND HISTORICAL TRUST  
NR-ELIGIBILITY REVIEW FORM**

NR Eligible: yes X  
no     

Property Name: Camden Historic District (aka Ne Inventory Number: WI-552

Address: \_\_\_\_\_ City: Salisbury Zip Code: \_\_\_\_\_

County: Wicomico USGS Topographic Map: Salisbury

Owner: \_\_\_\_\_

Tax Parcel #: \_\_\_\_\_ Tax parcel Map Number: \_\_\_\_\_ Tax Account ID Number: \_\_\_\_\_

Project: \_\_\_\_\_ Agency: \_\_\_\_\_

Site visit by MHT staff X no \_\_\_\_\_ yes Name: Andrew Lewis/ Date: 03/23/2001

Eligibility recommended X Eligibility not recommended \_\_\_\_\_

Criteria: X A      B X C      D Considerations:      A      B      C      D      E      F      G      None

Is the property located within a historic district?      no      yes Name of District: \_\_\_\_\_

Is district listed?      no      yes District Inventory Number: \_\_\_\_\_

Documentation on the property/district is presented in:

Description of Property and Eligibility Determination: *(Use continuation sheet if necessary and attach map and photo)*

The Camden Historic District (aka the Newton-Camden Historic District) is a local historic district composed of homes of a wide variety of architectural styles. According to information contained in the Wicomico survey files, the district was determined eligible by "Lukenbach & Andreve" on April 17, 1986, but no copy of the DOE form could be found. Nevertheless, the district contains numerous homes with a great deal of integrity and the earlier determination of eligibility still appears valid. Architectural styles represented within the district include Colonial Revival, Queen Anne and other Victorian styles. The City of Salisbury specifically identifies some of the homes in the area to be of "great historical value to the community". These homes include "the Humphrey House, Red Gables and the house known as "Cricket Box"". The City Ordinance establishing the district also included the following findings:

Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

<b>MARYLAND HISTORICAL TRUST REVIEW</b>	
Eligibility recommended <u>X</u>	Eligibility not recommended _____
Criteria <u>X</u> A <u>    </u> B <u>X</u> C <u>    </u> D	Considerations <u>    </u> A <u>    </u> B <u>    </u> C <u>    </u> D <u>    </u> E <u>    </u> F <u>    </u> G <u>    </u> None
<b>MHT Comments:</b>	
<u>C. Andrew Lewis</u>	<u>May 02, 2001</u>
Reviewer, Office of Preservation Services	Date
<u>Peter Kurtze</u>	<u>May 02, 2001</u>
Reviewer, NR Program	Date



NR-ELIGIBILITY REVIEW FORM

-Camden Historic District (aka Newton)

Page 2

1. Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18th Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.

2. The Camden area was the location of the first known sanitary sewer installed in 1887 to serve the L.W. Gunby and William P. Jackson homes on Camden Avenue.

3 After the fire of 1886, City Board of Commissioners established a series of ordinances which included maintaining sidewalks in front of properties and establishing the rights of way of various streets. Among the first streets subject to improvement of widening and straightening in 1887 under this law was Camden Street, now Camden Avenue.

4 The town's first development laws were enacted in 1892 and involved the Camden area. Only structures of brick, stone or iron with slate roofs or other non-combustible materials were permitted.

5 Salisbury's first row homes were constructed in the area now known as Camden Court.

6 The first planned residential development in Salisbury was centered around what is now North, South and Middle Boulevards in 1908.

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8 In 1910, Frank W. Baysinger provided the City of Salisbury with its first taxi service from his garage on Camden Avenue.

9 In 1890, the Jackson family constructed one of the most elegant homes built in the Camden area. This stylish example of architecture was beyond the scope of anything previously built in the City. Due to lack of regulations protecting such an architectural legacy, the home was demolished.

10 The Newton Jackson home on the corner of Camden and Newton Street remains as a historic reminder of the City's past.

11 The Gunby home at 507 Camden Avenue, built about 1830 and renovated in the 1880's, was the home of the founder of the William B. Tilghman Fertilizer Company.

Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X Eligibility not recommended

Criteria X A B X C D Considerations A B C D E F G None

MHT Comments:

C. Andrew Lewis

May 02, 2001

Reviewer, Office of Preservation Services

Date

Peter Kurtze

May 02, 2001

Reviewer, NR Program

Date

Camden Historic District (aka Newton)

Page 3

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12 The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.

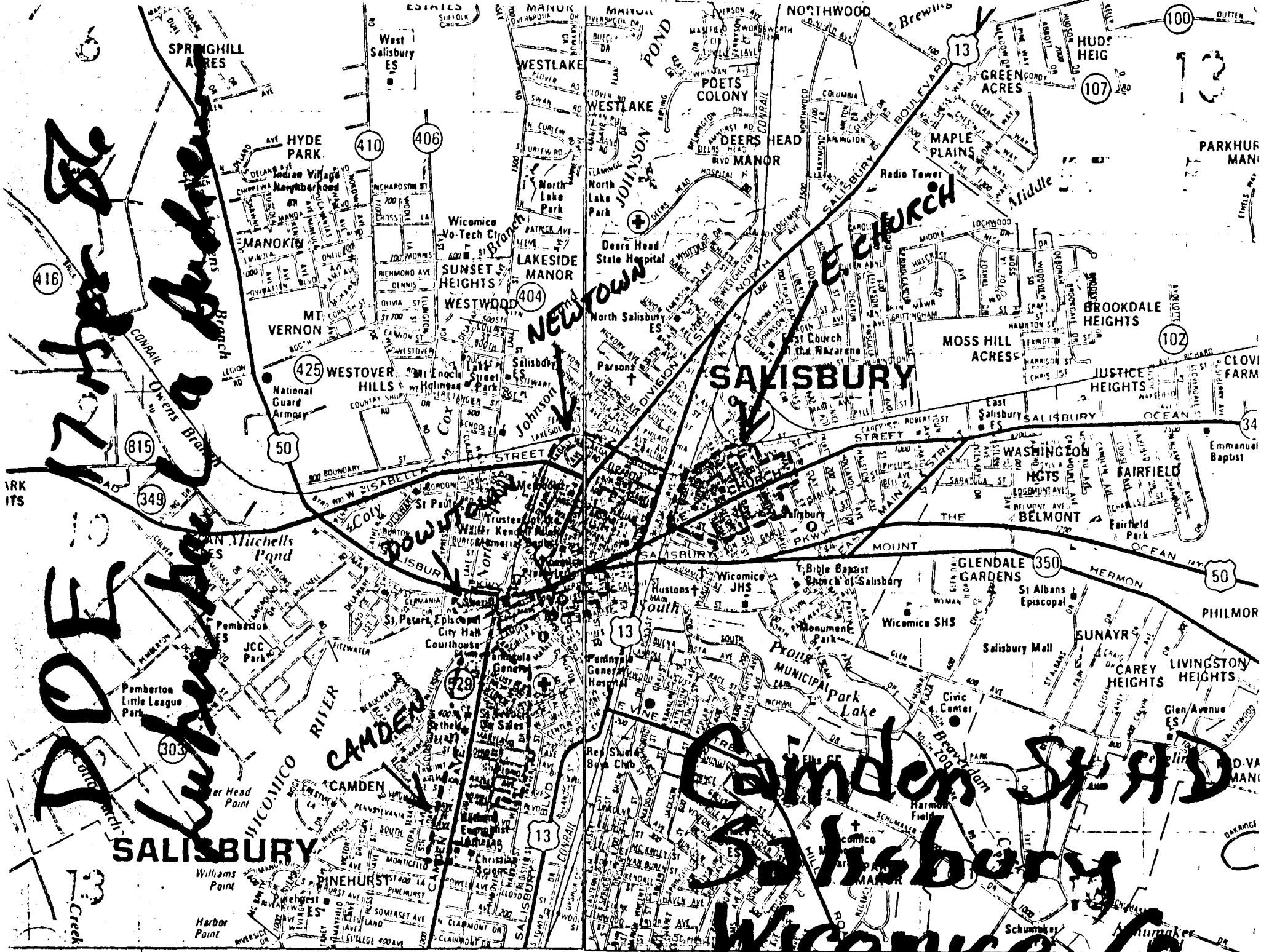
13 The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.

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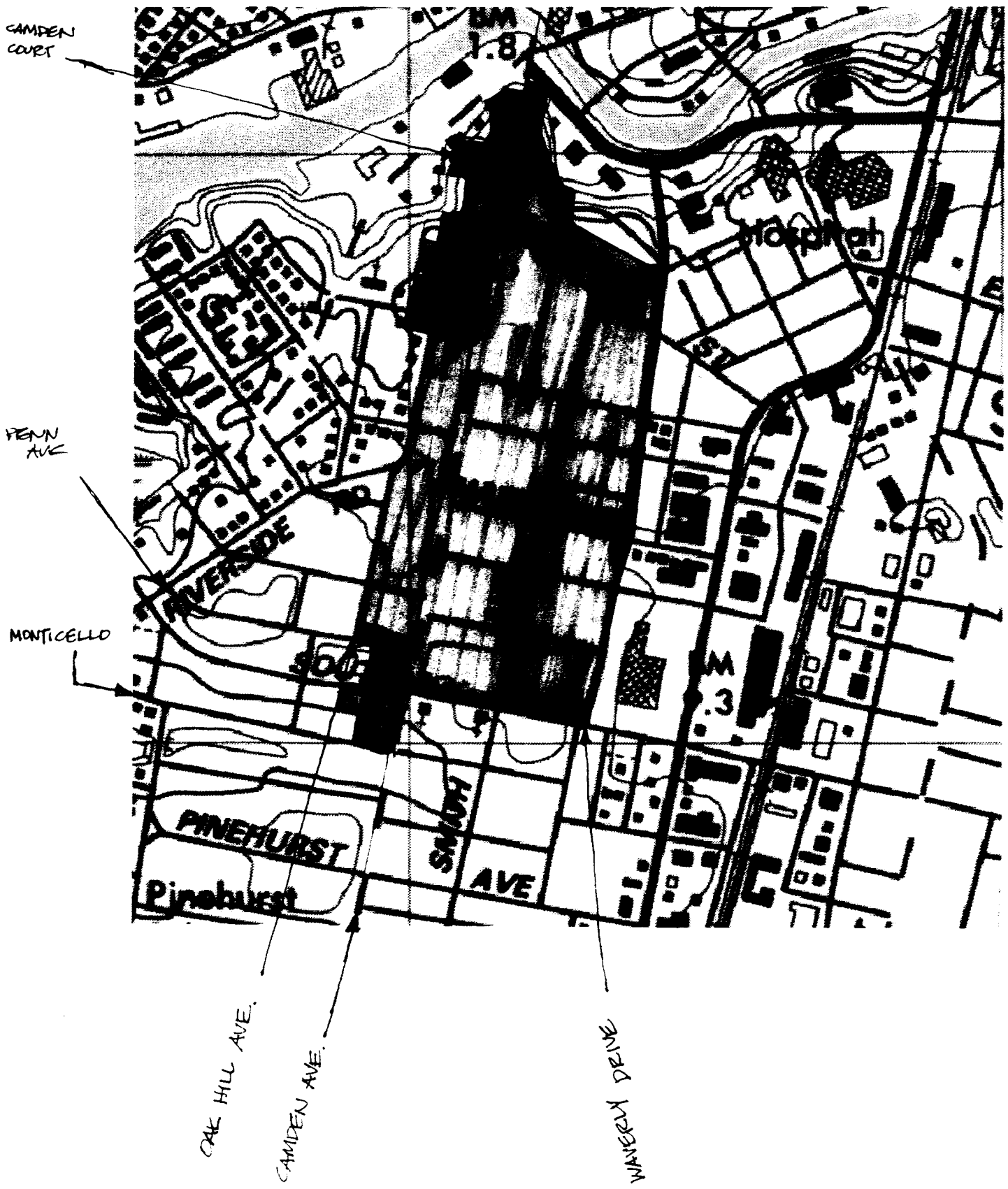
15 The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

WI-552

Camden Historic District  
Salisbury, Md.



CAMDEN HISTORIC DISTRICT (AKA NEWTON)  
SALISBURY, WICCOMICO COUNTY, MD  
WI. - 552



WI-513

## William W. Mitchell House

### **Architectural Survey File**

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All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

WI-513  
William W. Mitchell House  
Salisbury  
Private

c. 1898

Salisbury grocer William W. Mitchell financed construction of this story-and-a-half frame dwelling located on Newton Street around 1898. The execution of a mortgage between Mitchell and the Salisbury Permanent Building and Loan Association for \$900 signals the effort to raise sufficient capital to erect this Victorian house distinctive for its hip roof and intersecting cross gables. The late nineteenth-century exterior, with its steeply pitched roof, exposed rafter tails and two-over-two window sash, corroborate this construction date.

William W. Mitchell held the property for a few years. In 1902 William and his wife Lillie transferred title of the house and lot to Alexander D. Toadvine, Mary R. Toadvine, and Dora E. Toadvine for \$75 along with the stipulation that the Toadvines would assume all payments on insurance, taxes, and the balance of the mortgage.

Alexander Toadvine must have rented the property since his residence was located on East Isabella Street. (WI-275)

# Maryland Historical Trust Maryland Inventory of Historic Properties Form

Inventory No. W I-513

## 1. Name of Property (indicate preferred name)

historic William W. Mitchell House

other \_\_\_\_\_

## 2. Location

street and number 232 Newton Street not for publication

city, town Salisbury vicinity

county Wicomico

## 3. Owner of Property (give names and mailing addresses of all owners)

name Nancy J. Fant

street and number 232 Newton Street telephone

city, town Salisbury state MD zip code 21801

## 4. Location of Legal Description

courthouse, registry of deeds, etc. Wicomico County Clerk of Court tax map and parcel Map 111, P. 266

city, town Salisbury, Maryland liber 1266 folio 544

## 5. Primary Location of Additional Data

- Contributing Resource in National Register District  
 **Contributing Resource in Local Historic District**  
 Determined Eligible for the National Register/Maryland Register  
 Determined Ineligible for the National Register/Maryland Register  
 Recorded by HABS/HAER  
 Historic Structure Report or Research Report at MHT  
 Other: \_\_\_\_\_

## 6. Classification

Category	Ownership	Current Function	Resource Count	
			Contributing	Noncontributing
district	public	agriculture		
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	commerce/trade	1	buildings
structure	both	defense		sites
site		<input checked="" type="checkbox"/> domestic		structures
object		education		objects
		funerary	1	Total
		government		
		health care		
		industry		
		landscape		
		recreation/culture		
		religion		
		social		
		transportation		
		work in progress		
		unknown		
		vacant/not in use		
		other:		
			<b>Number of Contributing Resources previously listed in the Inventory</b>	



# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-513

Name William W. Mitchell House  
Continuation Sheet

Number 7 Page 1

---

### 7. Description

---

#### Condition

	excellent	deteriorated
<u>x</u>	good	ruins
	fair	altered

---

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

The William W. Mitchell house stands at 232 Newton Street in the Camden Historic District of Salisbury, Wicomico County, Maryland. The story-and-a-half, cross-shaped Victorian house faces north with the hip roof oriented on an east/west axis.

Built around 1898, the story-and-a-half, cross-shaped frame house is supported on a low brick foundation and the exterior is clad with asbestos shingles. The steeply pitched hip roof, along with the multiple gables that extend from it, are covered with asphalt shingles. Single flue, interior brick stacks pierce the roofline.

The north (main) elevation is an asymmetrical facade with a projecting three-sided bay pavilion juxtaposed against a side entrance sheltered by a single story porch. Incorporated under the porch is a front door featuring Victorian panels and glazing above the lock rail. Latticework, including an arched entry in front of the main entrance, infills the space between the porch columns. A turned baluster handrail stretches between the posts as well. The adjacent pavilion is defined by a three-sided bay pierced by single-pane sash windows. Decorative Victorian sawnwork is attached to the soffit of the gable end, which is pierced by a two-over-two sash window. The edges of the roof are extended and the rafter tails are exposed.

The east gable end is defined by pairs of two-over-two sash windows, and the edge of the roof is finished with an extended eave and exposed rafter tails. The west gable end is marked by an asymmetrical fenestration of two-over-two sash windows that includes an uneven placement of small round windows.

The interior was not seen.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-513

Name William W. Mitchell House  
Continuation Sheet

Number 8 Page 1

### 8. Significance

Inventory No. WI-513

Period	Areas of Significance	Check and justify below		
1600-1699	agriculture	economics	health/medicine	performing arts
1700-1799	archeology	education	industry	philosophy
<input checked="" type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> architecture	engineering	invention	politics/government
<input type="checkbox"/> 1900-1999	art	entertainment/ recreation	landscape architecture	religion
2000-	commerce	ethnic heritage	law	science
	communications	exploration/ settlement	literature	social history
	community planning		maritime history	transportation
	conservation		military	other:

Significance dates

Architect

Specific dates

Builder

Evaluation for:

National Register

Maryland Register

not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance reports, complete evaluation on a DOE Form – see manual.)

Salisbury grocer William W. Mitchell financed construction of the story-and-a-half, cross-shaped frame dwelling located on Newton Street around 1898. The execution of a mortgage between the Salisbury Permanent Building and Loan Association and William W. Mitchell for \$900 signals an effort to raise the sufficient capital to erect this Victorian house distinctive for its hip roof and intersecting cross gables.<sup>1</sup> The late nineteenth-century exterior, with its steeply pitched roof, exposed rafter ends and two-over-two window sash, corroborate this construction date.

William W. Mitchell held the property for a few years. In 1902 William and his wife Lillie transferred title of the house and lot to Alexander D. Toadvine, Mary R. Toadvine and Dora E. Toadvine for \$75 along with the stipulation that Toadvine assume all payments on insurance, taxes, and the balance of the mortgage.<sup>2</sup>

Alexander Toadvine must have rented the property since his residence was located on East Isabella Street. (See WI-275)

<sup>1</sup> Wicomico County Land Record, JTT 25/8, 27 September 1898.

<sup>2</sup> Wicomico County Land Record, JTT 32/375, 6 February 1902.

## 9. Major Bibliographical References

WI-513

---

## 10. Geographical Data

Acreage of project area

Acreage surveyed 1/4 acre

Quadrangle name Salisbury, Maryland

Quadrangle scale 1:24,000

---

### Verbal boundary description and justification

The historic boundary of this property is coincidental with the metes and bounds of the lot on which the house stands.

---

## 11. Form Prepared by

---

name/title Paul B. Touart, Architectural Historian

---

organization Private Consultant

---

street & number P. O. Box 5

date 10/1/2000

---

city or town Westover, Maryland 21871

phone 410-651-1094

---

The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
DHCD/DHCP  
100 Community Place  
Crownsville, MD 21032  
410-514-7600



WI-513  
William W. Mitchell House  
232 Newton Street  
Salisbury, Wicomico County, Maryland  
Chain of title continued

Page 2

JCK 136/92

S. Luther Ruark

to

8/30/1924

George R. Hitch, Jr. and Juanita K. Hitch

JCK 114/163

Alexander D. Toadvine, Mary R. Toadvine  
Dora E. Toadvine

to

10/7/1919

S. Luther Ruark  
Whereas Dora E. Toadvine holds a mortgage against the  
hereinafter property dated 5/8/1917, JCK 105/186, Second  
Parcel

JTT 32/375

William W. Mitchell and Lillie L. Mitchell

to

2/6/1902

Alexander D. Toadvine  
\$75.00 ...and has agreed and hereby does agree to pay all  
taxes and insurance premiums, and also to pay all the balance  
owing by the said parties of the first part to the Salisbury  
Permanent Building and Loan Association on a mortgage dated  
9/27/1898, JTT 25/8

Mortgage  
JTT 25/8

The Salisbury Permanent Building and Loan Association

to

9/27/1898

William W. Mitchell and Lillie L. Mitchell  
\$900

WI-513  
William W. Mitchell House  
232 Newton Street  
Salisbury, Wicomico County, Maryland  
Chain of title continued

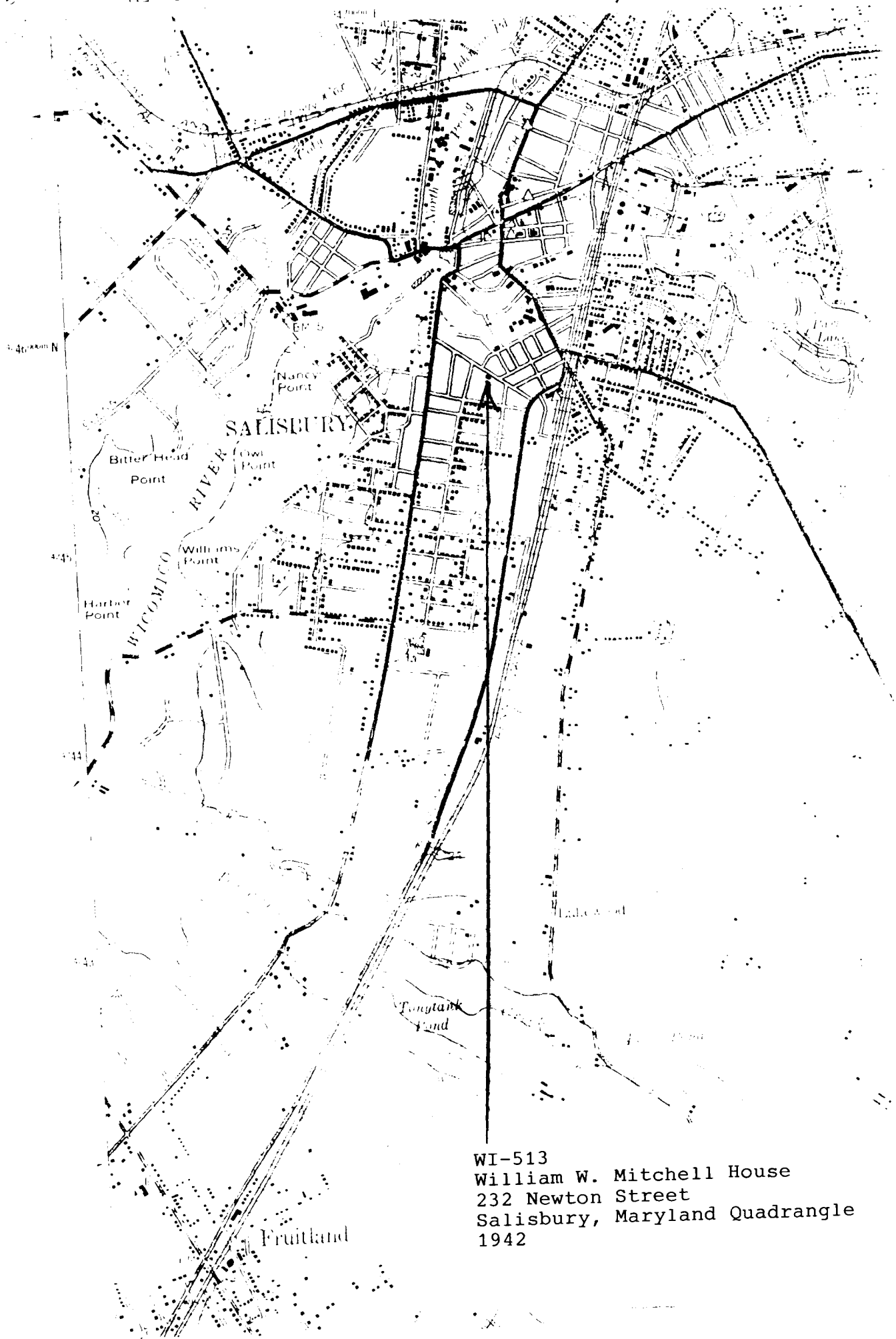
JTT 22/198

Annie Ingersoll, widow of Ernest Grant Ingersoll

to

5/23/1898

William W. Mitchell  
\$100



WI-513  
 William W. Mitchell House  
 232 Newton Street  
 Salisbury, Maryland Quadrangle  
 1942





WI-413

William W. Mitchell House

Springfield, Wisconsin Co., W. W.

North elevation

10/00, Pine Tower, Pictorial Record

W. of MD 51700

1 of 2



VI-513

William W. Matthews House

Salisbury, Wicomico County, Md.

Northwest elevation

10/00, Paul Towler, Photographer

NEG. / NO. 5130

2 of 2

Real Property Data Search ( )  
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

**Special Tax Recapture: None**

**Account Identifier:** District - 13 Account Number - 042519

**Owner Information**

**Owner Name:** GERMAIN ARREAUD **Use:** RESIDENTIAL  
**Principal Residence:** YES  
**Mailing Address:** 233 NEWTON ST **Deed Reference:** /05240/ 00161  
 SALISBURY MD 21801-

**Location & Structure Information**

**Premises Address:** 233 NEWTON ST **Legal Description:** 5,720 SQFT  
 SALISBURY 21801-0000 233 NEWTON ST  
 CITY OF SALISBURY

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0111	0011	0133	13030702.23	0000				2022	Plat Ref:

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1915	1,647 SF		5,720 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	ASBESTOS SHINGLE/	3	1 full/ 1 half		

**Value Information**

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2022	07/01/2023	07/01/2024
<b>Land:</b>	10,700	13,900		
<b>Improvements</b>	25,000	25,200		
<b>Total:</b>	35,700	39,100	37,967	39,100
<b>Preferential Land:</b>	0	0		

**Transfer Information**

<b>Seller:</b> FLOWERS & PHARMACY LLC	<b>Date:</b> 04/17/2023	<b>Price:</b> \$260,000
<b>Type:</b> ARMS LENGTH IMPROVED	<b>Deed1:</b> /05240/ 00161	<b>Deed2:</b>
<b>Seller:</b> JEDI PROPERTIES LLC	<b>Date:</b> 11/09/2021	<b>Price:</b> \$44,200
<b>Type:</b> ARMS LENGTH IMPROVED	<b>Deed1:</b> /04979/ 00376	<b>Deed2:</b>
<b>Seller:</b> DOUGHERTY EDWIN J	<b>Date:</b> 08/22/2014	<b>Price:</b> \$0
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /03742/ 00222	<b>Deed2:</b>

**Exemption Information**

Partial Exempt Assessments:	Class	07/01/2023	07/01/2024
<b>County:</b>	000	0.00	
<b>State:</b>	000	0.00	
<b>Municipal:</b>	000	0.00 0.00	0.00 0.00

**Special Tax Recapture: None**

**Homestead Application Information**

**Homestead Application Status:** No Application

**Homeowners' Tax Credit Application Information**

**Homeowners' Tax Credit Application Status:** No Application **Date:**

# Salisbury Historic District Commission

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## Hearing Notification

<b>Hearing Date:</b>	April 24, 2024
<b>Time:</b>	7:00 pm
<b>Location:</b>	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
<b>Case Number:</b>	#24-08
<b>Commission Considering:</b>	Repairs – Front Porch
<b>Owner's Name:</b>	St Fleur Family Investments, LLC
<b>Applicant Name:</b>	Unique Styles Custom Home Builders
<b>Agent/Contractor:</b>	Unique Styles Custom Home Builders
<b>Subject Property Address:</b>	213 E Isabella St
<b>Historic District:</b>	Newton Historic District
<b>Use Category:</b>	Residential
<b>Chairman:</b>	Mr. Scott Saxman
<b>HDC Staff contact:</b>	Amanda Rodriguez City Planner (410) 548-3170

**Salisbury Historic District Commission**

125 N. Division Street  
Room 304  
Salisbury, MD 21801  
(410) 548-3170/ fax (410) 548-3107

Permit Application  
\$150 Fee Received 3/15/24 (date)

**Date Submitted:** 03/15/2024

**Case #:** 24-08

**Date Accepted as Complete:** \_\_\_\_\_

**Action Required By (45 days):** \_\_\_\_\_

Subject Location: 213 E Isabella St Salisbury, MD 21801

Owner Name: St Fleur Family Investments LLC

Application by: Unique Styles Custom Home Builders LLC

Owner Address: 504 Delaware Ave. Salisbury, MD

Applicant Address: 8877 Bi State Blvd Delmar, MD 21875

Owner Phone: 443-497-2531

Applicant Phone: 443-359-5130

Owner Email: hebreuxstfleur@icloud.com

Work Involves:  Alterations  New Construction  Addition  Other \_\_\_\_\_  
 Demolition  Sign  Awning Estimated Cost \$2,500.00

**DESCRIPTION OF WORK PROPOSED** (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Replace decking on front porch with 5/4" x 6" Salt Treated Deck Board.

**Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.**  Yes  No

**Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff?**  Yes  No

**If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historical Trust along with this application.**

**See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION**

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: [www.ci.salisbury.md.us](http://www.ci.salisbury.md.us).

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on April 24, 2024 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's  
Signature Kenneth Shockley

Date 03/15/2024

Amanda Rodriguez  
Secretary, S.H.D.C. (Date)

Application Processor (Date)



Area to  
Be Altered































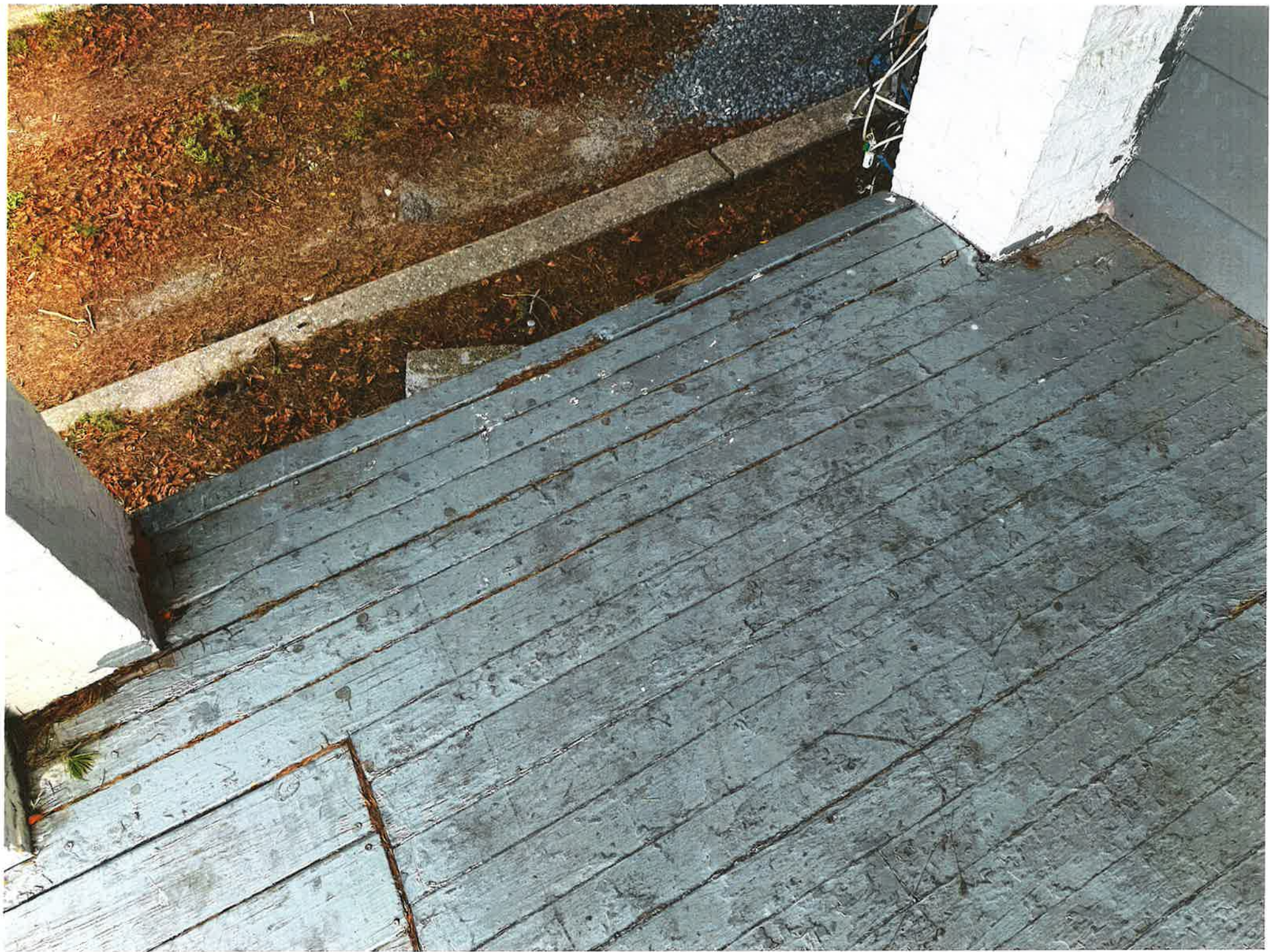






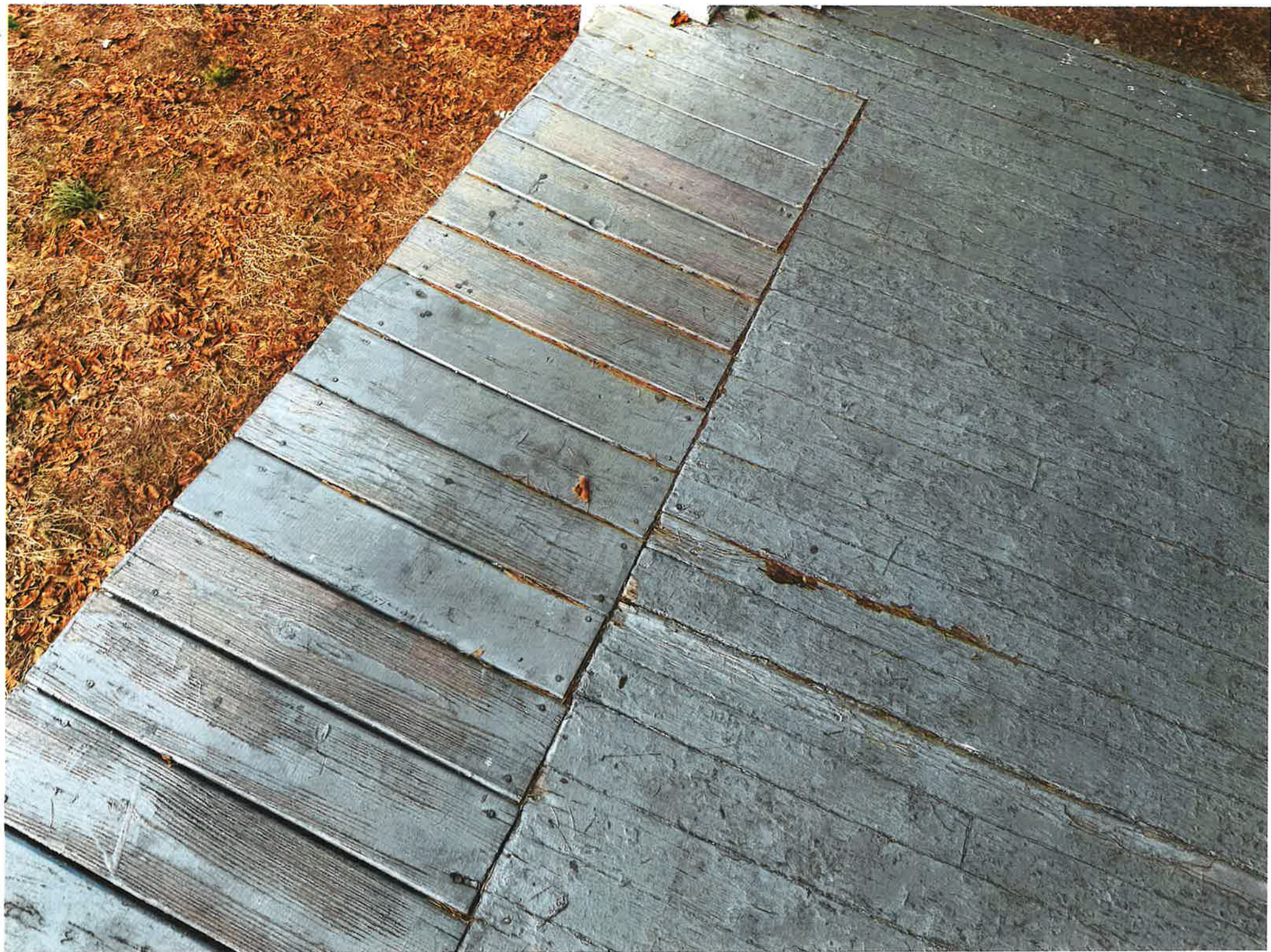










































TRINITY HOME















House to  
the right





House To  
the left

# Elevations



























# Salisbury Historic District Commission

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## STAFF FINDINGS

### Meeting of April 24, 2024

<b>Case Number:</b>	#24-08
<b>Commission Considering:</b>	Repairs – Front Porch
<b>Owner Name:</b>	St Fleur Family Investments, LLC
<b>Owners Address:</b>	540 Delaware Ave Salisbury, MD 21801
<b>Applicant Name:</b>	Unique Styles Custom Home
<b>Applicant's Address:</b>	8877 Bi State Blvd Delmar, MD 21875
<b>Agent/Contractor:</b>	Unique Styles Custom Home
<b>Subject Property Address:</b>	213 E Isabella St Salisbury, MD 21801
<b>Historic District:</b>	Newton Historic District
<b>Use Category:</b>	Residential
<b>Zoning Classification:</b>	General Commercial
<b>Structure / Site Description:</b>	
<b>Built Date:</b>	1920
<b>Enclosed Area:</b>	2,991 sq. ft.
<b>Lot Size:</b>	11,995 sq. ft.
<b>Number of Stories:</b>	Undetermined
<b>Contributing Structure:</b>	TBD

**Wicomico County Historic Survey on file:** Yes

**Nearby Properties on County Survey:** Yes

**Properties included below but not limited to:**

WI-252– 205 E Isabella Street—Thomas H. Tilghman House

**Explanation of Request:** The applicant is seeking approval to replace decking on front porch with 5/4” x6’ salt treated deck board.

**Areas of Historic Guidelines to be considered:**

***Porch Materials (Page 142)***

In Salisbury, most original porch materials are wood, however, brick, stone, and concrete were also historically used. Porch elements typically made of wood include columns, railings, balusters, floors, and decorative elements. While repairing and maintaining historic wood porches is the preferred approach, when it is necessary to replace a floor, column, or railing, some alternative material options exist.

**Flooring**

Composite flooring is a popular substitute material which is made from a mix of plastic and wood fibers.

These materials are formed into planks to imitate wood decking and are installed in a manner similar to

traditional wood planks. The product is sometimes available in a paintable finish.

Use of composite flooring is appropriate for rear decks and may be appropriate on front porches if the

material closely matches the original in profile, dimension, and finish.

***Landscape and Setting (Page 92)***

Landscaping and site features are contributing features within Salisbury’s historic districts. This includes trees

and vegetation, as well as patios, decks, and swimming pools.

Salisbury’s Historic Preservation Ordinance states that routine landscaping that does not have a material

effect on the historic or architectural significance of a property is not subject to review by the SHDC. Major

landscape alterations, however, are subject to SHDC approval and require a COA.

**Guideline 32: General Landscaping**

a. New decks, patios, swimming pools, and playground equipment requiring a permanent

foundation should be situated in the rear of properties rather than at the front elevation. Where appropriate, these additions should be screened from view with landscaping or vegetation. Additions of this type require a COA.

b. Historic landscaping features should be maintained and preserved as any other historic feature on the property. The removal of historic landscaping features, including front lawns, hedge rows, and mature trees should be avoided.

**Best Choice:**

Maintain existing historic landscape features including lawns, patios, and planting arrangements.

**Good Alternative:**

Design new patios and planting arrangements to complement the existing historic features of the property.

**Not Appropriate:**

Replacing a lawn with gravel or synthetic landscaping materials such as Astroturf, or installing artificial plants and/or flowers for the sake of convenience.

Staff Findings Prepared By: Jennifer Jean  
Infrastructure and Development  
125 N Division Street, Suite 304  
Salisbury, MD 21801  
(410) 548-3170  
Date: April 24, 2024



WI-153

## Newtown Historic District

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 05-15-2018***

**MARYLAND HISTORICAL TRUST  
DETERMINATION OF ELIGIBILITY FORM**

Property Name: Newtown Historic District Inventory Number: WI-153  
 Address: \_\_\_\_\_ Historic district:  yes  no  
 City: Salisbury Zip Code: 21801 County: Wicomico  
 USGS Quadrangle(s): Salisbury  
 Property Owner: \_\_\_\_\_ Tax Account ID Number: \_\_\_\_\_  
 Tax Map Parcel Number(s): \_\_\_\_\_ Tax Map Number: 104,106-7  
 Project: TEA-21 DOE Agency: Maryland Historical Trust  
 Agency Prepared By: Maryland Historical Trust  
 Preparer's Name: Nicole Diehlmann Date Prepared: 6/15/2004  
 Documentation is presented in: MIHP Form WI-153  
 Preparer's Eligibility Recommendation:  Eligibility recommended  Eligibility not recommended  
 Criteria:  A  B  C  D Considerations:  A  B  C  D  E  F  G  
*Complete if the property is a contributing or non-contributing resource to a NR district/property:*  
 Name of the District/Property: \_\_\_\_\_  
 Inventory Number: \_\_\_\_\_ Eligible:  yes Listed:  yes  
 Site visit by MHT Staf  yes  no Name: Nicole Diehlmann Date: 12/15/2003

Description of Property and Justification: *(Please attach map and photo)*

The Newtown Historic District is a mid-19th to early-20th century residential community located in the City of Salisbury. The area is roughly bounded by Broad Street/U.S. Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity.

The Newtown Historic District is comprised of 278 properties. Of the 278 properties, 233 contribute to the district and 45 do not contribute. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen

**MARYLAND HISTORICAL TRUST REVIEW**

Eligibility recommended  Eligibility not recommended   
 Criteria:  A  B  C  D Considerations:  A  B  C  D  E  F  G

MHT Comments:

Nicole Diehlmann  
 Reviewer, Office of Preservation Services

Tuesday, June 15, 2004  
 Date

Peter Kurtze  
 Reviewer, National Register Program

Tuesday, June 15, 2004  
 Date

Anne, Shingle Style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended  X  Eligibility not recommended \_\_\_\_\_

Criteria:  X  A   B  X  C   D Considerations:   A   B   C   D   E   F   G

MHT Comments:

\_\_\_\_\_  
Nicole Diehlmann  
Reviewer, Office of Preservation Services

\_\_\_\_\_  
Tuesday, June 15, 2004  
Date

\_\_\_\_\_  
Peter Kurtze  
Reviewer, National Register Program

\_\_\_\_\_  
Tuesday, June 15, 2004  
Date

**Newtown Historic District**  
**WI-153**  
**Salisbury, Wicomico County**  
**1795-1954**

The Newtown Historic District is a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20<sup>th</sup> century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18<sup>th</sup> to the early 20<sup>th</sup> century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned suburban neighborhood. It is significant for its intact collection of late-18<sup>th</sup> to early-20<sup>th</sup> century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

# Maryland Historical Trust Maryland Inventory of Historic Properties Form

Inventory No. WI-153

## 1. Name of Property (indicate preferred name)

historic                      Newtown Historic District

other

## 2. Location

street and number \_\_\_\_\_ not for publication

city, town                      Salisbury \_\_\_\_\_ vicinity

county                      Wicomico

## 3. Owner of Property (give names and mailing addresses of all owners)

name                      Multiple Owners

street and number \_\_\_\_\_ telephone \_\_\_\_\_

city, town                      Salisbury                      state      MD                      zip code      21801

## 4. Location of Legal Description

courthouse, registry of deeds, etc.      Wicomico County Courthouse                      liber                      folio

city, town                      Salisbury                      tax map 104, 106, 107                      tax parcel                      tax ID number

## 5. Primary Location of Additional Data

- Contributing Resource in National Register District  
 Contributing Resource in Local Historic District  
 Determined Eligible for the National Register/Maryland Register  
 Determined Ineligible for the National Register/Maryland Register  
 Recorded by HABS/HAER  
 Historic Structure Report or Research Report at MHT  
 Other: \_\_\_\_\_

## 6. Classification

Category	Ownership	Current Function	Resource Count
<input checked="" type="checkbox"/> district	<input type="checkbox"/> public	<input type="checkbox"/> agriculture	Contributing
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> commerce/trade	233
<input type="checkbox"/> structure	<input checked="" type="checkbox"/> both	<input type="checkbox"/> defense	_____
<input type="checkbox"/> site		<input checked="" type="checkbox"/> domestic	_____
<input type="checkbox"/> object		<input type="checkbox"/> education	_____
		<input type="checkbox"/> funerary	233
		<input type="checkbox"/> government	_____
		<input type="checkbox"/> health care	45
		<input type="checkbox"/> industry	_____
		<input type="checkbox"/> landscape	_____
		<input checked="" type="checkbox"/> recreation/culture	_____
		<input checked="" type="checkbox"/> religion	_____
		<input type="checkbox"/> social	_____
		<input type="checkbox"/> transportation	_____
		<input type="checkbox"/> work in progress	233
		<input type="checkbox"/> unknown	_____
		<input type="checkbox"/> vacant/not in use	45
		<input type="checkbox"/> other:	_____
			Total
			Number of Contributing Resources previously listed in the Inventory
			12

## 7. Description

Inventory No. WI-153

### Condition

excellent      \_\_\_ deteriorated  
 good            \_\_\_ ruins  
 fair              \_\_\_ altered

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

The Newtown Historic District is a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. The area is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

Newtown is a predominantly residential community on the north side of downtown Salisbury that slowly developed from the mid-19<sup>th</sup> century into the early 20<sup>th</sup> century. The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. The district is primarily residential with the exception of a few churches along the southern boundary and some commercial space along Route 13.

Parcels in Newtown were slowly subdivided from a tract of land called "Pemberton's Good Will" beginning in the mid-19<sup>th</sup> century. Early development was clustered along what is now Broad and Division streets. More development occurred after the Civil War when Isabella, Elizabeth and William streets were partitioned for development from the Poplar Hill Mansion property. The 1877 Atlas for Salisbury shows a street system very close to what exists today, with the exception of Park Avenue, Oakdale Road and Elizabeth Street, which don't appear. Development at that time is clustered on the southern end of the district, principally on Division, Broad, Chestnut and Walnut streets.<sup>1</sup> The neighborhood seems to have been almost built out by the time the September 1899 Sanborn Map was published. That map shows very few vacant parcels left in the community. The area along Oakdale Road, on the property once called The Oaks, was the last portion of the district to be developed.

Despite the long period of development, the Newtown streetscape is rhythmic with an irregular gridiron layout and a relatively consistent setback. Lot sizes are irregular, but the houses are large in scale and placed fairly close together. The houses are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The streets are lined with mature trees.

Newtown is significant for its broad array and distinguished examples of 19<sup>th</sup> to early 20<sup>th</sup> century architectural styles. As a result of fires in 1860 and 1886, there are few remaining antebellum houses in Salisbury. Two of them are located in Newtown. Poplar Hill Mansion [WI-8], located at 117 Elizabeth Street, is the oldest known structure in the City of Salisbury. Construction of the two-story, five-bay frame structure with fine federal-style detailing, including a Palladian window, block cornice and decorative fanlight over the entrance door, was begun circa 1795 when Levin Handy purchased the property. This property is currently operated as a house museum. The rear wing of the 1897 Robert D. Grier house [WI-62] at 315 North Division Street, was originally the two-story, five-bay frame Thomas Hooper House which dates to circa 1820. Now functioning as a service wing, the structure was originally a center hall plan house with fine federal detailing.<sup>2</sup>

The Greek Revival style is well represented in Newtown. Probably the most notable is the three-story, five-bay frame house located at 115 Broad Street, formerly known as "Park Hall," which was the residence of merchant and mill owner General Humphrey Humphreys. According to an inscribed board, the house dates to 1856. The double pile house is three stories tall with a center hall and low pitched roof with wide eaves. The first two stories are clad in weatherboard with 6/6 sash windows while the shorter third story is clad in flush board siding with casement windows. The first and second stories are encased in vertical corner pilasters on which the third floor appears to rest as a classical entablature. The interior also retains Greek-inspired finishes. Similar to this house is the Dr. Cathell Humphreys house (later known as "Mrs. Herold's School") at 325 N. Division Street. This building, constructed c.

<sup>1</sup> Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976), p. 18.

<sup>2</sup> Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003; Touart, Paul Baker, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files; and "Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
Continuation Sheet

Number 7 Page 1

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1860-1870 by General Humphrey Humphrey's brother, is a three-story, three-bay center hall dwelling with weatherboard sheathing on the first two stories and flush board sheathing on the third. The eaves under the hipped roof are marked with large decorative brackets. Other Greek Revival structures remaining in Newtown include Hatfield Manor on Division Street, which was constructed for local merchant Theodore Parsons and his wife, Margaret Bell Parsons. This three-story, five-bay, center-hall structure with flanking two-story wings and a low pitched roof retains its Corinthian columns and bracketed cornice.<sup>3</sup>

Elihu E. Jackson, a lumber magnate and Governor of Maryland, and his wife Nellie Rider Jackson lived on the large estate known as The Oaks on the north side of Newtown. The house was located on the northwest corner of North Division and West Isabella streets and designed in the Queen Anne style by Jackson C. Gott of Baltimore in 1883-84. At the time, it was the largest house constructed in Salisbury with over twenty rooms. It was located on an elevated site and was decorated with an asymmetrical collection of towers, gables and porches. In August 1887, it was one of the first houses in Salisbury to be electrified. The structure was demolished in the 1920s to make way for new residential development.<sup>4</sup>

Other notable Queen Anne dwellings in Newtown include the 1887-8 Gillis-Grier house [WI-13] at the corner of North Division and William streets (401 N. Division Street). Built for merchant James Cannon, the asymmetrical house sports a three-story octagonal tower with conical roof, brick chimneys with corbelled caps and terra cotta and woodwork panels. In 1897, Robert D. Grier, a foundry owner, purchased property at 501 North Division Street. He moved the existing dwelling and hired Salisbury builder William J. Johnson to construct a new house on the front of the property. The new portion of the house contains many Queen Anne details including a three story circular tower with conical roof and fishscale shingles. Throughout the Newtown district, there are many more modest dwellings with Queen Anne detailing. One example is the 1898 William M. Day house [WI-245] at the corner of East Isabella Street and Poplar Hill Avenue (119 E. Isabella Street). This two-and-a-half story house is sheathed in a mix of narrow weatherboards, decorative panels and fish scale shingles, and contains multisided bays.<sup>5</sup>

The Perry-Cooper house [WI-106] at the corner of William and Gay streets (200 E. William Street) in Newtown is an outstanding example of the Second Empire style. It was constructed in 1897 for Thomas Perry, the owner of the *Salisbury Advertiser*. It maintains its distinctive mansard roof and circular front porch, and is notable for the unusual swag design found in the cornice and window lintels.<sup>6</sup>

The American Four-Square was a popular house type in the early 20<sup>th</sup> century. They are defined by their two-and-a-half story height, square massing and hipped or pyramidal roof. They were often ornamented with Colonial Revival and Craftsman design motifs. One such example in Newtown is the 1910 L. Atwood Bennett house on Elizabeth Street. Constructed for a Salisbury attorney, the dwelling is notable for its neoclassical porch and exposed rafter ends.<sup>7</sup>

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<sup>3</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>4</sup> Touart, *At the Crossroads*.

<sup>5</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>6</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>7</sup> Touart, *At the Crossroads*.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
**Continuation Sheet**

Number 7 Page 2

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The properties on Oakdale and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, differ from the rest of the district. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style. The eastern half of the block between Isabella Street and Oakdale Road is now a community park.

The Newtown neighborhood also contains several significant institutional buildings. These include the Charles H. Chipman Cultural Center, which was formerly the John Wesley M.E. Church. The John Wesley M.E. congregation was formed in 1837 by a group of free blacks. They constructed a one-story frame church on a Newtown lot they purchased in 1838 at what is now 321 Broad Street. The church was renovated and raised to two stories in 1880, and in 1901 a tower was added to the front. The building now houses a museum interpreting local African-American history.<sup>8</sup>

In 1859, Salisbury's Wicomico Presbyterian Church congregation began construction of a large brick church with Romanesque Revival details at what is now 129 Broad Street. This larger church replaced their former place of worship, a one-story building on Broad Street. The church with its rounded arched windows was dedicated on March 24, 1861. The entrance tower and steeple, designed by Baltimore architectural firm Owens & Sisco, was added in 1910.<sup>9</sup>

The original Asbury Methodist Episcopal Church was destroyed by the 1886 fire, but was reconstructed in 1887-8. The new church, financed by wealthy lumber merchant William H. Jackson, was designed by Baltimore architect Jackson C. Gott in the Romanesque Revival style and constructed in Port Deposit stone. The church was unique because the sanctuary was oriented on a diagonal with a corner pulpit and theatre-style seating. The building now houses the Faith Community Church at 219 N. Division Street.<sup>10</sup>

Trinity Methodist Church [WI-64], at the corner of North Division and High Street, was designed by the Baltimore architectural firm, C.E. Cassell & Son, and constructed in 1904-5. Built in the Richardsonian Romanesque style with Port Deposit granite and limestone accents, the building is notable for its windows made by the studios of Louis Comfort Tiffany.<sup>11</sup>

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<sup>8</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>9</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>10</sup> Touart, *At the Crossroads*.

<sup>11</sup> "Architectural Walking Tour of Newtown Historic District."



# 8. Significance

Inventory No. WI-153

Period	Areas of Significance	Check and justify below		
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> health/medicine	<input type="checkbox"/> performing arts
<input checked="" type="checkbox"/> 1700-1799	<input type="checkbox"/> archeology	<input type="checkbox"/> education	<input type="checkbox"/> industry	<input type="checkbox"/> philosophy
<input checked="" type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> engineering	<input type="checkbox"/> invention	<input type="checkbox"/> politics/government
<input checked="" type="checkbox"/> 1900-1999	<input type="checkbox"/> art	<input type="checkbox"/> entertainment/ recreation	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 2000-	<input type="checkbox"/> commerce	<input type="checkbox"/> ethnic heritage	<input type="checkbox"/> law	<input type="checkbox"/> science
	<input type="checkbox"/> communications	<input type="checkbox"/> exploration/ settlement	<input type="checkbox"/> literature	<input type="checkbox"/> social history
	<input type="checkbox"/> community planning		<input type="checkbox"/> maritime history	<input type="checkbox"/> transportation
	<input type="checkbox"/> conservation		<input type="checkbox"/> military	<input type="checkbox"/> other: _____

Specific dates 1795-1954

Architect/Builder

### Construction dates

Evaluation for:

National Register       Maryland Register       not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance projects, complete evaluation on a DOE Form – see manual.)

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the early 20<sup>th</sup> century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18<sup>th</sup> to the early 20<sup>th</sup> century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion C as a outstanding example of a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned suburban neighborhood. The neighborhood maintains its integrity of location, design, setting, materials, association and feeling. It is significant for its intact collection of late-18<sup>th</sup> to early-20<sup>th</sup> century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

The City of Salisbury was established in 1732 on fifteen acres of land between the north and east branches of the Wicomico River. Despite its location on the dividing line of what was then Somerset and Worcester counties, by the end of the 18<sup>th</sup> century, Salisbury had developed into a commercial center. According to architectural historian Paul Touart, much of this growth was fueled by "the speculation and subdivision of additional parts of "Pemberton's Good Will," one of the principal tracts on which the city was laid out. The newly partitioned land was located along the Salisbury-Laurel [Delaware] Road between High Street and modern-day West Isabella Street."<sup>12</sup> A large mill complex was established in 1769 on the north prong of the Wicomico River by Littleton Dennis and Josiah and Gilliss Polk which by 1774 contained two grist mills, a bolting mill and a saw mill on eighty acres of land. The surviving 1798 Direct Tax records for Somerset County show a diversity of commercial, industrial and domestic structures located primarily between the two forks of the Wicomico River. Almost a third of the dwellings were classified as "new," indicating the town was experiencing a growth spurt.<sup>13</sup>

Outside of this developed area were several large land holdings, including the 357-acre plantation owned by Levin Handy. This property was called Poplar Hill, but was originally a portion of "Pemberton's Good Will." Levin Handy purchased the property in 1795 and shortly thereafter began construction of the two-story, five-bay frame structure with fine federal-style detailing now known as Poplar Hill Mansion. The house was not completed by Handy, however. In 1805, John Huston, a doctor who also owned and operated a downtown bank, acquired the property and finished construction.<sup>14</sup>

During the late 18<sup>th</sup> century, a 74.75-acre parcel of "Pemberton's Good Will," located between what is now High and West Isabella streets, was acquired by another of Salisbury's early physicians, Dr. Martin Luther Haynie. Dr. Haynie subdivided the land into smaller, irregularly-sized parcels that fronted the west side of what was then known as Dividing or Boundary Street. The 1798 Federal Direct tax assessment indicates that these properties were located in "Haynie's Settlement" and were mostly unimproved. It is unclear how much development occurred there in the first quarter of the nineteenth century, but by the 1820s, the area was referred to as "New Town" in property transfers.<sup>15</sup>

<sup>12</sup> Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

<sup>13</sup> Touart, *At the Crossroads*; Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood;" and "Architectural Walking Tour of Newtown Historic District."

<sup>14</sup> Touart, *At the Crossroads*.

<sup>15</sup> Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
Continuation Sheet

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Salisbury continued to grow in the early 19<sup>th</sup> century, mostly because of its commercial and industrial enterprises and its location on the Wicomico River and the primary north-south road of the Delmarva Peninsula. The area of Newtown was incorporated into Salisbury's corporate limits in 1847. At that time, most of the construction activity within Newtown was limited to parcels bordering on Broad, High, and Dividing streets. The additional acreage within the current-day boundaries of Newtown was still owned by Dr. John and Sarah Huston of Poplar Hill.<sup>16</sup>

By the time the railroad reached Salisbury in April 1860, the town boundaries had expanded dramatically and the population neared 2,000 residents. The next several years brought setbacks for the town—an August 1860 fire devastated much of the town, and by 1862 the town was occupied by federal forces seeking confederate sympathizers. By the end of the war, however, Salisbury was recovering from the ravages of fire. Many residents chose to rebuild their houses outside of the commercial district in Newtown. The pace of construction was brisk along Division Street. Three new east-west streets were created from land subdivided from the Poplar Hill property. They were named after the children of Poplar Hill's owners, John and Sarah Huston—Isabella, Elizabeth and William.<sup>17</sup>

In 1867, the Maryland legislature passed a new constitution with an amendment authorizing the partition of Somerset and Worcester counties and the creation of a new jurisdiction named after the Wicomico River. Salisbury became the county seat of the new Wicomico County and grew in influence. During the 1870s, an extensive railroad network was developed on the Eastern Shore. Many of these lines intersected at Salisbury, transforming the town into a transportation hub. At the same time, dredging and other improvements to the Wicomico River improved the town's shipping capacity. These positive economic factors led to a building boom in Salisbury that would last to the end of the century.<sup>18</sup>

Fire struck the town once again on October 18, 1886. Ignited in a livery stable downtown, the fire quickly spread throughout the city. Wet blankets were effectively used to protect the roofs of Newtown houses from catching on fire. With help from the Wilmington, Pocomoke City and Crisfield fire departments, the north and easternmost portions of the blaze were extinguished by Broad and Division streets, saving the residence of Dr. Eugene Humphreys [the General Humphrey Humphreys House] at 115 Broad Street. Salisbury quickly recovered from this second major fire and Newtown once again became a center of residential construction.<sup>19</sup>

As a result of its ever-growing industrial, commercial and agricultural economy, from the 1880s to the 1920s, Salisbury's population grew from nearly 4,000 to over 10,000 residents. This population growth spurred demand for housing. To meet this need, some local businessmen constructed rowhouse units on smaller parcels of land. There is a series of such brick rowhouse units in Newtown on Poplar Hill Avenue, but the neighborhood remained one of primarily single-family detached houses.<sup>20</sup>

The properties on Oakdale Road and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, were the last to be developed and represent building trends in the early 20<sup>th</sup> century. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style.

The Newtown Historic District contains examples of almost all architectural styles popular in the United States from the late 18<sup>th</sup> to the early 20<sup>th</sup> century. These high-style structures were built by Salisbury's elite and represent the City's growing importance on Maryland's Eastern Shore.

<sup>16</sup> Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

<sup>17</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>18</sup> Touart, *At the Crossroads*.

<sup>19</sup> Touart, *At the Crossroads*.

<sup>20</sup> Touart, *At the Crossroads*.

## 9. Major Bibliographical References

Inventory No. WI-153

"Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003.

-----, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files.

Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976).

## 10. Geographical Data

Acreage of surveyed property 74.98  
Acreage of historical setting 74.98  
Quadrangle name Salisbury

Quadrangle scale: 1:24,000

### Verbal boundary description and justification

The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. This area contains a concentrated collection of significant historic properties that were originally subdivided from the tract "Pemberton's Good Will." Some properties facing the west side of U.S. Business Route 13 are not included in the district because they do not retain sufficient integrity to contribute to the district's significance.

## 11. Form Prepared by

name/title	Nicole A. Diehlmann		
organization	Maryland Historical Trust	date	June 30, 2004
street & number	100 Community Place	telephone	410-514-7625
city or town	Crownsville	state	MD

The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
DHCD/DHCP  
100 Community Place  
Crownsville, MD 21032-2023  
410-514-7600

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
	Contributing	0107	1002	2	1	
	Contributing	0107	1863		PAR B	
209 ASBURY PL		0107	0749			
211 ASBURY PL		0107	0750			
213 ASBURY PL		0107	0751			
101 BROAD ST	Contributing	0107	0753			
115 BROAD ST	Contributing	0107	0752			WI-14
123 BROAD ST	Contributing	0107	0748			
207 BROAD ST	Contributing	0104	0747			
221 BROAD ST	Contributing	0107	0745			WI-151
225 BROAD ST	Contributing	0104	0744			
227 BROAD ST	Contributing	0107	0743			
325 BROAD ST	Contributing	0107	0740		2	
323 N BROAD ST	Contributing	0107	1864		2	
327 N BROAD ST		0107	1862	0	0	
112 CHESTNUT ST		0107	0746			
107 E CHESTNUT ST		0107	0758			
109 E CHESTNUT ST	Contributing	0107	0759			
119 E CHESTNUT ST	Contributing	0107	0760			
121 E CHESTNUT ST	Contributing	0107	0761			
104 W CHESTNUT ST	Contributing	0107	0995	5	5	
107 W CHESTNUT ST	Contributing	0107	0957	4	28	
111 W CHESTNUT ST	Contributing	0107	0958	4	1	
106 COLONIAL CT	Contributing	0107	0952	4	23	
104 S COLONIAL CT	Contributing	0107	0953	4	25	
217 N DIVISION ST	Contributing	0107	0754			
218 N DIVISION ST	Contributing	0107	0999	5	4	
224 N DIVISION ST	Contributing	0107	0998	5	3	

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
225 N DIVISION ST	Contributing	0107	0757			
226 N DIVISION ST	Contributing	0107	0997			
228 N DIVISION ST	Contributing	0107	0996			
300 N DIVISION ST	Contributing	0107	0956			
301 N DIVISION ST		0107	0756			
302 N DIVISION ST	Contributing	0107	0955	4	26	
304 N DIVISION ST		0107	0954			
305 N DIVISION ST	Contributing	0107	0773			
308 N DIVISION ST	Contributing	0107	0951	4	24	
309 N DIVISION ST	Contributing	0107	0772			
312 N DIVISION ST	Contributing	0107	0950	4	22	
313 N DIVISION ST	Contributing	0107	0774			
314 N DIVISION ST		0107	0949	4	21	
315 N DIVISION ST	Contributing	0107	0810			WI-62
316 N DIVISION ST	Contributing	0107	0948	4	20	
319 N DIVISION ST	Contributing	0107	0811			
320 N DIVISION ST	Contributing	0107	0947	4	19A	WI-110
321 N DIVISION ST	Contributing	0107	0812			
322 N DIVISION ST	Contributing	0107	0946		0	
324 N DIVISION ST	Contributing	0107	0945	4	17	
325 N DIVISION ST	Contributing	0107	0813			
326 N DIVISION ST	Contributing	0107	1867		0	
328 N DIVISION ST	Contributing	0107	0943	4	15	
401 N DIVISION ST	Contributing	0107	0678			WI-13
403 N DIVISION ST	Contributing	0107	0677	2	23	
407 N DIVISION ST	Contributing	0107	0676			
408 N DIVISION ST	Contributing	0107	0941		0	
501 N DIVISION ST	Contributing	0104	0635			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
509 N DIVISION ST	Contributing	0104	0634			WI-360
601 N DIVISION ST	Contributing	0104	0608			WI-361
605 N DIVISION ST	Contributing	0104	0607			
607 N DIVISION ST	Contributing	0104	0606			
611 N DIVISION ST	Contributing	0104	0605			
613 N DIVISION ST	Noncontributing	0104	0604			
102 ELIZABETH ST	Contributing	0104	0633			
103 ELIZABETH ST	Contributing	0104	0609			WI-364
104 ELIZABETH ST	Contributing	0104	0632			
105 ELIZABETH ST	Contributing	0104	0610			
106 ELIZABETH ST	Contributing	0104	0631			
107 ELIZABETH ST	Contributing	0104	0611			
108 ELIZABETH ST	Noncontributing	0104	0630			
109 ELIZABETH ST	Contributing	0104	0612			
111 ELIZABETH ST	Contributing	0104	0613			
113 ELIZABETH ST	Contributing	0104	0614			
114 ELIZABETH ST	Contributing	0104	0628			
116 ELIZABETH ST	Contributing	0104	0627			
117 ELIZABETH ST	Contributing	0104	0615			WI-8
202 ELIZABETH ST	Contributing	0104	0624			
203 ELIZABETH ST	Contributing	0104	0616			
204 ELIZABETH ST	Contributing	0104	0623			
205 ELIZABETH ST	Contributing	0104	0617			
206 ELIZABETH ST		0104	0622			
208 ELIZABETH ST	Contributing	0104	0621			
210 ELIZABETH ST	Contributing	0104	0620			
306 ELLEN ST		0107	0702			
324 ELLEN ST	Contributing	0107	0706			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

<b>Address</b>	<b>Contributing Resource?</b>	<b>Map</b>	<b>Parcel</b>	<b>Block</b>	<b>Lot</b>	<b>Inventory No.</b>
305 GAY ST	Contributing	0107	0796			
306 GAY ST	Contributing	0107	0797			
307 GAY ST	Contributing	0107	0795			
308 GAY ST	Contributing	0107	0798			
309 GAY ST	Contributing	0107	0794			
310 GAY ST		0107	0799			
311 GAY ST	Contributing	0107	0793			
312 GAY ST	Contributing	0107	0800			
313 GAY ST	Contributing	0107	0792			
317 HAPPY LANE		0107	0730			
101 HIGH ST		0107	1000	6	1	
105 HIGH ST	Contributing	0107	1001	6	2	
107 HIGH ST	Contributing	0107	1005			
109 HIGH ST	Contributing	0107	1006	6	4	
106 HIGH ST	Contributing		1003			
111 HIGH ST	Contributing		1007			
113 HIGH ST			1008			
102 E ISABELLA ST	Contributing	0107	0675			
103 E ISABELLA ST	Contributing	0104	0636			WI-328
104 E ISABELLA ST	Contributing	0107	0674			
105 E ISABELLA ST	Contributing	0104	0637			
106 E ISABELLA ST	Contributing	0107	0673			
107 E ISABELLA ST	Contributing	0104	0638			
108 E ISABELLA ST	Contributing	0107	0672			
109 E ISABELLA ST	Contributing	0104	0639			
110 E ISABELLA ST	Contributing	0107	0671			
111 E ISABELLA ST	Contributing	0104	0640			
112 E ISABELLA ST	Contributing	0107	0670			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
113 E ISABELLA ST	Contributing	0104	0641			
114 E ISABELLA ST	Contributing	0107	0669			
116 E ISABELLA ST	Contributing	0107	0668			
117 E ISABELLA ST	Contributing	0104	0642		2	
118 E ISABELLA ST	Contributing	0107	0667			
119 E ISABELLA ST	Contributing	0104	0643			WI-245
120 E ISABELLA ST	Contributing	0107	0664			
204 E ISABELLA ST	Contributing	0107	0662			
205 E ISABELLA ST	Contributing	0104	0648			
206 E ISABELLA ST	Contributing	0107	0661			
207 E ISABELLA ST	Contributing	0104	0649			
209 E ISABELLA ST	Contributing	0104	0650			
210 E ISABELLA ST	Contributing	0107	0660			
211 E ISABELLA ST	Contributing	0104	0651			
213 E ISABELLA ST	Contributing	0104	0652			
214 E ISABELLA ST	Contributing	0107	0659			
215 E ISABELLA ST	Contributing	0104	0653			
216 E ISABELLA ST		0107	0658			
220 E ISABELLA ST	Contributing	0107	0657			
222 E ISABELLA ST	Contributing	0107	0656			
104 W ISABELLA ST	Contributing	0107	0976	3	6	
108 W ISABELLA ST	Contributing	0107	0975	3	5	
110 W ISABELLA ST	Contributing	0107	0974	3	4	
205 W ISABELLA ST	Contributing	0104	0925		24	
208 W ISABELLA ST	Contributing	0106	0977		1	
LEMMON HILL LN			1010			
305 LEMMON HILL LN	Contributing		1009			
313 LEMMON HILL LN	Contributing		1011			



## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
315 LEMMON HILL LN	Contributing		1012			
309 LESTER CT	Contributing	0107	0804			
101 OAKDALE ROAD	Noncontributing	0104	0912	3	1 2 3	
105 OAKDALE ROAD	Noncontributing	0104	0913			
107 OAKDALE ROAD	Contributing	0104	0914			
201 OAKDALE ROAD	Contributing	0104	0915			
207 OAKDALE ROAD	Noncontributing	0104	0916		10A	
208 OAKDALE ROAD		0104	0931			
212 OAKDALE ROAD	Noncontributing	0104	0930			
213 OAKDALE ROAD	Noncontributing	0104	0917			
215 OAKDALE ROAD	Contributing	0104	0918			
219 OAKDALE ROAD		0104	0919			
221 OAKDALE ROAD		0104	0920			
223 OAKDALE ROAD	Noncontributing	0104	0921			
225 OAKDALE ROAD	Noncontributing	0104	0927			
300 PARK AVE	Contributing	0106	0991	2	1	
302 PARK AVE	Contributing	0106	0990	2	2	
303 PARK AVE	Contributing	0107	0959	4	2	
304 PARK AVE	Contributing	0106	0989	2	3	
305 PARK AVE	Contributing	0107	0960	4	4	
306 PARK AVE	Contributing	0106	0988	2	4	
307 PARK AVE	Contributing	0107	0961	4	4	
308 PARK AVE	Contributing	0106	0987	2	5	
309 PARK AVE	Contributing	0107	0962			
310 PARK AVE	Contributing	0106	0986	2	6	
311 PARK AVE	Contributing	0107	0963	4	6	
312 PARK AVE	Contributing	0106	0985	2	7	
314 PARK AVE	Contributing	0106	0984	2	8	

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
315 PARK AVE	Contributing	0107	0964			
316 PARK AVE	Contributing	0106	0983		4	
317 PARK AVE	Contributing	0107	0965	4	8	
318 PARK AVE	Contributing	0106	0982	2	10	
319 PARK AVE	Contributing	0107	0966	4	9	
320 PARK AVE	Contributing	0106	0981	2	11	
321 PARK AVE	Contributing	0107	0967	4	10	
323 PARK AVE	Contributing	0107	0968		0	
400 PARK AVE	Contributing	0106	0980	2	12	
402 PARK AVE	Contributing	0106	0979	2	13	
403 PARK AVE	Contributing	0107	0972	3	2	
405 PARK AVE	Contributing	0107	0973	3	3 4	
406 PARK AVE	Contributing	0106	0978	2	14	
500 PARK AVE	Contributing	0104	0928	2	5 6	
504 PARK AVE	Contributing	0104	0932			
507 PARK AVE	Contributing	0104	0936			
508 PARK AVE	Contributing	0104	0933			
511 PARK AVE	Contributing	0104	0937			
513 PARK AVE	Noncontributing	0104	0938	1	14 17	
519 PARK AVE	Noncontributing	0104	0939			
106 PARSONS ST	Noncontributing	0107	0807			
107 PARSONS ST	Contributing	0107	0808			
108 PARSONS ST	Contributing	0107	0806			
109 PARSONS ST	Contributing	0107	0809			
110 PARSONS ST	Contributing	0107	0803			
112 PARSONS ST	Contributing	0107	0802			
114 PARSONS ST	Contributing	0107	0801			
300 POPLAR HILL AVE	Noncontributing	0107	0742			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
304 POPLAR HILL AVE	Contributing	0107	0741			
310 POPLAR HILL AVE	Contributing	0107	0782			
314 POPLAR HILL AVE	Contributing	0107	0783			
316 POPLAR HILL AVE	Contributing	0107	0784			
318 POPLAR HILL AVE	Contributing	0107	0785			
319 POPLAR HILL AVE	Contributing	0107	0718	3	9	
320 POPLAR HILL AVE	Contributing	0107	0786			
321 POPLAR HILL AVE		0107	0717			
322 POPLAR HILL AVE	Contributing	0107	0787			
323 POPLAR HILL AVE	Contributing	0107	0716			
324 POPLAR HILL AVE	Contributing	0107	0788			
325 POPLAR HILL AVE		0107	0715			
326 POPLAR HILL AVE	Contributing	0107	0789			
327 POPLAR HILL AVE		0107	0714			
329 POPLAR HILL AVE	Contributing	0107	0713			
404 POPLAR HILL AVE	Contributing	0107	0687			
405 POPLAR HILL AVE	Contributing	0107	0690		3A	
406 POPLAR HILL AVE	Contributing	0107	0666			
407 POPLAR HILL AVE	Contributing	0107	0689		2	
408 POPLAR HILL AVE	Contributing	0107	0665			
409 POPLAR HILL AVE	Contributing	0107	0688		32	
411 POPLAR HILL AVE	Contributing	0107	0663			WI-246
501 POPLAR HILL AVE	Contributing	0104	0647			
504 POPLAR HILL AVE	Contributing	0104	0644		3	
505 POPLAR HILL AVE	Contributing	0104	0646			
507 POPLAR HILL AVE	Contributing	0104	0645			
508 POPLAR HILL AVE	Contributing	0104	0626			
511 POPLAR HILL AVE	Contributing	0104	0625			WI-247

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

<u>Address</u>	<u>Contributing Resource?</u>	<u>Map</u>	<u>Parcel</u>	<u>Block</u>	<u>Lot</u>	<u>Inventory No.</u>
315 E RAILROAD AVE	Contributing	0107	0986			
416 N SALISBURY BLVD	Contributing	0107	0655			
510 N SALISBURY BLVD	Contributing	0104	0654			
104 WALNUT ST		0107	0771			
107 WALNUT ST	Contributing	0107	0775			
108 WALNUT ST	Contributing	0107	0769			
110 WALNUT ST		0107	0755			
111 WALNUT ST	Contributing	0107	0776			
113 WALNUT ST	Contributing	0107	0777			
114 WALNUT ST	Contributing	0107	0767			
115 WALNUT ST	Contributing	0107	0778			
116 WALNUT ST	Contributing	0107	0766			
119 WALNUT ST	Contributing	0107	0779			
200 WALNUT ST	Contributing	0107	0765			
201 WALNUT ST		0107	0780			
204 WALNUT ST	Contributing	0107	0764			
205 WALNUT ST	Contributing	0107	0781			
206 WALNUT ST	Contributing	0107	0763			
208 WALNUT ST		0107	0762			
100 E WILLIAM ST	Noncontributing	0107	0814			
104 E WILLIAM ST	Contributing	0107	0815			
106 E WILLIAM ST	Contributing	0107	0816			
107 E WILLIAM ST	Contributing	0107	0679			
108 E WILLIAM ST	Contributing	0107	0817			
109 E WILLIAM ST	Contributing	0107	0680			
110 E WILLIAM ST	Contributing	0107	0818			
111 E WILLIAM ST	Contributing	0107	0681			
112 E WILLIAM ST	Contributing	0107	0819			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
113 E WILLIAM ST	Noncontributing	0107	0682			
114 E WILLIAM ST	Contributing	0107	0820			
115 E WILLIAM ST	Contributing	0107	0683			
200 E WILLIAM ST	Contributing	0107	0791			WI-106
201 E WILLIAM ST	Contributing	0107	0684			
202 E WILLIAM ST	Contributing	0107	0790			
203 E WILLIAM ST	Contributing	0107	0685			
205 E WILLIAM ST	Contributing	0107	0686			
300 E WILLIAM ST	Contributing	0107	0712			
301 E WILLIAM ST	Contributing	0107	0692		29A	
303 E WILLIAM ST	Contributing	0107	0694	I	26A	
304 E WILLIAM ST	Contributing	0107	0711			
305 E WILLIAM ST	Contributing	0107	0694	I	27B	
306 E WILLIAM ST	Contributing	0107	0710			
307 E WILLIAM ST	Contributing	0107	0695			
308 E WILLIAM ST	Contributing	0107	0709			
309 E WILLIAM ST	Contributing	0107	0696			
310 E WILLIAM ST	Contributing	0107	0708			
311 E WILLIAM ST	Contributing	0107	0697		3	
312 E WILLIAM ST	Contributing	0107	0707			
102 W WILLIAM ST	Contributing	0107	0971	4	14	
104 W WILLIAM ST	Contributing	0107	0970	4	13	
108 W WILLIAM ST	Contributing	0107	0969		0	
108 WILSON ST		0104	0603			
120 WILSON ST	Noncontributing	0104	0602			
122 WILSON ST	Noncontributing	0104	0601			

W1-153  
 NEWTOWN HD  
 Salisbury QUAD

**SALISBURY BUSINESS REFERENCES.**

**Offices**  
 S. F. TOADYNER, Clerk of the Court.  
 L. F. HUMPHREYS, Deputy Clerk.  
 WILLIAM BUCKENHAM, Register of Wills.  
 W. H. CATHELL, Postmaster.  
 JAMES GILLIES, Judge of Orphans' Court.  
 RICHARD P. DABBY, Commissioner.  
 EARL E. FOGAR, Commissioner.

**Attorneys at Law.**  
 LEMUEL MALONE, Attorney at Law.  
 J. A. FARROW, " "  
 THOMAS HUMPHREYS, " "

**Carriage and Blacksmiths.**  
 T. B. FREENEY, Blacksmith and Carriage-maker.  
 All work promptly and neatly done. Shop on Spring Hill Farm.  
 JAMES L. HENRY, Blacksmith and Wheelwright.  
 Shop at his residence.

**Dry Goods, Clothing and Groceries.**  
 JOHN WHITE, Dealer in Dry Goods, Groceries, Hardware, Gunpowder, Stationery, &c.  
 W. A. LIND & S. BRADSHAW, Dealers in Clothing, Carpet, Upholstery, &c. No. 42 Main St.  
 M. L. WELLS AND SON, Wholesale and Retail Dealers in Groceries, Provisions, Stationery, Cutting, Trunks, Wood and Willow-ware, Fishing Tackle, Cigars and Manila Bags, Corsets, &c. No. 72 Main Street.  
 J. T. RAYMAN, Dealer in Groceries, Tobacco, Stationery and General Merchandise. No. 54 Main Street.

**Millers.**  
 LEMUEL MALONE, Editor of the "Salisbury Advertiser."  
 F. C. BELL, Editor and Publisher of the "Eastern Shoreman."

**Fruit Dealer.**  
 W. H. CATHELL, Dealer in, and Grower of Small Fruits. Salisbury, Md.

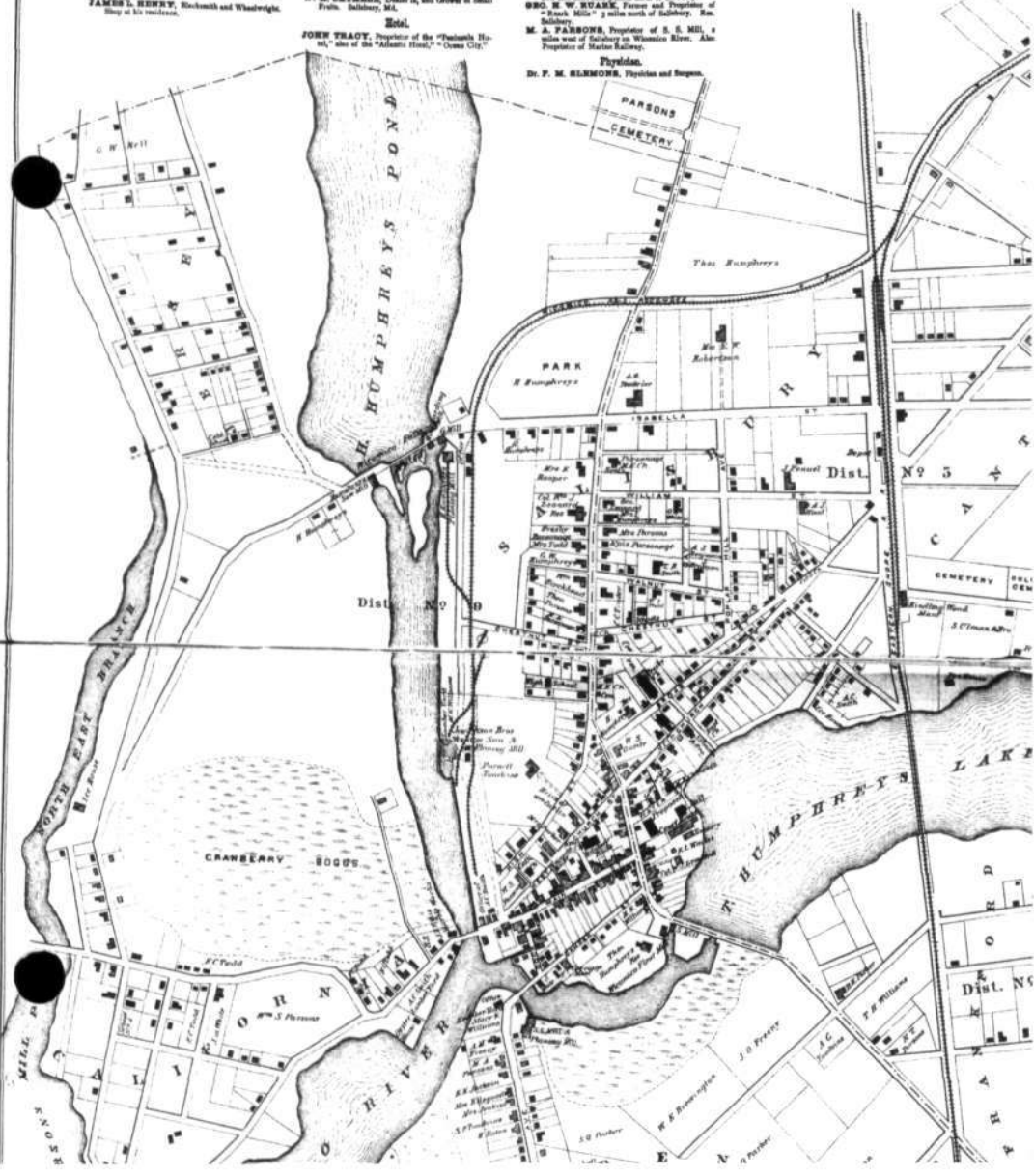
**Hotel.**  
 JOHN TRACY, Proprietor of the "Falmouth House," one of the "Admiral Hotel," "Queen City."

**Lumber Dealers.**  
 A. C. SMITH AND CO., Wholesale Dealers in Lumber, Shingles, Soft, Hard, Blanks and Building Materials. Salisbury, Md.  
 H. HUMPHREYS, Manufacturer of, and Wholesale and Retail Dealer in Lumber, Flooring, and Board Shingles, House-trimming, Box-board, Oak Lumber suitable for Veneer, Bannock, Oak, Walnut, Oak and Cherry Hubs, Balusters, Spiral Posts, Posts, Shingles, Post Clips, Frames, Brooms, Handles, Springs, Windows, Frames. Shoring of all kinds and Styles of Wood and Lumber Specialty. Wood worked from July 1st to October 1st. Also Manufacturer of Flour, Meal and Feed Stuff. Warehouse Park Hill, No. 1 Mill Street, Salisbury, Md.

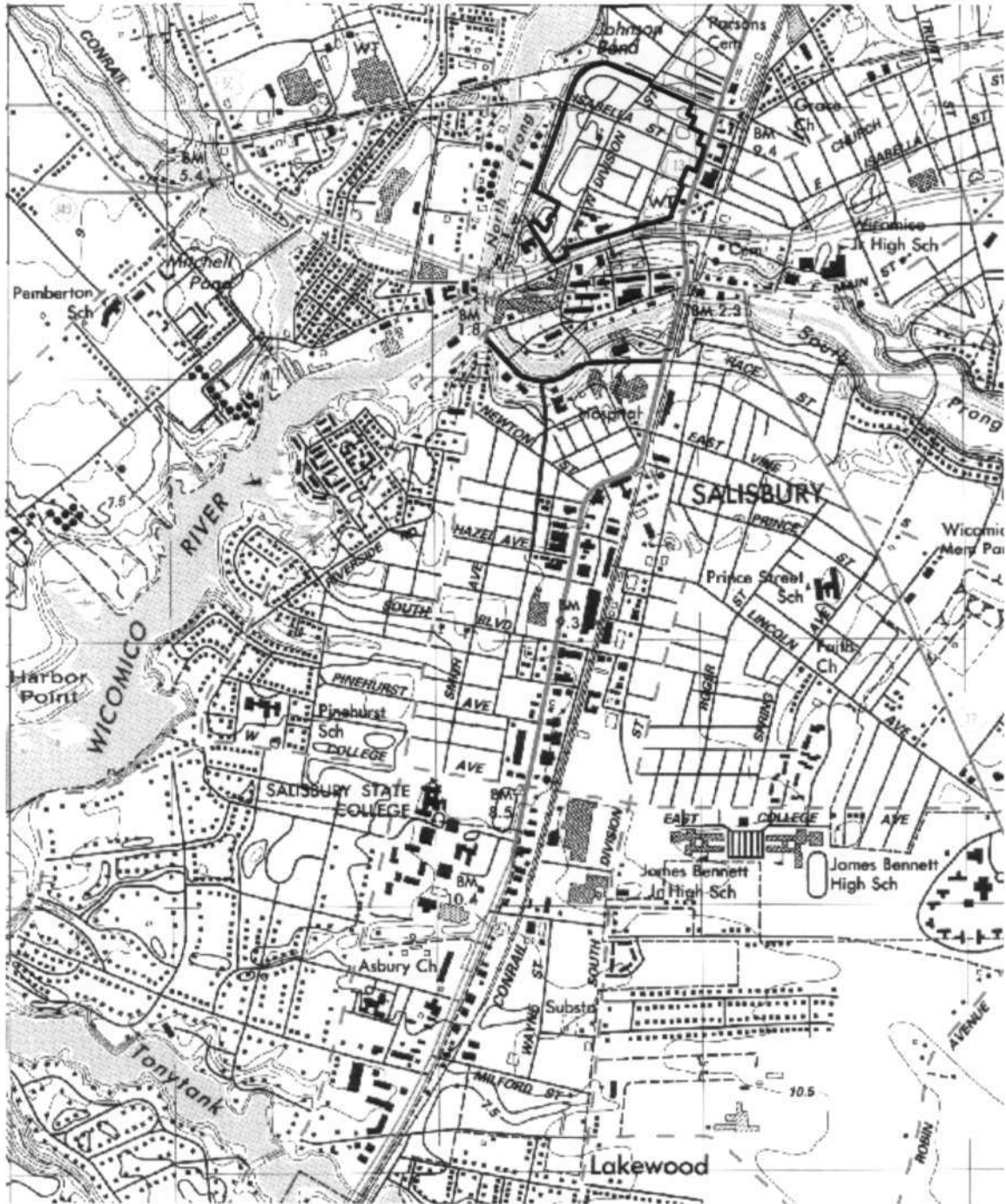
**Mills.**  
 GEO. W. LEONARD, Farmer and Proprietor of Two and One Half Mills. Six and one half miles north of Salisbury.  
 JOHN WILLIAMS, Farmer and Proprietor of Two and One Half Mills north of Salisbury.  
 GEO. H. W. QUARR, Farmer and Proprietor of "Pack Mill," 1 mile north of Salisbury. Md.  
 M. A. FARROW, Proprietor of S. S. Mill, 1 mile west of Salisbury on Wicomico River. Also Proprietor of Harbor Railway.

**Physicians.**  
 Dr. F. M. SIMMONS, Physician and Surgeon.

**SALISBURY**  
 WICOMICO CO.  
 Dist. N<sup>o</sup> 95 & B



WI-153  
Newtown Historic District  
Wicomico County  
Salisbury Quadrangle







WI-153

West Side Park Avenue

Newtown Historic District

Wicomico Co. MD

Nicole Liehmann

3/4/04

MD SHPO

Facing South

#1 of 4



WI-153

South Side w. Isabella Street  
Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/04

MD SHPO

Facing East

#2 of 4



W1-153

Park Avenue (500 & 507)

Newtown Historic District

Wicomico County, MD

Nicole Diehmann

3/4/04

MD SHPO

Facing East

#3 of 4



W1-153

SE Corner of Elizabeth & Division Streets

Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/2004

MD SHPO

Facing SE

#4 of 4

INTRODUCTION: A group of Salisburians 1974-5 promoted a movement to preserve the uniqueness of an old neighborhood known as Newtown. The culmination of this group's efforts was the acceptance of Ordinance #1142 by the Mayor, and Council of Salisbury on Feb. 10, 1975, which created the Newtown Historic District.

The purpose of Ordinance #1142 as quoted from the Ordinance, is to "regulate the construction, alteration, reconstruction, moving and demolition of structures of historic and architectural value together with their appurtenances and environmental settings within respective specified limits. This regulation is designed to safeguard the heritage of the City by preserving districts herein which reflect elements of its cultural, social, economic, political or architectural history; to stabilize and improve the property values in such districts in the City, to foster civic beauty, to strengthen the local economy and to promote the use and preservation of such historic districts in the City for the education, welfare and pleasure of the residents of the City of Salisbury."

Ordinance #1142 also provided for the establishment of a Historic District Commission whose duty it is to carry out the purpose of the Ordinance. In Section 2 of the Ordinance under item D-3-4 "Powers and Procedures" the Commission is required to give consideration to "a, b, c, d, e and Item 4".

- "a. The historic or architectural value or significance of the structure and its relations to the historic value of the surrounding area.
  - "b. The relationship of the exterior architectural features of such structure to the rest of the structure and to the surrounding area.
  - "c. The general compatibility of exterior design, arrangement, texture and materials proposed.
  - "d. Special features in historic areas such as their architectural integrity and spatial relationships among buildings. Spatial relationships include courtyards, street patterns, scale of buildings, and open space.
  - "e. To any other factors, including aesthetic factors, which the Commission deems to be pertinent.
- "4. The Historic District Commission shall pass only on exterior features of a structure and shall not consider interior arrangement, nor shall it disapprove applications except in regard to the considerations set forth above."



The "uniqueness" which is seen and felt in the Newtown Area can be described by a statement of repetitions and continuities throughout the district which lend the character to the area which the Commission merits as important to save. This pleasing flavor consists of the sum of the following details blending with one another to form a whole, which is historically and architecturally significant for Salisbury:

1. Massive late 19th and early 20th century Victorian style houses along N. Division Street corridor with strong support from similar houses on William, Elizabeth, Walnut and Isabella Streets; a parallel corridor in intensity of Victorian houses on Park Avenue.
2. Sidewalks with large shade trees encouraging pedestrian traffic.
3. A lack of large or overlighted commercial signs.
4. The retention of residential appearance in some commercial properties.
5. Repetition of the following architectural details:
  - a. Large front porches with ballusters.
  - b. Palladian windows.
  - c. Victorian "gingerbread" trim.
  - d. Colored glass windows.
  - e. Diagonal and diamond shaped pane windows.
  - f. Beveled, leaded glass windows.
  - g. East lake carving motif.
  - h. Decorative cornices, brackets, and corner boards or pilasters.
  - i. Shaped shingles i.e.; fish scale, diamond saw tooth.
  - j. Shuttered windows.
  - k. Towers, cupolas, balconies.
  - l. Predominance of clapboard.

These specific details in addition to considerations mandated by the Ordinance were used as criteria to form a classification system for Newtown properties.

COMMISSION'S SURVEY

The Commission surveyed in February 1976 each property in the Newtown area. The findings have been classified and recorded. The information, with a picture of the property, is recorded on 3 x 5 cards in a file held by the Commission. The survey will be used in future identification of properties

be used to provide the landmark list mentioned in Section V of Salisbury Historic District Commission, Rules and Regulations. The landmark list itemizes those properties which should be protected for their historical or architectural merit. Other graphic materials, i.e. maps will be composed from this information to show growth, change, or comparisons.

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### CLASSIFICATION CATEGORIES

Each property has been classified according to the following categories. A coding system is used in order to abbreviate the information.

The classification categories are:

- A. Street and House No. (No abbreviations)
- B. Style of House-indicate height and materials, type

Abbreviations:

Clapboard = CB	1 Story = 1S
Aluminum Siding = Al	2 Story = 2S
Asbestos Shingle = AS	3 Story = 3S
Wood Shingle = WS	With Attic = W/A
Brick = B	
Stucco - Stu	Victorian - Vict.
Asphalt Shingle = Asp	Colonial - Col.
Formstone = F	Rancher - Ran.

- C. Approximate Date (No abbreviation)

- D. Use

Abbreviations:

Apartment = Apt  
Single family = SF  
Commercial = Com  
Duplex = Dup  
Public - Public

- E. Condition

#1 = Sound, recently painted or renovated.

#2 = Fair, needs paint and some repair.

#3 = Poor condition needs extensive repair and paint. Deteriorated.

- F. Rating Historical/Architectural

A = Must be retained, historically significant and/or exhibits many architectural details listed above and is a superior example of a period in architectural development.

B = Should be preserved, represents good example of development and style, exhibits some details from above lists and supports the environ visually by size, shape or materials.

C = Houses or buildings adjoining A or B properties and should be judged with considerable thought.

WI-153

D = Should be judged most leniently, has no significance architecturally or historically, lacks close proximity to A or B houses, or is deteriorated beyond reasonable or economic restoration.

G. House has had structural exterior modification since being built (porch removed, siding changed, trim removed, addition, etc.)

Abbreviation:

m = modified

um = unmodified.

H. General Comment: Any further piece of information which would be worthy of consideration, pertaining to history, structure, preservation or modification. Empty lots would be described in this space.

An example of the classification and coding system would be as follows for Poplar Hill Mansion:

Elizabeth 115/2S W/A CB Col./1800/Public/#1/A/m

General Comment: This house is registered with Maryland Historic Trust and is the oldest home in Newtown. Modifications have been made to front porch and removal of old kitchen.

It is the hope of the Historic District Commission that these criteria and classifications will assist in preserving the charm, character and prosperity of the Newtown District for the benefit of Salisbury's residents and posterity.

WI-153

2Sw/a/WS&AL/1910 Vict/SF/2/B/M

2Sw/a/CB/1915 Vict/SF/1/B/UM

2Sw/a/CB/1904 Vict/Apt/1 B/M Comment: This was the home of Capt. Robert G. Evans of Nanticoke, 1916 rear house added.

2Sw/a/CB/1900 Vict/SF/1/B/UM

2S/CB/1930 Dutch Col./SF/1/C/UM

2Sw/a/CB/1898/Apts/1/B/M

2Sw/a/CB/1800 Georgian/<sup>WI-90</sup> Pub/1/AA/M Comment: "Poplar Hill Mansion" the oldest house in the City of Salisbury. Front porch and rear kitchen area modified owned by City of Salisbury & maintained by the "Friends of Poplar. Restored 1975-76 by Wicomico County.

2S w/a/AL/1905 Vict/SF/2/B/M

2S w/a/AS/1910/Apts/2/C/M

2S/CB/1920/P/I/D/UM  
2S/B/1920/SF/2/D/UM  
1S/B/1970/COM/I/D/UM

1S/WS(Red)/1930/COW/1/D/UM

1S/Cinder Block/1970/COM/D/UM

1S/B&AL/1970/COM/1/D/UM

Poplar Mansion Back Yard

Truck Parking Lot

1S/B/1965/1st National Bank/1/D/M  
Comment: "C" rating is given as this corner is an entrance to Historic District and consideration should be gi



POPLAR HILL AVE.

2S/CB/1915/SF/2/C/UM

2S/AS/1915/SF/1/C/M

2S w/a/CB/1900/SF/1/A/U.

2S w/a/AS/1905 Vict/MF/2/B/M

2S/CB/1910 Vict/SF/2/B/UM

2S w/a/AS/1910 Vict/1/B

2S w/a/AL/1900/SF/2/B/M

2S/AS/1915/SF/1/C/M

w/a/WS/1920/COM/1/C/M

2S/CB/1920/SF/1/C/UM

Empty Lot

2S w/a/AL/Vict 1910/COM/1/B/M

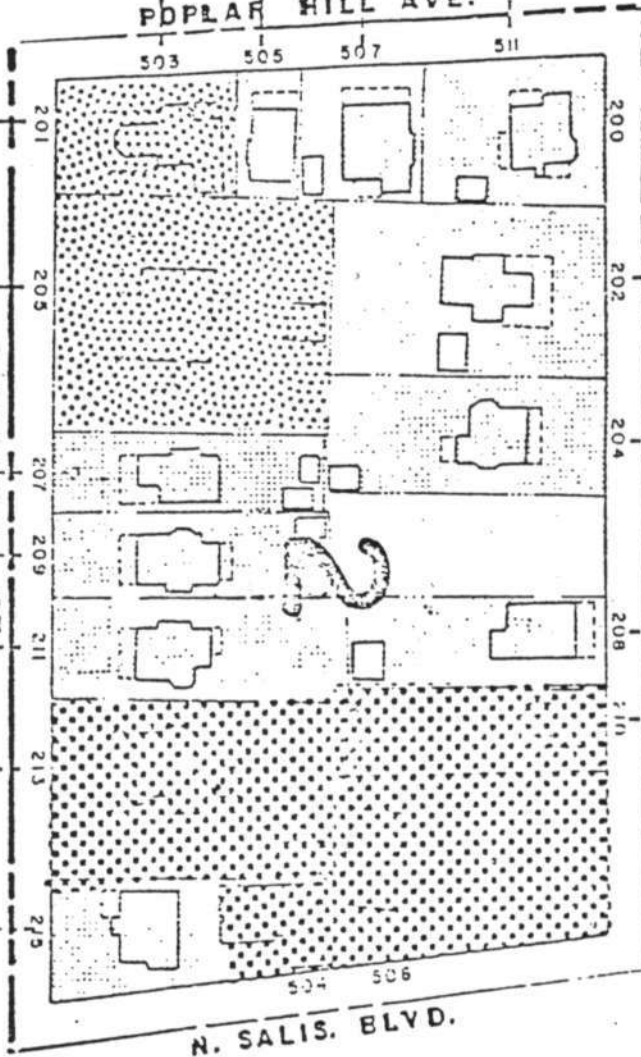
2S/CB/1920/SF/1/C/M

1S/AS/1940/SF/2/D/UM

E. ISABELLA ST.

ELIZABETH ST.

N. SALIS. BLYD.



2S w/a/CB/1895 Vict. Queen Anne  
1/A+/UM-----

2S w/a/B/1930/1/C/UM-----

3S/CB/Vict Greek Revival/SF/  
1870/1/A+/UM-----

Comment: Excellent example of  
"Steamboat" Victoriana seen a  
long Mississippi River.

2S w/a/CB/Vict/1900/SF/1/B/UM

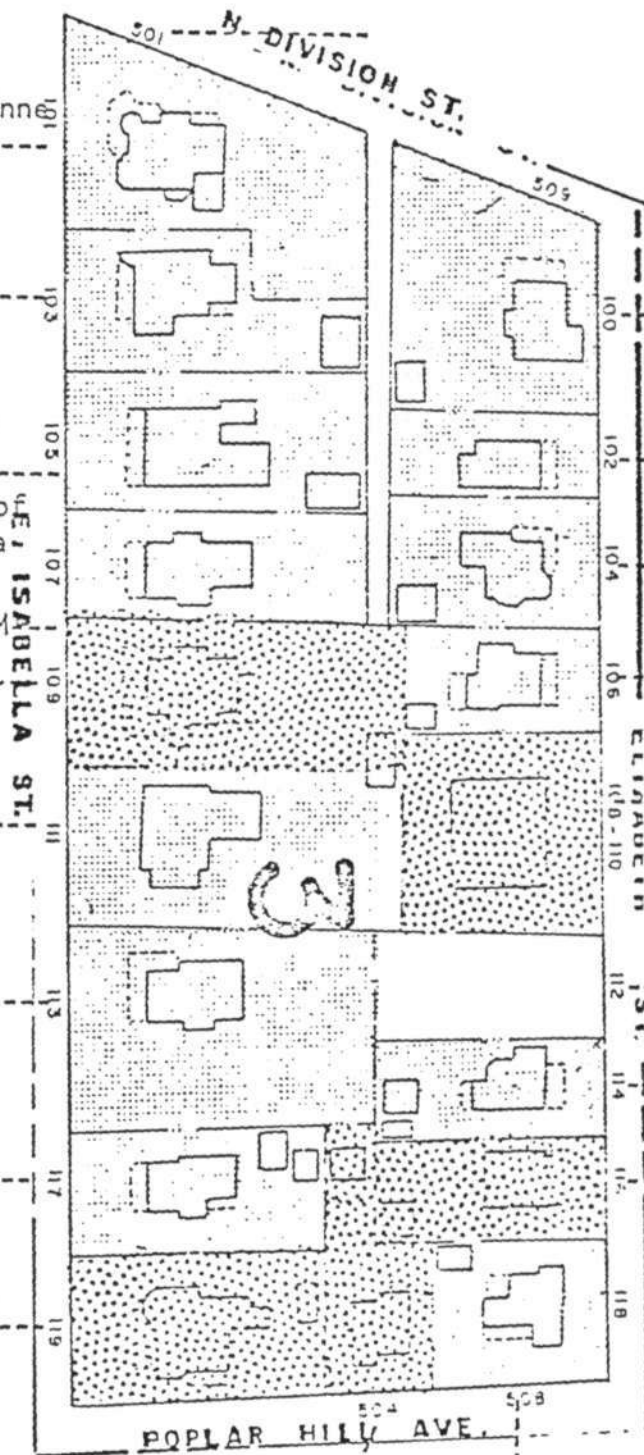
2S w/a/AL/Vict/1900/MF/2/A/M-----

2S/CB/1940 Co1./SF/1/C/UM-----

2S w/a/AS/1895 Vict/SF/1/A/M-----

2S w/a/CB/Vict 1900/SF/1/B/M-----

2S w/a/CB/Vict 1895/MF/1/A/UM-----



1S w/a/WS&CL/Cottage  
1890/SF/1/A/M Comment  
is only example of C  
Victoria in neighbor

2S w/a/CB/Vict 1920/

2S w/a/CB/1906/SF/1/A  
Comment: Built by Ma

2S w/a/AS/1915/SF/2/C/

2S w/a/BR&AL/MF/1/D/U  
Comment: These apts. are  
ly out of scale and rhy  
with the block.

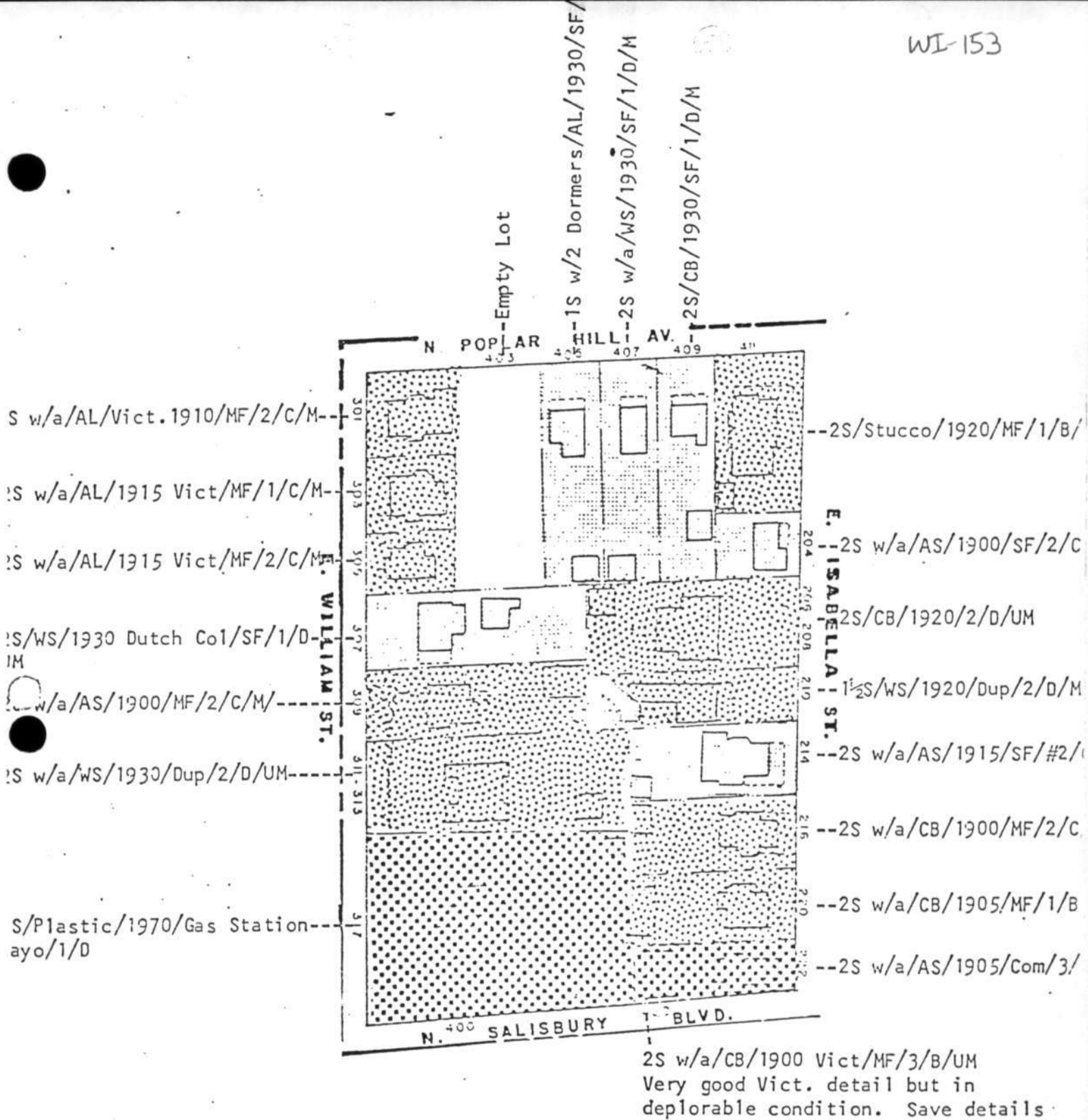
Empty lot

2S w/a/AS/1910/SF/1/C/M

2S w/a/AS/1910/MF/1/C/M

2S w/a/CB/Vict 1910/MF/2/A/M  
Comment: This house has many  
good details and owner should  
be encouraged into good restor-  
ation.

2S w/a/CB/Vict 1901/SF/1/B/M

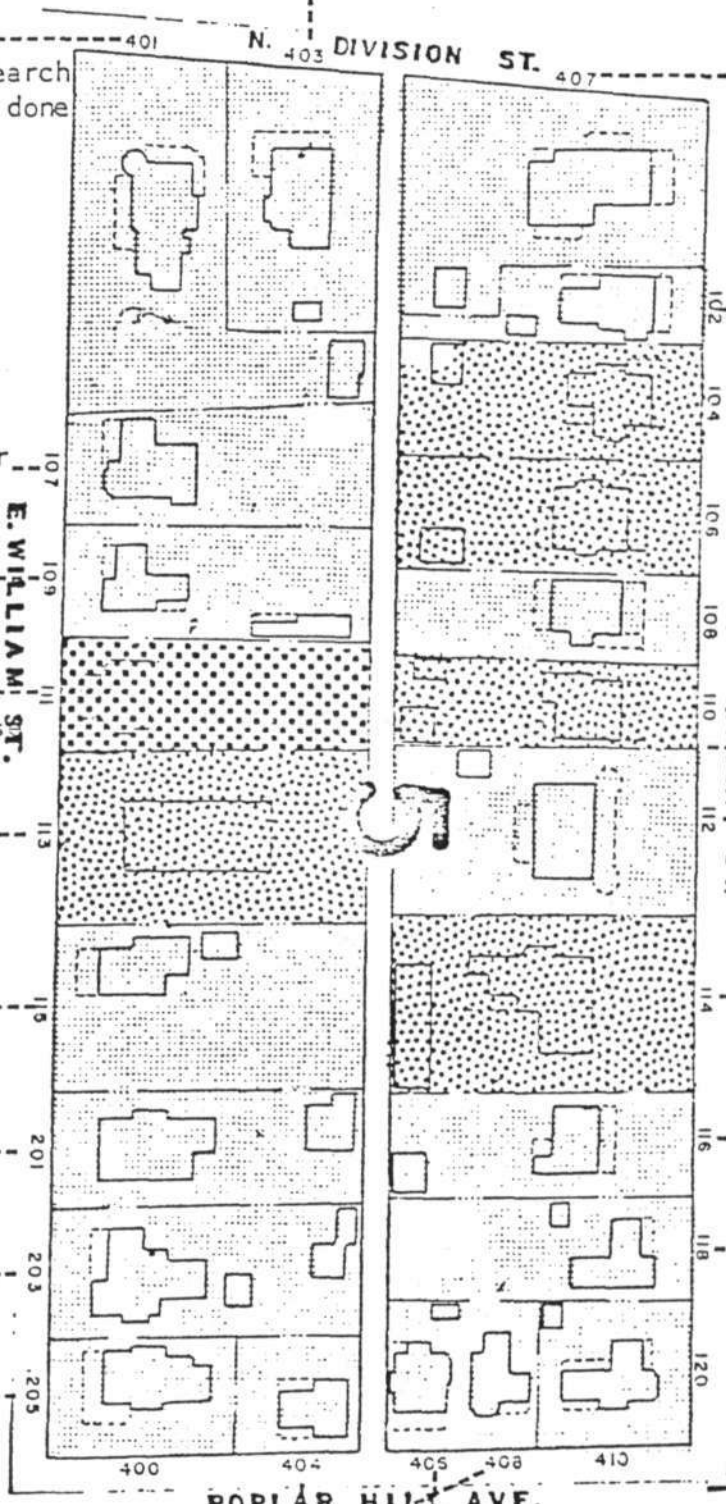


2S w/a/CB/1900 Vict/MF/3/B/UM  
 Very good Vict. detail but in  
 deplorable condition. Save details

WI-13 E

2S w/a/AL/1920/SF/1/C/M

2S w/a/CB/1387/2/A+/M  
"Gillis Grier" House, research & documentation should be done on this fine "Queen Anne Style"



2S w/a/B/1910/SF/2/

2S w/a/CB/1890/MF/1/  
Comment: House was moved from site of 4 N. Division around 1

2S w/a/CB/1893/SF/1/A/M  
Comment: Modification minor enclosure of side porch.

2S w/a/AL/1900/SF/1/B/M

2S w/a/AS/1390/Com/2/B/M  
Comment: House is case house

2S w/a/B&AL/1969/Apts./1/D/M

2S w/a/AL/1900/MF/1/  
2S w/a/CB/1900/MF/2/

2S w/a/CB/1895/SF/2/  
House has good example early oriel windows.

2S w/a/AS/1895/MF/2/

2S w/a/B/1900/SF w/o 2/A/M

2S w/a/AL/1390/SF/1/C/M

2S w/a/CB/1390/SF/2/B/M

2S w/a/CB/1885/SF/1/B/M

2S w/a/CB/1875/SF/1/A/M

2S w/a/AL/1900/MF/1/

2S w/a/WS/1928/SF/1/

2S w/a/CB/1895/SF/1/

2S w/a/AS/1900/SF/2/B/M

2S w/a/CB/1920/SF/2/B/M

2S w/a/CB/1890/SF/1/B/M

Comments: Gingerbread and railing recently removed (1976).



2S/B/1905/Apts./1/C  
IM probably/ Eyebrows  
over windows.

2S w/a/CB/1915/SF/3

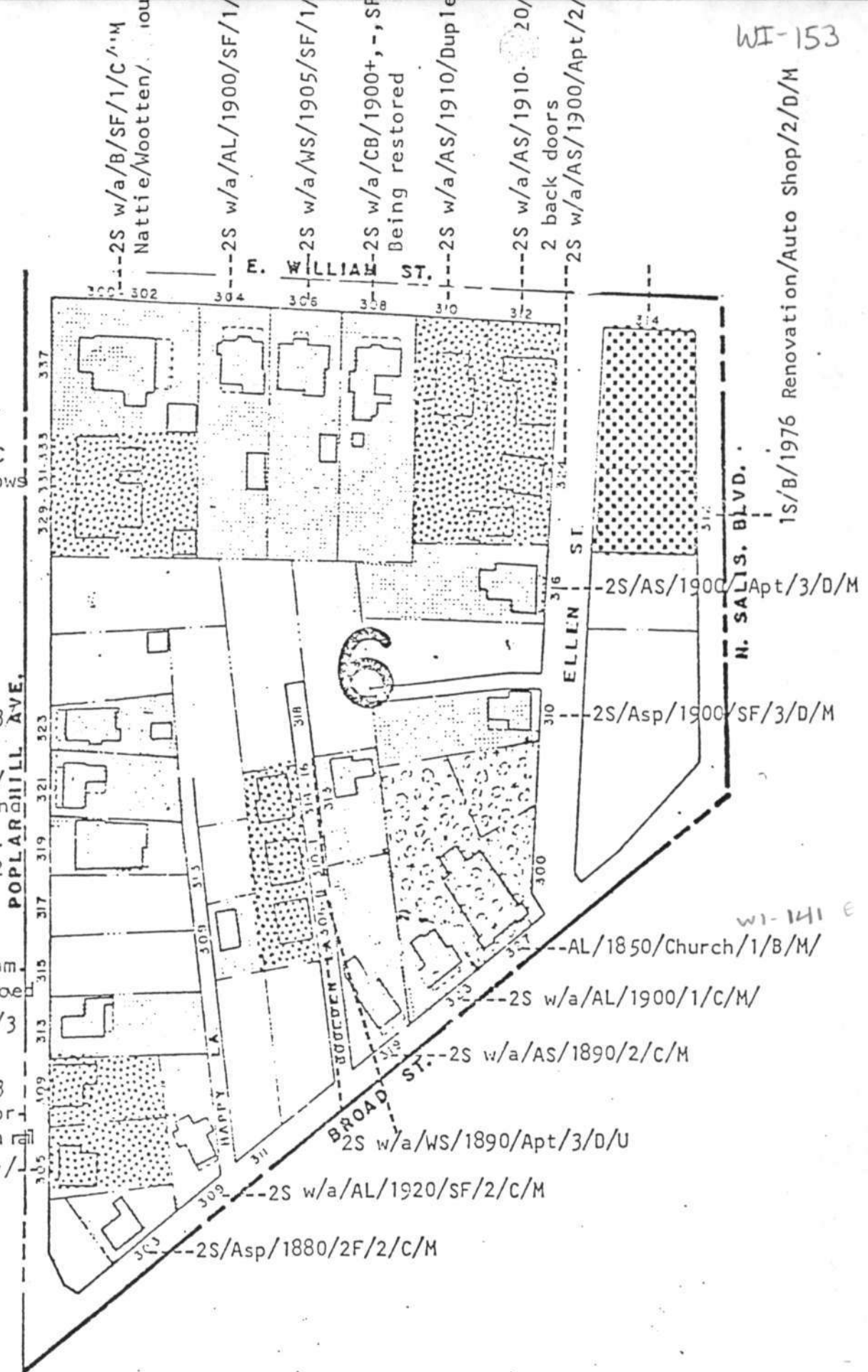
2S w/a/1900/SF/3/C/  
4-nice center diam  
shaped windows  
2S/AS/upstairs win-  
dows 2-2-1900/SF/2  
2/M

2S w/a/AS/1900/2-fam-  
3/C/M-ft. porch removed

2S w/a/Asp/1900/SF/3  
2/M

2S/WS/1910/2-fam./3  
better than neighbor  
hood/C/M-miss porch rail

2S/AS/1910/2 family/  
3/C/M



1S/B/1976 Renovation/Auto Shop/2/D/M

N. SALIS BLVD.

WI-141 E

3S/CB/1860/SF/1/A/M  
Comment: Modification enclosed 2nd floor porch.

1S/B/1950 Ranch  
1/C/U/Comment:  
House has no h  
torical signif  
Should be cons  
proximity to 'Gr

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AL/1850  
1/B/M/Comment:  
house moved fr  
area of 316 N.

2S w/a/CB/1890,  
2/B/M

2S w/a/AS/186  
2/B/M

2S w/a/CB/188  
Apt/1/B/M

2S w/a/CB/191  
1/B/U

2S w/a/CB/1910/2F/2/B/M/Com  
ment: AS rear  
2S w/a/CB/?/wic. Historic So  
ciety Museum/1/B/UM

2S w/a/CB/1910/SF/2/B/UM

2S w/a/WS/192  
1/C/U

2S w/a/CB/1910/SF/1/2/M

2S w/a/CB/1900,  
2/B/UM

2S w/a/AS/188  
1/A/M

2S w/a/AS/191  
2F/1/C/M

w/a/CB/1900-?/  
rding.Home/1/B/  
ment: Nice  
trim.

2S w/a/Asp/1900  
Dup/2/C/M

2S w/a/CB/1900/  
SF/2/B/UM/

2S w/a/Asp/1900/  
2F/2/C/M

2S w/a/CD/1895/SF  
2/B/UN/Comments:  
Shingles porch rail

2S w/a/AS/1900/SF  
2/C/M

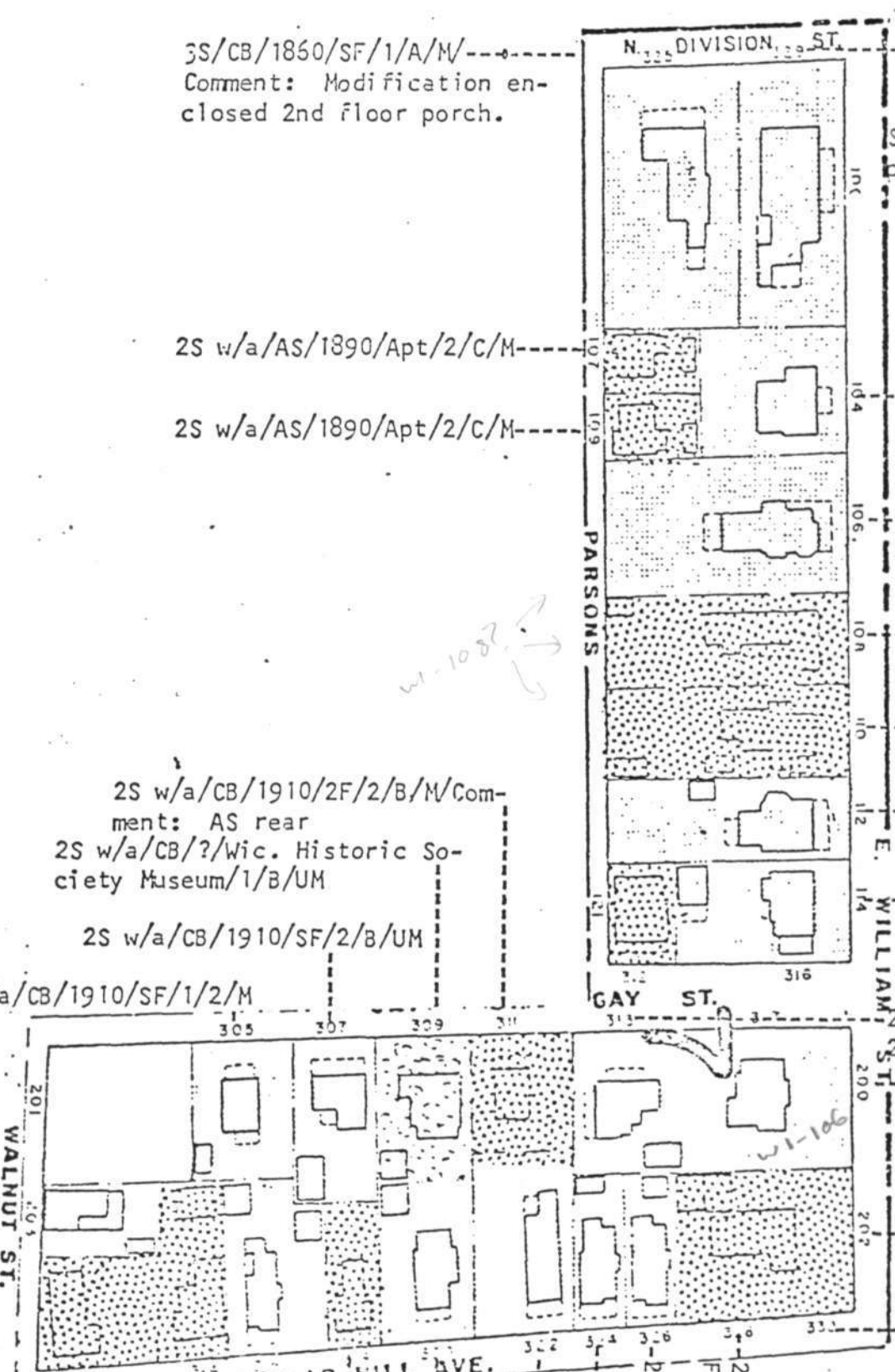
2S w/a/AS/1910/SF  
2/C/M

2S w/a/AS/1900/SF  
A/C/M/Vict. Window

2S w/a/AS/1900/SF/2  
C/M

2S w/a/AS/?/ Multi-  
Fami Ty/2/C/M

2S w/a/AS/?/ Multi-  
Fami Ty/2/C/M



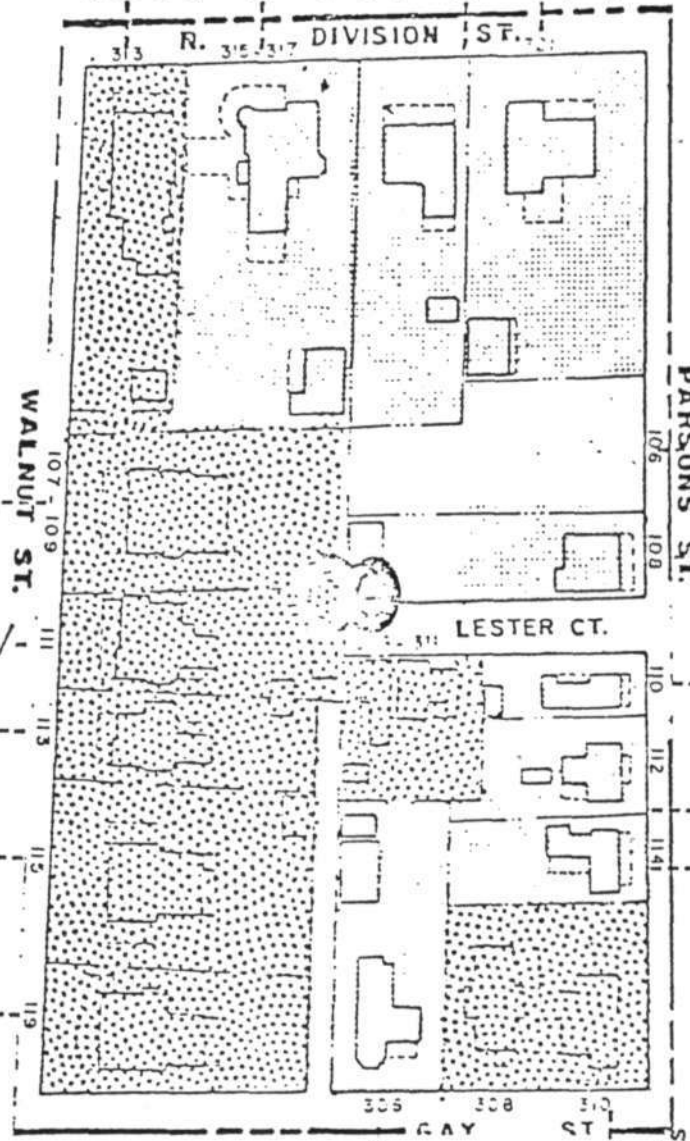
2S w/a/AL/1876/Apts/1  
 Comment: Example of r  
 which destroyed all g  
 Architectural feature

2S w/a/AL&CB/Fed. Vic  
 1897/SF/1/A/M House  
 in 3 sections, has ma  
 details of Vict. Outb  
 org. barn & carriage

2S w/a/CB&Slate/1920'  
 1/B/U

1S w/a/CB&WS/1900+SF/  
 Comment: Outstanding  
 of shingle work.

WI-62



2S w/a/AS/1900+ Vict Co1/Apt/2/C/M-  
Comment: Mansard Front Roof

2S w/a/AS&WS/1900 Vict. trans/Apt/-  
1/F

2S w/a/AL-slate/1905+/Apt/2/B/M-----

2S w/a/AL/1935 Co1./Dup/1/C/UM-----

2S w/a/AS&WS/1900/Apt/2/B/M-----

Private garden to

2S w/a/WS/1930+/S.  
Comment: House h  
large garages in t

2 w/a/AS/1905/SF/  
Comment: House e  
sively modified.

2S w/a/AS/1910+/SI

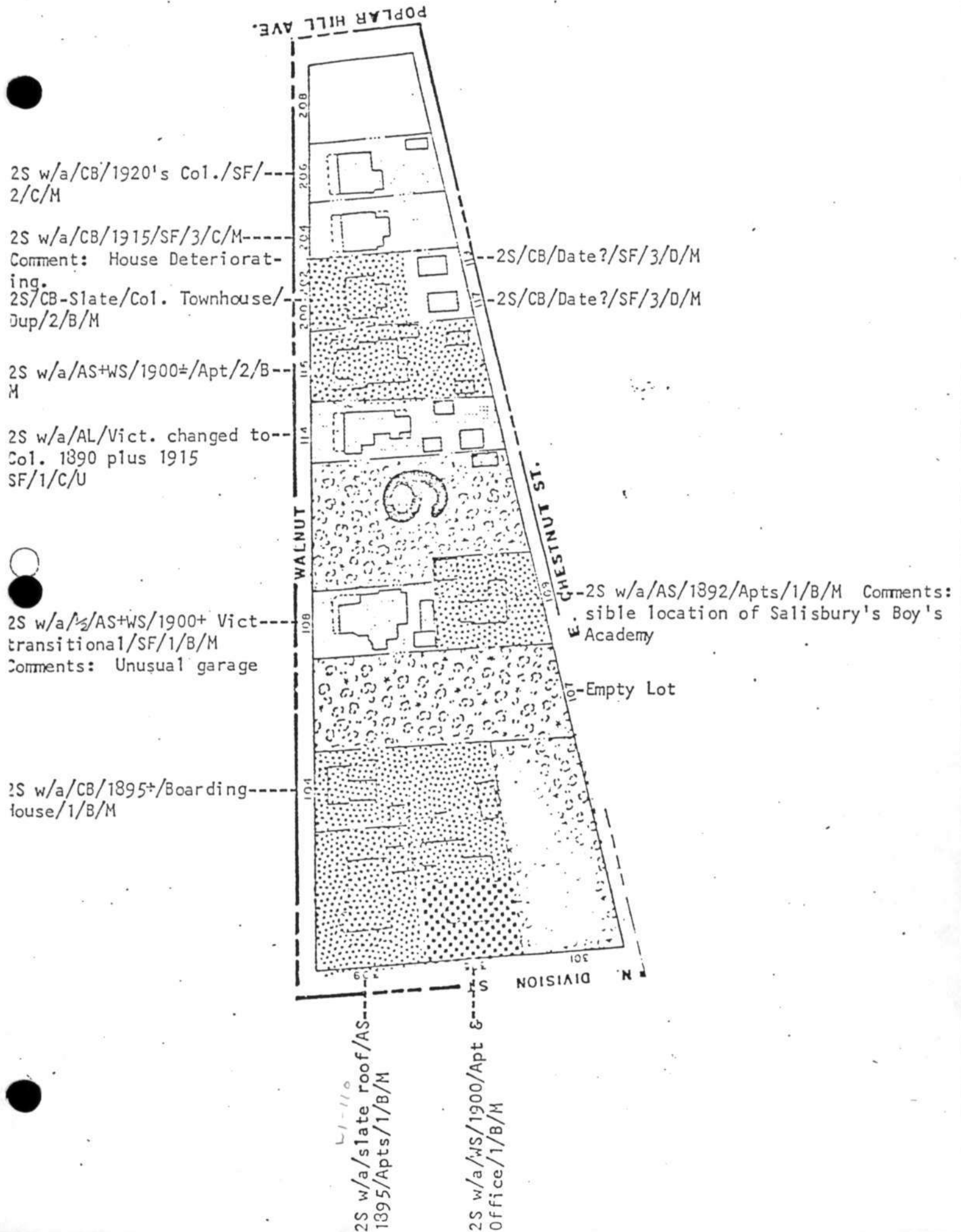
2S w/a/

309 Lester Ct. 2S w/a/AS/1910+/-/SF/3/D/M  
311 Lester Ct. 2S/AS/1870+/-/SF/3/B/M

2S w/a/AS-slate/1895/SF/1/B/M-----

2S w/a/AS/1890's/Apt/3+/D/M/Com-  
t: condition and environs of  
this house are deplorable.

2S w/a/AS/1890's/Apt/2/D/M-----  
Comments: This house has exten-  
sive modification & it's surrounds  
always appear unkept.



Parking Church

2S/CB/Date?/SF/3/p/U

Demolished

E. CHESTNUT ST.

POPLAR HILL AVE.

2S/AL/1895/Apt

2S w/steeple/Graystone/1887  
C/M/Comments: Old Asbury  
Methodist Church W1-63

2S/Cinder Blk/S  
1940's/2/D/M/Can

2S w/steeple/B/Col/1/C/U-  
Comment: Allen Memorial  
Church

2S/AS/1900 Vict/Apts/  
2Sw/a/WS/1940's Col/Apt/1  
2S w/a/WS/1930's/Apt/2/D/UM  
Demolish - Church Green & Parking

2S w/a/AS/Date?/Apts/1/D/M

Demolished - Church Green  
2S w/a/AS/Vict 1380?/SF/1/C/M/Comment: Some  
interesting detail; shingles porch

2S w/a/WS/1905?/Apts/1/C/

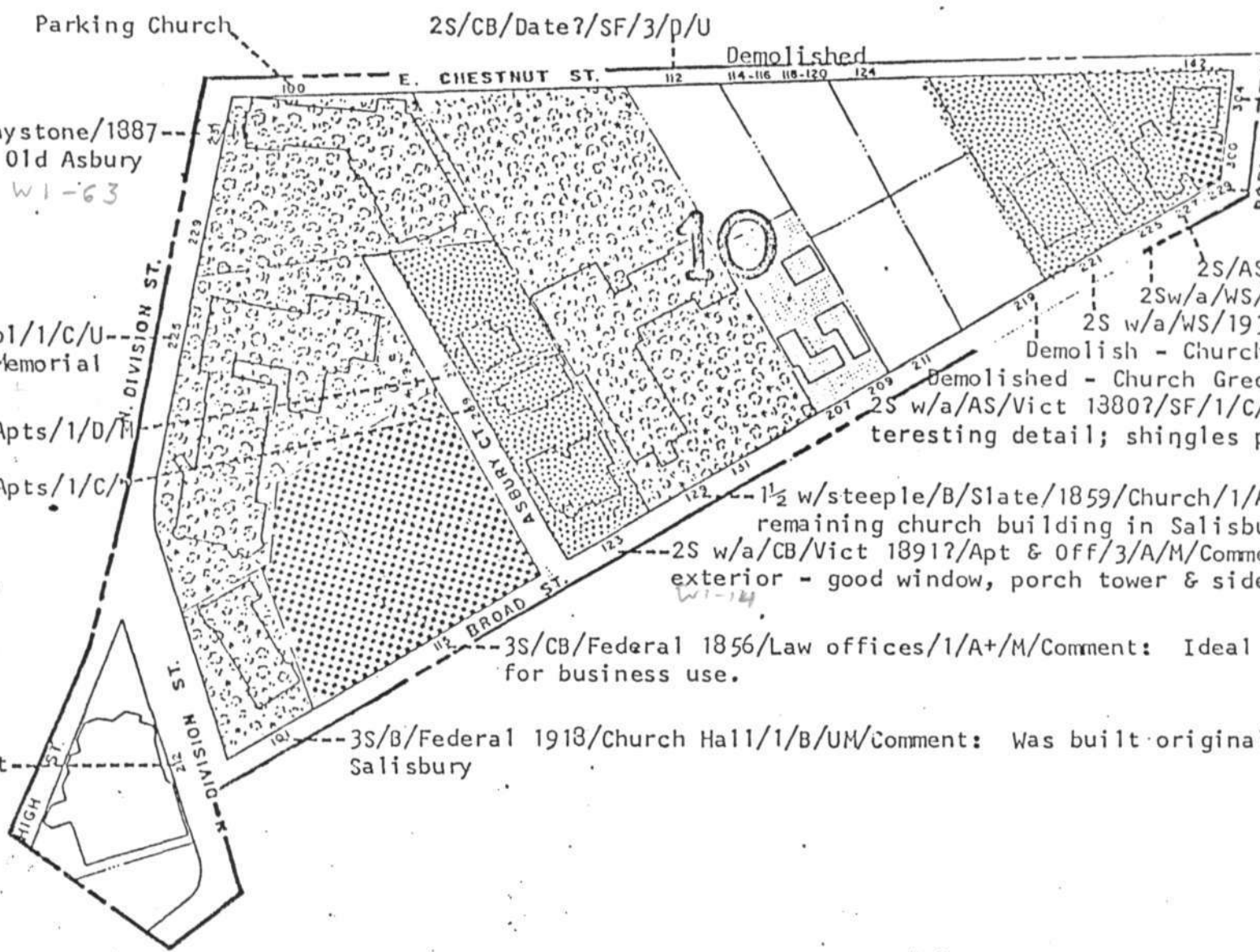
1/2 w/steeple/B/Slate/1859/Church/1/A/M/Comment: Old  
remaining church building in Salisbury

2S w/a/CB/Vict 1891?/Apt & Off/3/A/M/Comment: Excellent V  
exterior - good window, porch tower & side  
W1-144

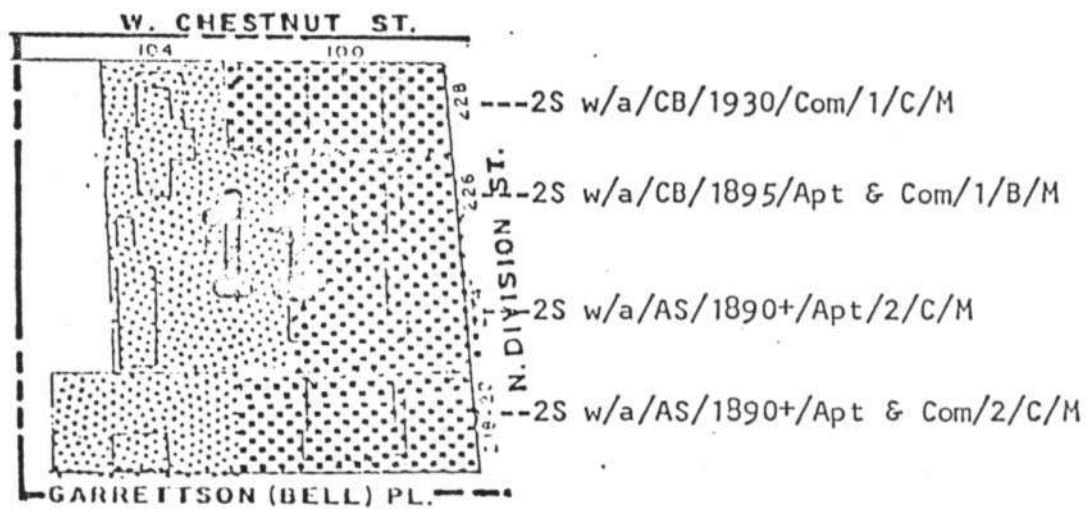
3S/CB/Federal 1856/Law offices/1/A+/M/Comment: Ideal example of resto  
for business use.

Community Methodist  
Church W1-64

3S/B/Federal 1918/Church Hall/1/B/UM/Comment: Was built originally as 1st YMCA o  
Salisbury



W1-153



WF-153

2S w/a/CB/1910/SF/1/B/U      2S w/a/CB/1910/SF/1/C/M

W. WILLIAM ST.

S w/a/AL & AS/1900/Apt/1/M

S w/a/CB & WS/1890/Apt/2/B/M  
Comment: House has good  
lect. trim.

S w/a/B/1905/SF/1/B/M

S w/a/CB/1907/SF/1/B/M

S w/a/CB/1895/Apt/1/B/M  
Comment: House has nice  
urret

S w/a/CB/1900/Apt/2/C/M

S w/a/AS/1890/Apt/1/B/M

S w/a/AL/Date?/Apt/1/D/M

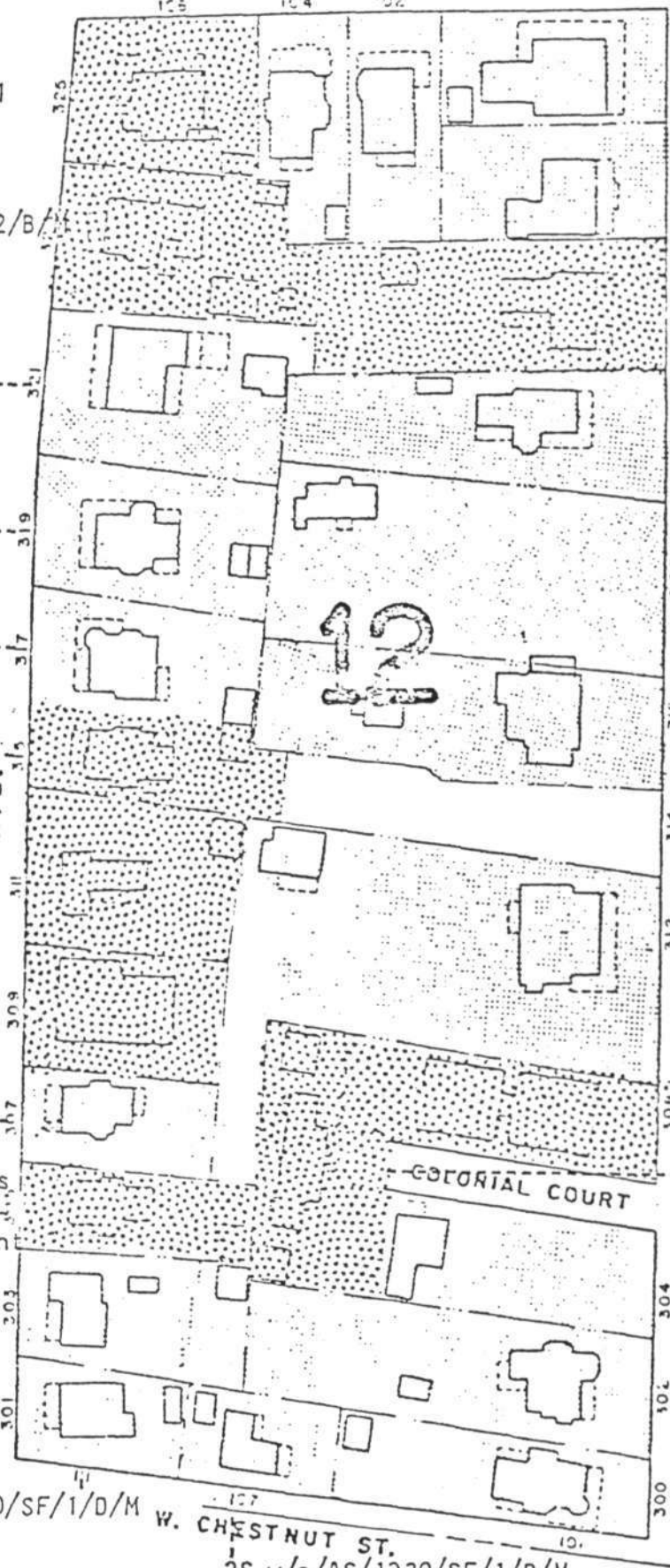
S w/a/CB/1900/SF/1/B/U  
Comment: House has oriel  
nice stain glass windows

S w/a/AS/1900+/Apt/2/C/M  
Comment: House needs pain  
nd gutters ('76)

S w/a/AS/1900/SF/1/C/M  
Comment: House has been  
xtensively modified

2S w/a/WS/1930/SF/1/D/M

W. CHESTNUT ST.  
2S w/a/AS/1930/SF/1/D/M



-2S w/a/B/1909/SF/1/B/  
"Holloway House"

-2S w/a/CB/1920/SF/1/B/

-2S w/a/AS/1880/Apt/1/E

-2S w/a/AS/1880/SF/1/B/

-2S w/a/CB/1880/SF/SF/1  
Comment: This house is  
most unusual in style &  
pears to have some 18th  
tury characteristics  
-2S w/a/B/1926/SF/1/

Empty Lot

-2S w/a/B/1900/SF/1/A

--3S/Stu/1940/Apt/1/D/C

--3S/ASP/1870/Apt/2/B/M  
Comment: House is ve  
poorly modified alumi  
siding placed May '77

--1S w/a/AS/1930-40/SF/

--2S w/a/AS/1880/SF/1/A

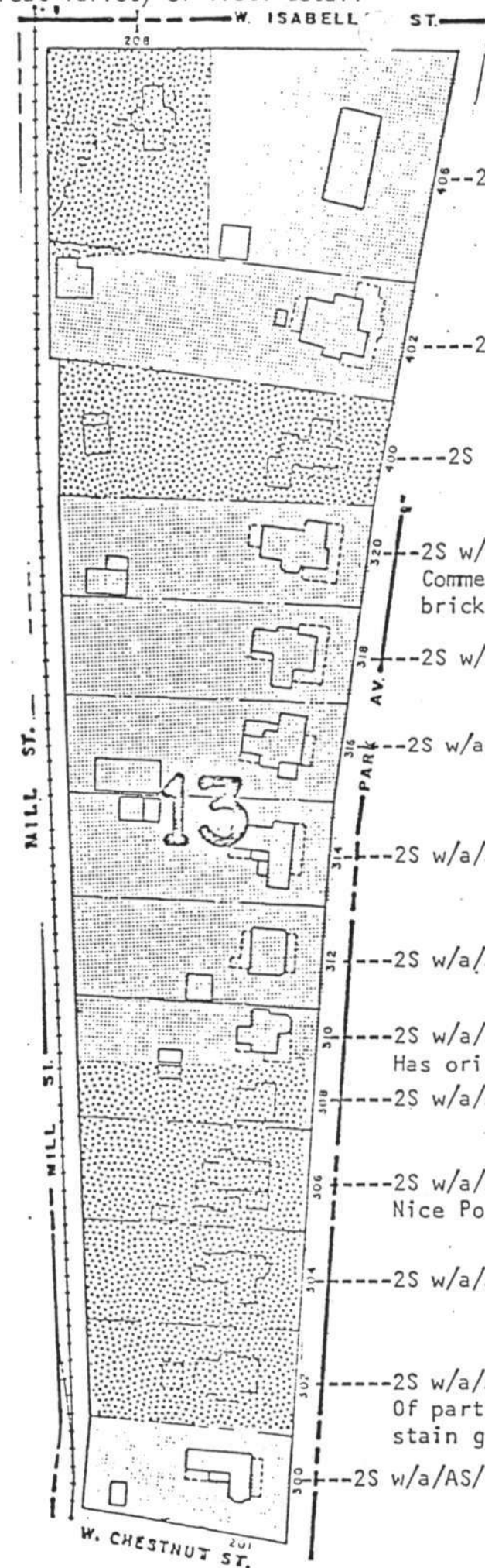
--1S w/a/CB/1890/SF/1/E

N. DIVISION

GEORGIAL COURT

a great variety of Vict. detail

WI-153



106 --- 2S w/a/B/1920/SF/1/B/U

102 --- 2S w/a/B/1890/SF/1/B/M

400 --- 2S w/a/AL/1890?/Apt/1/A/M

320 --- 2S w/a/AL/1890/SF/1/B/M  
Comment: House has handsome brick Foundation

318 --- 2S w/a/AL/1895?/SF/1/B/M

316 --- 2S w/a/AS/1860?/SF/1/B/M

314 --- 2S w/a/AL/1850/SF/1/B/M

312 --- 2S w/a/AS/1895/SF/2/B/M

310 --- 2S w/a/AS/1880/SF/2/B/M/Comment  
Has original slate roof

308 --- 2S w/a/AS/1925/Apt/1/C/M

306 --- 2S w/a/AS/1850/Apt/1/B/M/Comment  
Nice Porch Trim

304 --- 2S w/a/AS/1900/Apt/1/B/M

302 --- 2S w/a/AS/1882/Apt/1/B/M/Comment  
Of particular note porch rail,  
stain glass, top peak detail

300 --- 2S w/a/AS/1391/SF/1/B/M

W. CHESTNUT ST.



/WS/1930/SF/2/C/U  
/AL/1380/Apts/2/B/M/Comment:  
house has many good Vict. Features  
ould be restored.



2S w/a/WS/1925/SF/1/C/U

2S w/a/CB/1380/SF/1/B/

2S w/a/WS/1880/SF/1/  
Comment: House was  
inally Clapboard, Por  
added and made close  
ground.

2S w/a/AL/1900/SF/1/

2S w/steeples/Stone/1922/Bethesda Church

2S w/a/AS/1395/Com/1/A/M (Church House)

2S w/a/AL/1385/Apt/1/A/M

1S/B/1935/SF/1/D/U

1S/B/1930/SF/1/D/U

ISABELLA ST.

2S w/a/B/1930/SF/1/D/UM

2S w/a/WS/1936/SF/1/D/UM

2S w/a/WS/1945/SF/1/D/U

1S/B/1950/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

2S/BR/1940/SF/1/D/U

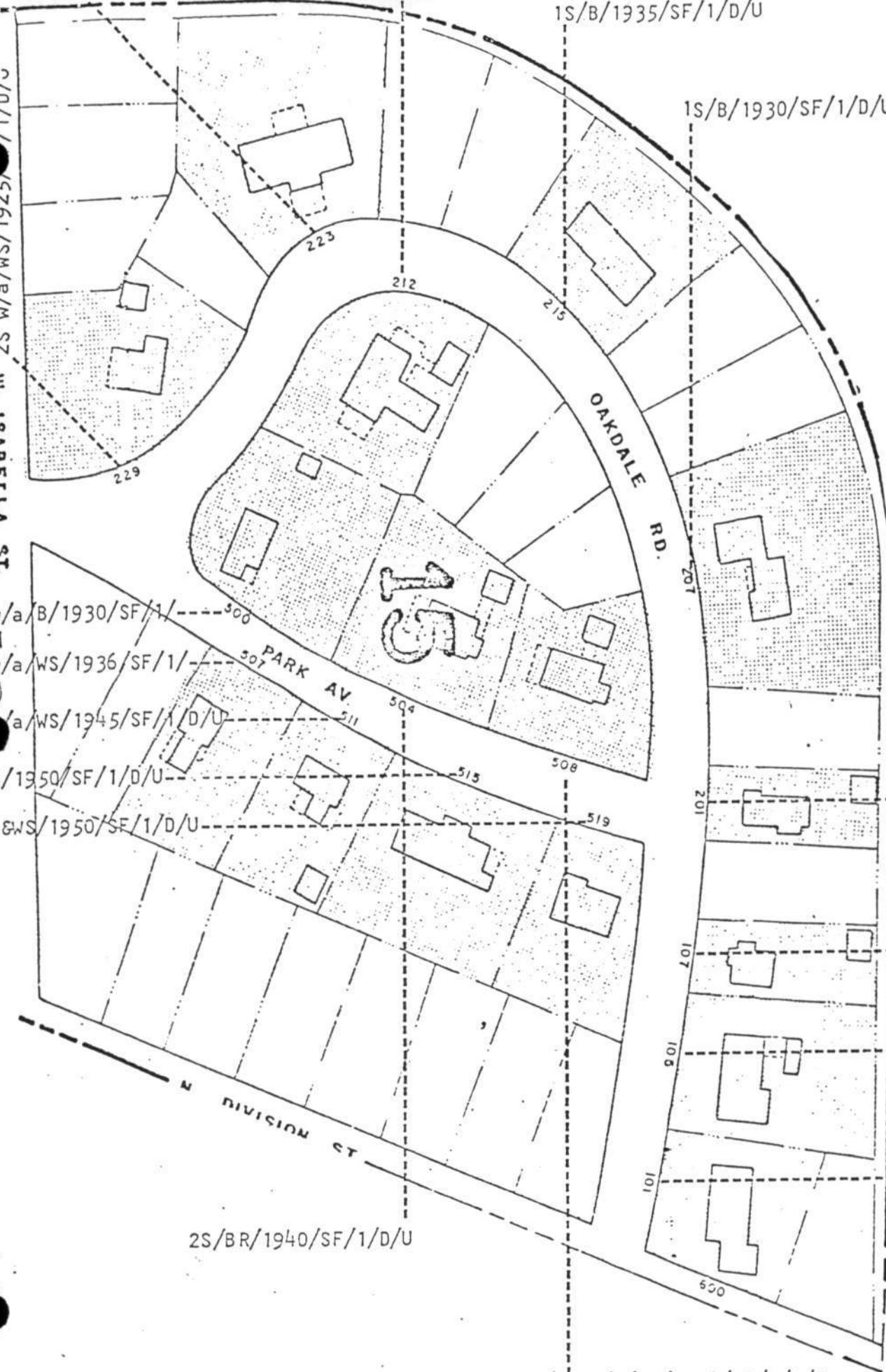
2S w/a/WS/1936/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

2S w/a/CB/1950/SF/1/D/M

1S/B&AL/1950/SF/1/D/U

B&AL/1970/SF/1/D/U





Newtown  
Historic District

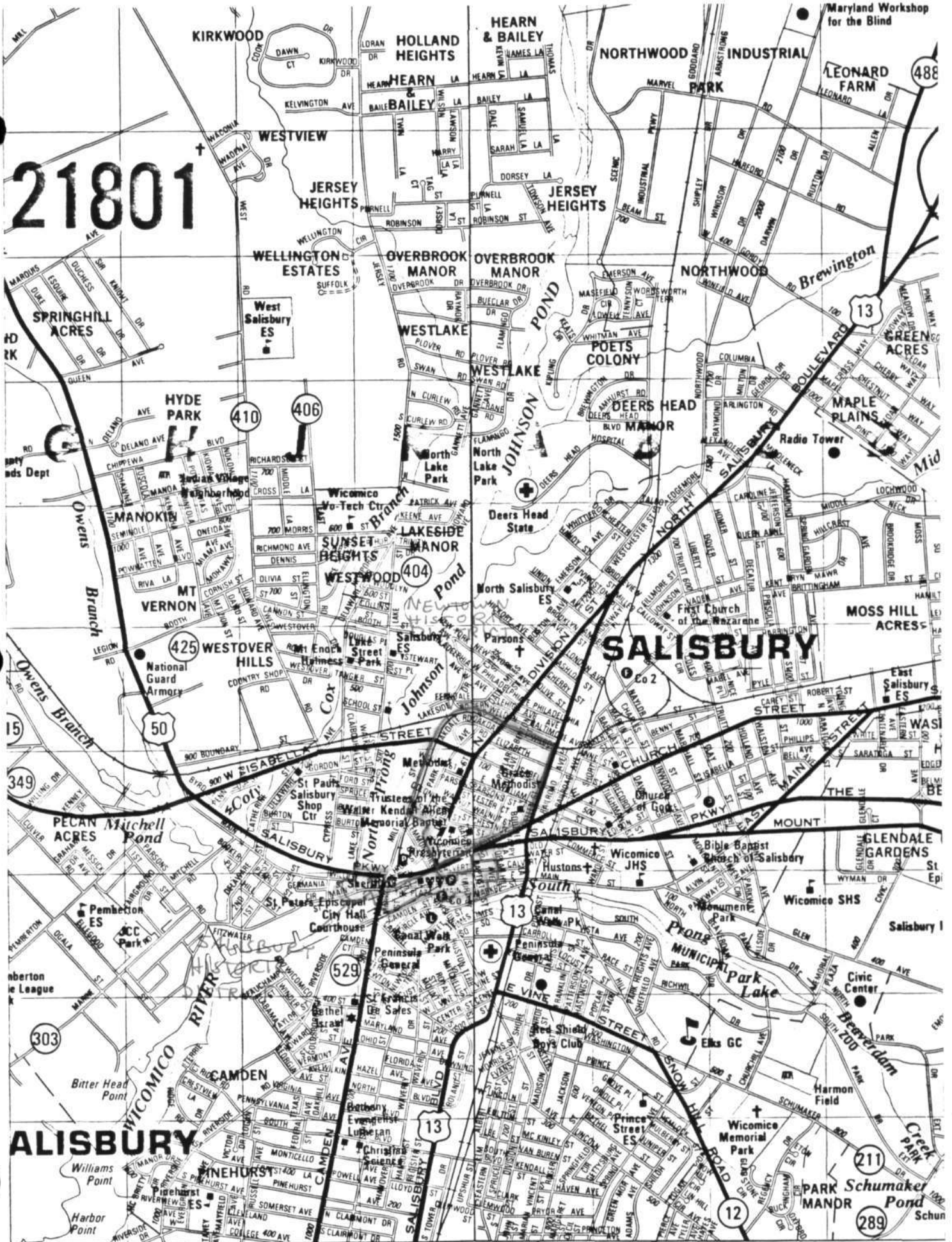
WI-153

Salisbury-Wicomico County Planning & Zoning Commission

153 2/25/83

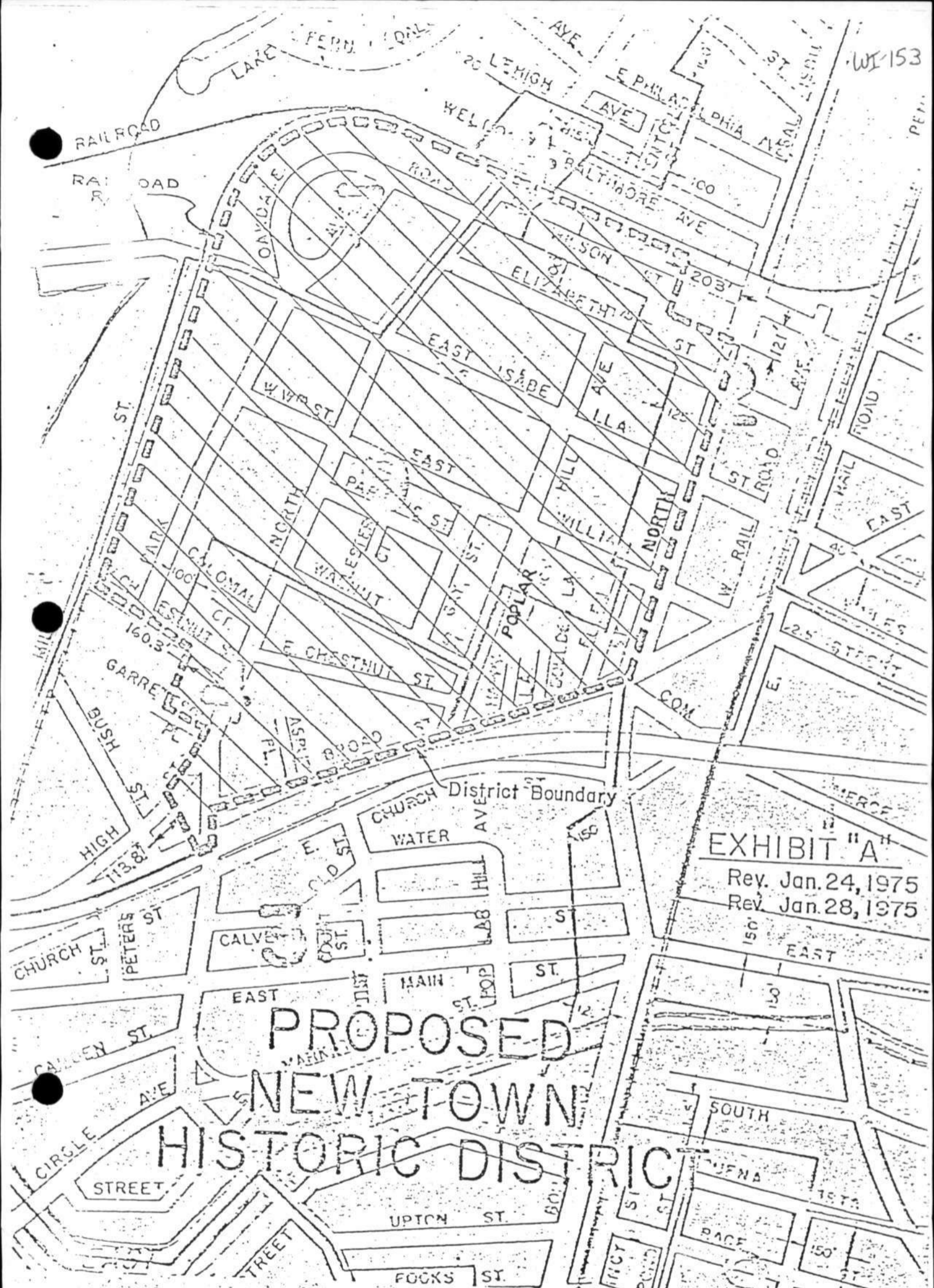
10 24 83

21801



W1-153 Newtown Historic District





boundaries of which shall be established in accordance with the appropriate provisions of the Zoning Regulations of the City of Salisbury as amended from time to time.

- b. As used herein the term "structure" means a combination of material to form a construction that is stable; including among other things, buildings, stadiums, reviewing stands, platforms,

WI-252

## Thomas H. Tilghman House

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 08-29-2003***

WI-252  
Thomas H. Tilghman House  
Salisbury  
Private

c. 1907

The Thomas H. Tilghman house is a prominent example of Colonial Revival domestic architecture in the Newtown Historic District. It is a particularly grand statement architecturally with its generous proportions, its double-pile depth, and expansive Tuscan columned porch that incorporates a porte cochere at its west end. The house displays common design features for its time with a bold moldillion block cornice and paneled pilasters trimming the principal corners. Another typical feature is the Palladian or Venetian style window that pierces the large gabled dormer. Unusual for the time is the application of early steel siding that follow the shape of beveled weatherboards.

Laid out on a spacious Georgian plan with a broad center stair hall, the interior is fitted with solid mahogany doors and a mahogany stair railing as well as fine examples of Colonial Revival mantels and moldings.

According to family tradition, Thomas H. Tilghman financed construction of this house shortly after the purchase of the lot from Uriah W. and Mary P. Dickerson in March 1907. The property remained under Tilghman family ownership until 1993.



MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

RESOURCE NAME: Thomas H. Tilghman House

MHT INVENTORY NUMBER: WI-252

MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture
  
2. Geographic Orientation: Eastern Shore
  
3. Chronological/Development Period(s): Industrial/Urban Dominance  
1870-1930
  
4. Resource Type(s): Single-family dwelling  
Garage

**Maryland Historical Trust  
State Historic Sites Inventory Form**

MARYLAND INVENTORY OF  
HISTORIC PROPERTIES

Survey No. WI-252

Magi No.

DOE  yes  no

**1. Name** (indicate preferred name)

historic Thomas H. Tilghman House

and/or common

**2. Location**

street & number 205 East Isabella Street  not for publication

city, town Salisbury  vicinity of congressional district First

state Maryland county Wicomico

**3. Classification**

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture <input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial <input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational <input checked="" type="checkbox"/> private residence
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment <input type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government <input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial <input type="checkbox"/> transportation
	<input checked="" type="checkbox"/> not applicable	<input type="checkbox"/> no	<input type="checkbox"/> military <input type="checkbox"/> other:

**4. Owner of Property** (give names and mailing addresses of all owners)

name Joseph Strogas and John Erb

street & number 205 East Isabella Street telephone no.:

city, town Salisbury state and zip code Maryland 21801

**5. Location of Legal Description**

courthouse, registry of deeds, etc. Wicomico County Clerk of Court Map 104, P. 648  
liber 1334

street & number Wicomioco County Courthouse folio 504

city, town Salisbury state MD 21801

**6. Representation in Existing** Historical Surveys

title

date  federal  state  county  local

pository for survey records

city, town state

## 7. Description

Survey No.

WI-252

**Condition** excellent good fair deteriorated ruins unexposed**Check one** unaltered altered**Check one** original site moved

date of move \_\_\_\_\_

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The Thomas H. Tilghman house is located at 205 East Isabella Street on the eastern side of the Newtown Historic District in Salisbury, Wicomico County, Maryland. The two-and-a-half story frame house faces south with the gable roof oriented on an east/west axis.

Historically dated to 1907, this large Colonial Revival, two-and-a-half story, three-bay, double-pile frame house is supported on a raised stretcher bond brick foundation, and the exterior is sheathed with aluminum siding. The steeply pitched hip roof is covered with asphalt shingles. Stretching around the south and east sides is a Tuscan columned porch, which extends on the west side into a porte cochere. Located in the back yard is a single story, two-bay brick garage.

The south (main) elevation is a basically symmetrical three-bay facade with a center entrance and flanking windows. A raised panel front door is framed by leaded glass sidelights and a leaded glass transom. The glass incorporated in the transom and sidelights is beveled. Flanking the sidelights and fanlight are paneled pilasters that rise to a paneled surround that follows the arch of the fanlight. Located to each side of the entrance are paired twelve-over-one sash windows trimmed with a slight lintel molding. Sheltering the first floor is a Tuscan columned porch that stretches across the full front of the house and extends around the east side. The center bay, distinguished by a shallow pitched gable roof, features paired Tuscan columns, and the front steps are flanked by brick plinths topped with rusticated granite caps. The cornice of the porch roof is trimmed with a dentil molding. Fixed between each of the porch posts is a railing built with a cross pattern balustrade. The west end of the porch extends from the house so that it covers the side yard driveway with a porte cochere. Defining the second floor of the south elevation is a slightly projecting center bay, which is pierced by a tripartite window flanked by paneled pilasters. Located to each side are paired twelve-over-one sash windows. The base of the roof finished with a bold modillion block cornice, and fixed atop the roof is a large gabled dormer pierced by a Palladian window. Rising through the roof to each side are interior stretcher bond brick chimney stacks.

Pairs of twelve-over-one sash windows light the first and second floor on each side elevation, and a two-story porch covers a portion of the rear (north) wall. The interior has survived relatively unchanged since the early twentieth century. A large center stair hall divides a four-room plan finished in Colonial Revival woodwork.

# 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

Specific dates	Builder/Architect
check: Applicable Criteria: <input type="checkbox"/> A <input type="checkbox"/> B <input checked="" type="checkbox"/> C <input type="checkbox"/> D and/or	
Applicable Exception: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G	
Level of Significance: <input type="checkbox"/> national <input type="checkbox"/> state <input checked="" type="checkbox"/> local	

Prepare both a summary paragraph of significance and a general statement of history and support.

The Thomas H. Tilghman house is a prominent example of Colonial Revival domestic architecture in the Newtown Historic District. It is a particularly grand statement architecturally with its generous proportions, its double-pile depth, and expansive Tuscan columned porch that incorporates a porte cochere at its west end. The house displays common design features for its time with a bold moldillion block cornice and paneled pilasters trimming the principal corners. Another typical feature is the Palladian or Venetian style window that pierces the large gabled dormer. Unusual for the time is the application of early steel siding that follow the shape of beveled weatherboards.

Laid out on a spacious Georgian plan with a broad center stair hall, the interior is fitted with solid mahogany doors and a mahogany stair railing as well as fine examples of Colonial Revival mantels and moldings.

According to family tradition, Thomas H. Tilghman financed construction of this house shortly after the purchase of the lot from Uriah W. and Mary P. Dickerson in March 1907.<sup>1</sup> The property remained under Tilghman family ownership until 1993.

On account of its well-preserved architectural character and prominent site along East Isabella Street, the Thomas H. Tilghman house qualifies for listing in *Category A*, which identifies buildings that must be retained.

<sup>1</sup> Wicomico County Land Record, EAT 53/437, 2 March 1907.

## 10. Geographical Data

Acreage of nominated property \_\_\_\_\_

Quadrangle name \_\_\_\_\_

Quadrangle scale \_\_\_\_\_

UTM References do NOT complete UTM references

A 

--	--	--	--	--	--	--	--	--	--

--	--	--	--	--	--	--	--	--	--

  
 Zone Easting Northing

B 

--	--	--	--	--	--	--	--	--	--

--	--	--	--	--	--	--	--	--	--

  
 Zone Easting Northing

C 

--	--	--	--	--	--	--	--	--	--

D 

--	--	--	--	--	--	--	--	--	--

E 

--	--	--	--	--	--	--	--	--	--

F 

--	--	--	--	--	--	--	--	--	--

G 

--	--	--	--	--	--	--	--	--	--

H 

--	--	--	--	--	--	--	--	--	--

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code
-------	------	--------	------

state	code	county	code
-------	------	--------	------

## 11. Form Prepared By

name/title Paul B. Touart, Architectural Historian

organization Private consultant date 6/26/97

street & number P. O. Box 5 telephone 410-651-1094

city or town Westover state Maryland 21871

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
 Shaw House  
 21 State Circle  
 Annapolis, Maryland 21401  
 (301) 269-2438

MARYLAND HISTORICAL TRUST  
 DHCP/DHCD  
 100 COMMUNITY PLACE  
 CROWNSVILLE, MD 21032-2023  
 514-7600

WI-252  
Thomas H. Tilghman House  
205 East Isabella Street  
Salisbury, Wicomico County, Maryland  
Chain of title

Map 104, Parcel 648

1334/504 Edward J. Tilghman  
John B. Tilghman

to

4/20/1993 Joseph Strogas  
John Erb

\$80,000.00

A J S 885/471 Thomas H. Tilghman and John B. Tilghman, Personal  
Representatives of Irma Bounds Tilghman

to

10/18/1977 Edward J. Tilghman  
John B. Tilghman  
Thomas H. Tilghman

and being the same land Thomas H. Tilghman died intestate  
Property descended to widow Mary C. Tilghman and unto  
Elizabeth Tilghman Smack and William H. Tilghman

EAT 53/437 Uriah W. Dickerson  
Mary P. Dickerson

to

3/2/1907 Thomas H. Tilghman  
\$ 1,000.00

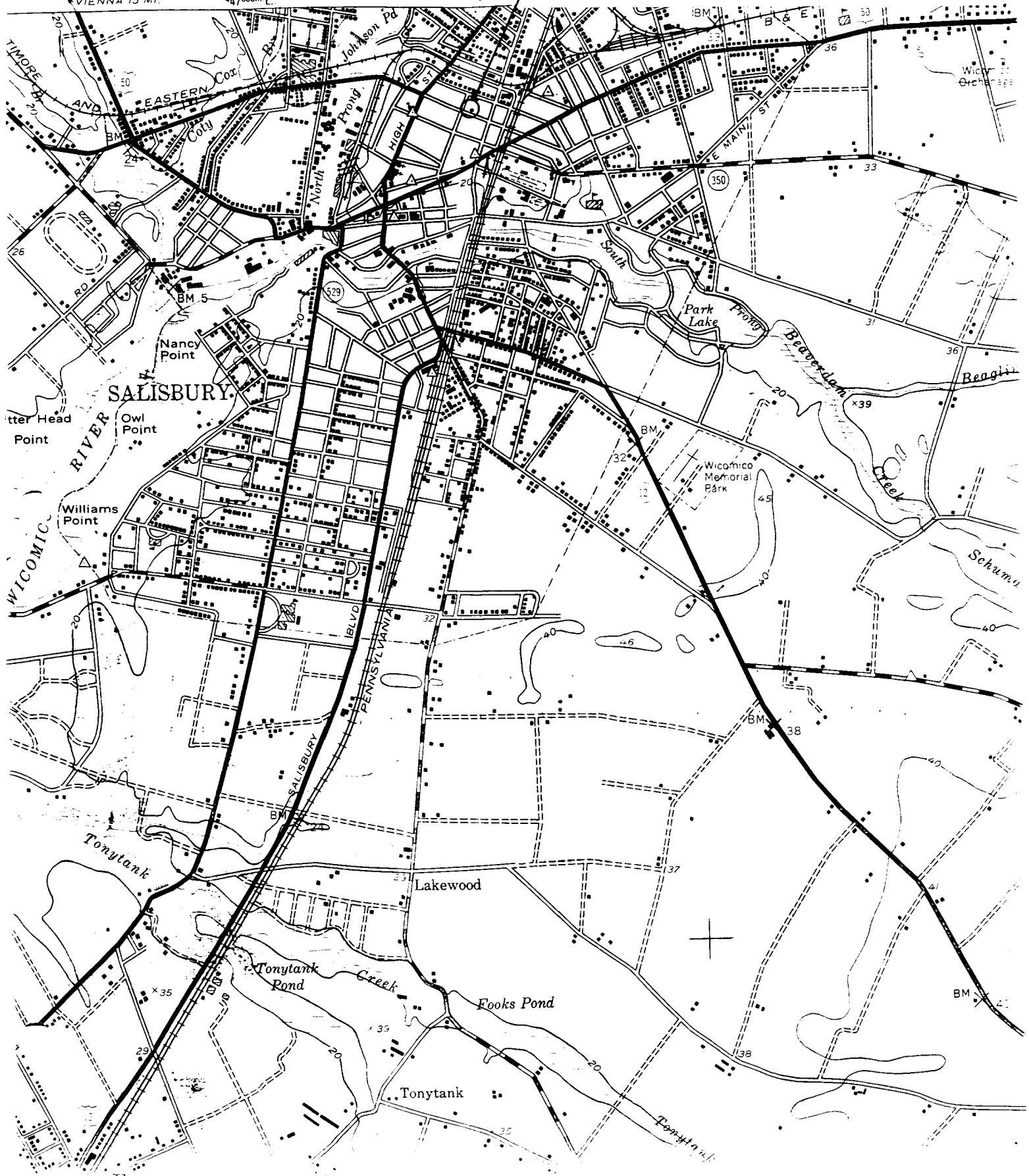
WI-252

Thomas H Tilghman House

Salisbury, Maryland Quadrangle  
1942

UNITED STATES  
DEPARTMENT OF THE INTERIOR  
GEOLOGICAL SURVEY

CAMBRIDGE 31 MI.  
VIENNA 15 MI. 447000m E.







WI-252

Thomas H. Townsend Trust

Wilmington, Delaware

Wilmington County, N.C.

11/97, Pam Townsend, personal

36000 11/11/97

Wilmington, Delaware Trust



# Salisbury Historic District Commission

---

## Hearing Notification

**Hearing Date:** April 24, 2024

**Time:** 7:00 pm

**Location:** Government Office Building  
125 N. Division Street  
Salisbury, MD. 21804  
Room 301

**Case Number:** #24-09

**Commission Considering:** New Construction – Rear Property

**Owner's Name:** Frank K Feather

**Applicant Name:** Frank K Feather

**Agent/Contractor:** Frank K Feather

**Subject Property Address:** 111 Walnut St

**Historic District:** Newton Historic District

**Use Category:** Residential

**Chairman:** Mr. Scott Saxman

**HDC Staff contact:** Amanda Rodriquez  
City Planner  
(410) 548-3170

# Salisbury Historic District Commission

125 N. Division Street  
Room 304  
Salisbury, MD 21801  
(410) 548-3170/ fax (410) 548-3107

## Permit Application

\$150 Fee Received 3/23/24 (date)

24-09

**Date Submitted:** 21 MAR 2024  
**Date Accepted as Complete:** \_\_\_\_\_  
**Subject Location:** 111 Walnut St, Salisbury, MD 21801  
**Application by:** Frank K Feather  
**Applicant Address:** 111 Walnut St, Salisbury, MD 21801  
**Applicant Phone:** (410) 422-5561

**Case #:** CE-24-1182  
**Action Required By (45 days):** \_\_\_\_\_

**Owner Name:** Frank K Feather  
**Owner Address:** 111 Walnut St, Salisbury, MD 21801  
**Owner Phone:** (410) 422-5561  
**Owner Email:** fkfeather@icloud.com

**Work Involves:**  Alterations  New Construction  Addition Other 12'w x 22'l x 10"h platform  
 Demolition  Sign  Awning Estimated Cost \_\_\_\_\_

**DESCRIPTION OF WORK PROPOSED** (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.  
Request permit approval for a 12 ft W x 22 ft L x 10" H wooden platform at the rear of my property located at 111 Walnut St, Salisbury MD 21801 (Newtowne Historic District). Construction consists of pressure treated (pt) dimensional lumber (dl) (4" x 6" dl, 2" x 6" dl, 4' x 8' x 3/4" plywood, and 4" x 8" x 16" solid concrete blocks. The 4"x6" beams rest on the concrete blocks. 2"x6" rim joists and floor joists rest on the 4"x6" beams (which act as a ledger and support for the joists). Entire platform painted dark gray. Upon this platform will be a Harbor Freight type portable carport/garage 12' W x 20' L dark gray in color. This structure will be used as a home gym consisting of various exercise equipment. (CONTINUED next page....)

**Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.**  Yes  No

**Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff?**  Yes  No

**If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historical Trust along with this application.**

### See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: [www.ci.salisbury.md.us](http://www.ci.salisbury.md.us).

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on 24 April 2024 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature Frank K Feather

Date 21 MARCH 2024

Amanda Rodriguez 3/23/24  
Secretary, S.H.D.C. (Date)

Continuation....

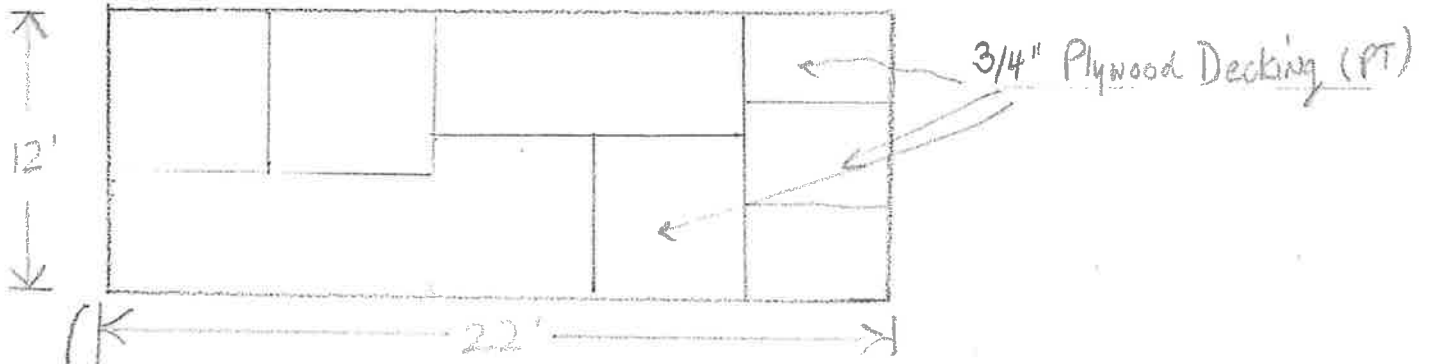
Since my retirement from the U.S. Army on March 30, 2017, I have been using a pre-existing slab from what appears to have been a garage as my home gym. The slab is 12' W x 22' L and is on grade. It is approximated 5 feet from the termination of the alley running east-west from Gay Street. The 12-foot-wide alley ends at my property which clearly explains the garage slab and placement. It is also located approximately 1 foot from the property to the rear of my property. It was originally not visible when I purchased the home on April 30, 2011, while on leave from my deployment to Iraq. At that time more than ½ half of the rear yard was covered in a very dense forest of bamboo which was out of control and migrating to the homes to my right, left, and rear. Bamboo still exists on the property behind me (Lester Court).

In the fall of 2014, I took a 2-week vacation and spent most of every day cutting and removing the bamboo. I did not occupy the home until July 2016 at which time my wife and family moved here from Ft. Leonard Wood, MO. I returned to Ft. Leonard Wood to wait for my retirement orders. I retired on March 30, 2017, after 21 years of active duty.

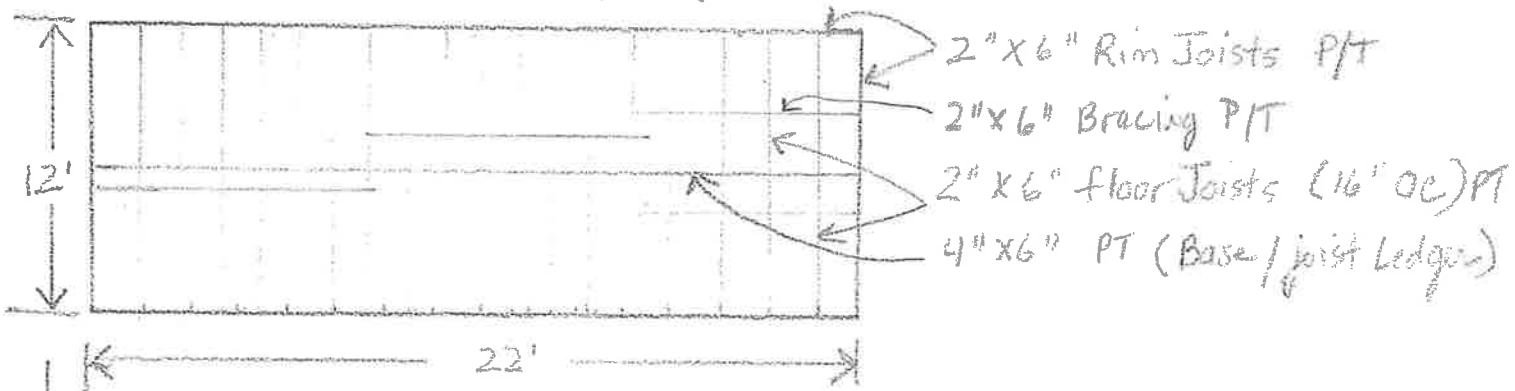
My retirement was forced upon me as I was medically evaluated for combat readiness due to service-connected disabilities after undergoing 11 surgeries since my last deployment. I have been rated 100% disabled (service connected) by the Veteran's Administration since my retirement. Exercise tends to help with my mobility.

The current slab at the NE corner of my rear yard is old, cracked, and uneven due to years of being buried under bamboo roots, shoots, compost, etc. , which is why I constructed a platform at the NW corner of my rear yard. My intent is to move the exercise equipment and Harbor Freight portable carport/garage to it and to remove the old, dilapidated slab. I had no idea that a permit was required for a platform barely 10 inches off the ground. Please accept my sincere apologies for not knowing the requirement. Having read the guidelines I could not find anything that addressed my situation completely as the platform is not attached to any dwelling nor is it visible from street view.

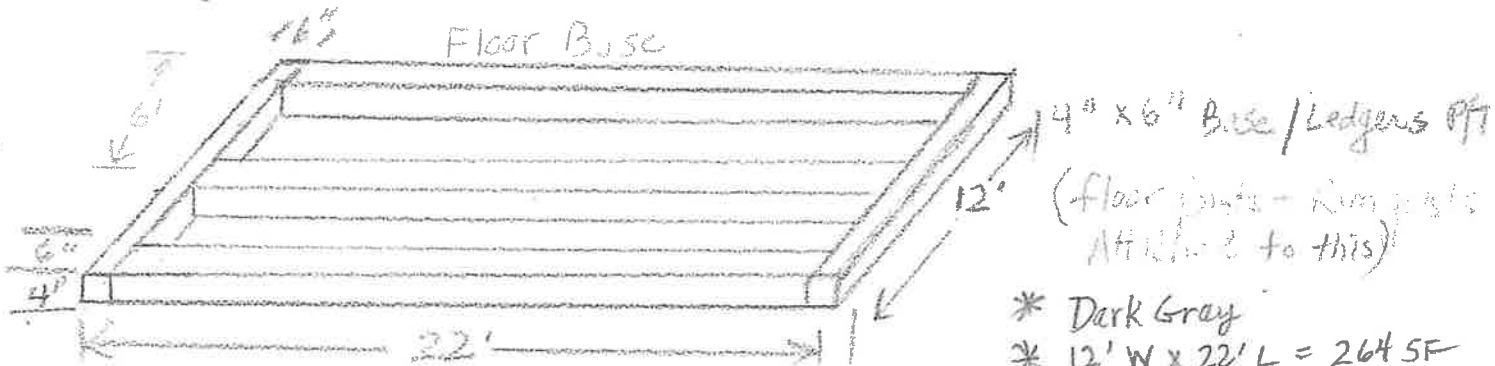
### Decking



### Floor Joists / Rim Joists



### Floor Base



- \* Dark Gray
- \* 12' W x 22' L = 264 SF
- \* Height 9" from ground
- \* NOT to scale

Old Garage  
Left side Slab



Old Garage  
Front slab



Gym Equipment



Proposed Wood Platform



Portable Carport/Garage



R side view from  
street



L side view from  
street



Open ▾



 platform photos.pdf

 Info





NW corner S 65° 02' E 55.00' (D) NE corner

Proposed wood Platform 12' x 22'

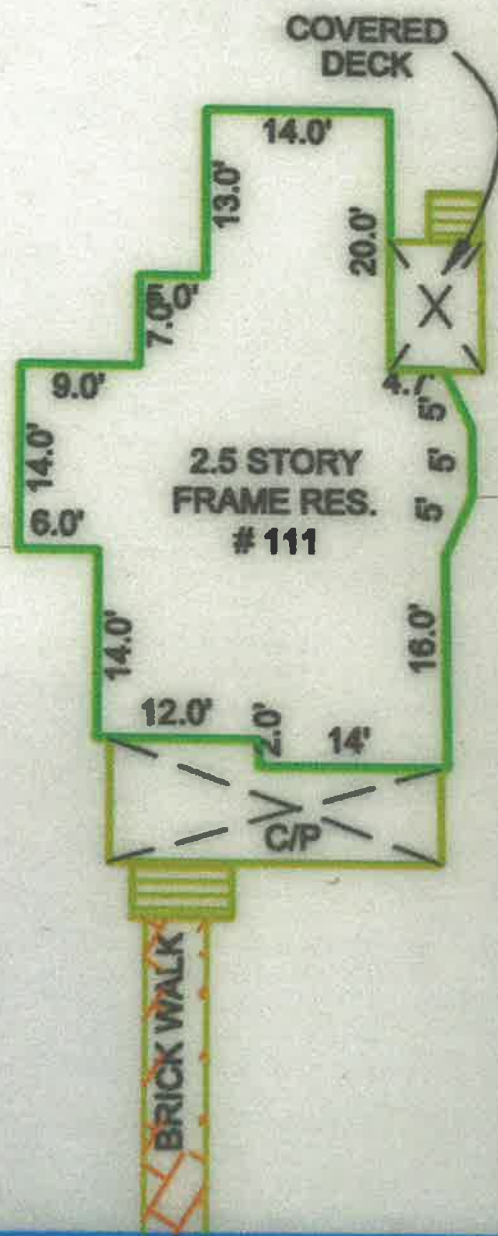
Pre-existing Garage slab 12' x 22'

12' ALLEY

111 Walnut St.  
**LIBER 2183**  
**FOLIO 725**

N 22° 08' E 139.65' (D)

S 26° 46' W 140.70' (D)



SW corner

N 63° 39' W 44.60' (D)

SE corner

Walnut St.

# Salisbury Historic District Commission

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## STAFF FINDINGS

### Meeting of April 24, 2024

<b>Case Number:</b>	#24-09
<b>Commission Considering:</b>	New Construction – Rear of Property
<b>Owner Name:</b>	Frank K. Feather
<b>Owners Address:</b>	111 Walnut St Salisbury, MD 21801
<b>Applicant Name:</b>	Frank K. Feather
<b>Applicant's Address:</b>	111 Walnut St Salisbury, MD 21801
<b>Agent/Contractor:</b>	Frank K. Feather
<b>Subject Property Address:</b>	111 Walnut St Salisbury, MD 21801
<b>Historic District:</b>	Newton Historic District
<b>Use Category:</b>	Residential
<b>Zoning Classification:</b>	R-8 Residential
<b>Structure / Site Description:</b>	
<b>Built Date:</b>	1915
<b>Enclosed Area:</b>	2,331 sq. ft.
<b>Lot Size:</b>	6,330 sq. ft.
<b>Number of Stories:</b>	2
<b>Contributing Structure:</b>	TBD

**Wicomico County Historic Survey on file:** Yes

**Nearby Properties on County Survey:** No

**Properties included below but not limited to:**

N/A

**Explanation of Request:** The applicant is seeking approval to place a harbor freight type portable carport/garage on an existing recently repaired wooden platform at the rear of the property.

**Areas of Historic Guidelines to be considered:**

***Roofing and Chimneys***

Please see the preceding section, Universal Guidelines, for additional guidelines on Roofing and Chimneys.

**Guideline 60: Roof Shape and Slope**

- a. Preserve the historic shape and slope of the roof of the main house as well as historic outbuildings like garages and carriage houses.
- b. Roof shapes on additions and outbuildings, including large sheds and garages, should be consistent with the architectural style of the main building. For example, a house with a hipped roof would likely have a garage with a hipped roof. A gable-roofed building would typically have additions with gable or shed roofs.
- c. On new buildings, roof shapes should be consistent with those found in the surrounding area. Nearly every type of domestic roof type is present within the Newtown and Camden Historic Districts. The new design should be harmonious with the adjacent properties.

***Garages and Outbuildings***

**Guideline 63: Maintain and Preserve Historic Outbuildings**

- a. Preserve the building's overall form and style. Avoid altering the shape, form, height, materials, and architectural elements.
- b. Preserve, maintain, and repair as necessary distinctive features and characteristics such as wood cladding and trim, ornaments, original windows, and other character defining details.
- c. Restore missing or altered features based on pictorial evidence, or in keeping with buildings of the same type, style, and period. If no evidence or precedent exists, create a simple design that is complimentary to the existing primary building and does not convey a false sense of history by utilizing arbitrary stylistic details not associated with the subject property's style.
- d. Paint colors should be compatible with those of the primary building.

**Guideline 64: Garage Conversions**

- a. When converting an existing garage to a new use, retain original details, including windows and doors as well as the building's overall form.
- b. Additions to garages should follow the same guidance outlined in Guidelines 35 and 36, Residential Additions and New Construction, in the Universal Guidelines section.

**Guideline 65: New Construction**

- a. The new garage shall be compatible with the primary building in terms of scale, massing, and style.
- b. Pre-fabricated, non-permanent sheds are permitted in the rear of the property. They should be small in scale and congruous with the style of the primary building.

Staff Findings Prepared By: Jennifer Jean  
Infrastructure and Development  
125 N Division Street, Suite 304  
Salisbury, MD 21801  
(410) 548-3170  
Date: April 24, 2024

WI-153

## Newtown Historic District

### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site ([mht.maryland.gov](http://mht.maryland.gov)) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

***Last Updated: 05-15-2018***

**MARYLAND HISTORICAL TRUST  
DETERMINATION OF ELIGIBILITY FORM**

Property Name: Newtown Historic District Inventory Number: WI-153  
 Address: \_\_\_\_\_ Historic district:  yes  no  
 City: Salisbury Zip Code: 21801 County: Wicomico  
 USGS Quadrangle(s): Salisbury  
 Property Owner: \_\_\_\_\_ Tax Account ID Number: \_\_\_\_\_  
 Tax Map Parcel Number(s): \_\_\_\_\_ Tax Map Number: 104,106-7  
 Project: TEA-21 DOE Agency: Maryland Historical Trust  
 Agency Prepared By: Maryland Historical Trust  
 Preparer's Name: Nicole Diehlmann Date Prepared: 6/15/2004  
 Documentation is presented in: MIHP Form WI-153  
 Preparer's Eligibility Recommendation:  Eligibility recommended  Eligibility not recommended  
 Criteria:  A  B  C  D Considerations:  A  B  C  D  E  F  G  
*Complete if the property is a contributing or non-contributing resource to a NR district/property:*  
 Name of the District/Property: \_\_\_\_\_  
 Inventory Number: \_\_\_\_\_ Eligible:  yes Listed:  yes  
 Site visit by MHT Staf  yes  no Name: Nicole Diehlmann Date: 12/15/2003

Description of Property and Justification: *(Please attach map and photo)*

The Newtown Historic District is a mid-19th to early-20th century residential community located in the City of Salisbury. The area is roughly bounded by Broad Street/U.S. Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20th century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18th to the early 20th century and retain their architectural integrity.

The Newtown Historic District is comprised of 278 properties. Of the 278 properties, 233 contribute to the district and 45 do not contribute. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19th to early-20th century building types and styles including foursquares, Greek Revival, Queen

**MARYLAND HISTORICAL TRUST REVIEW**

Eligibility recommended  Eligibility not recommended   
 Criteria:  A  B  C  D Considerations:  A  B  C  D  E  F  G

**MHT Comments:**

Nicole Diehlmann  
 Reviewer, Office of Preservation Services  
Peter Kurtze  
 Reviewer, National Register Program

Tuesday, June 15, 2004  
 Date  
Tuesday, June 15, 2004  
 Date

Anne, Shingle Style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19th to early-20th century unplanned suburban neighborhood. It is significant for its intact collection of late-18th to early-20th century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended  X  Eligibility not recommended \_\_\_\_\_

Criteria:  X  A   B  X  C   D Considerations:   A   B   C   D   E   F   G

MHT Comments:

\_\_\_\_\_  
Nicole Diehlmann  
Reviewer, Office of Preservation Services

\_\_\_\_\_  
Tuesday, June 15, 2004  
Date

\_\_\_\_\_  
Peter Kurtze  
Reviewer, National Register Program

\_\_\_\_\_  
Tuesday, June 15, 2004  
Date

**Newtown Historic District**  
**WI-153**  
**Salisbury, Wicomico County**  
**1795-1954**

The Newtown Historic District is a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

The Newtown Historic District is one of Salisbury's earliest residential areas. Slowly subdivided from the tract known as "Pemberton's Good Will," structures in Newtown date from as early as 1795 to the mid-20<sup>th</sup> century. These houses, constructed by Salisbury's elite, represent the evolution of residential architectural trends from the late 18<sup>th</sup> to the early 20<sup>th</sup> century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion A and C as a outstanding example of a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned suburban neighborhood. It is significant for its intact collection of late-18<sup>th</sup> to early-20<sup>th</sup> century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.



# Maryland Historical Trust Maryland Inventory of Historic Properties Form

Inventory No. WI-153

## 1. Name of Property (indicate preferred name)

historic                      Newtown Historic District

other

## 2. Location

street and number \_\_\_\_\_ not for publication

city, town                      Salisbury \_\_\_\_\_ vicinity

county                      Wicomico

## 3. Owner of Property (give names and mailing addresses of all owners)

name                      Multiple Owners

street and number \_\_\_\_\_ telephone \_\_\_\_\_

city, town                      Salisbury                      state      MD                      zip code      21801

## 4. Location of Legal Description

courthouse, registry of deeds, etc.      Wicomico County Courthouse                      liber                      folio

city, town                      Salisbury                      tax map 104, 106, 107                      tax parcel                      tax ID number

## 5. Primary Location of Additional Data

- Contributing Resource in National Register District  
 Contributing Resource in Local Historic District  
 Determined Eligible for the National Register/Maryland Register  
 Determined Ineligible for the National Register/Maryland Register  
 Recorded by HABS/HAER  
 Historic Structure Report or Research Report at MHT  
 Other: \_\_\_\_\_

## 6. Classification

Category	Ownership	Current Function	Resource Count
<input checked="" type="checkbox"/> district	<input type="checkbox"/> public	<input type="checkbox"/> agriculture	Contributing
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> commerce/trade	233
<input type="checkbox"/> structure	<input checked="" type="checkbox"/> both	<input type="checkbox"/> defense	_____
<input type="checkbox"/> site		<input checked="" type="checkbox"/> domestic	_____
<input type="checkbox"/> object		<input type="checkbox"/> education	_____
		<input type="checkbox"/> funerary	233
		<input type="checkbox"/> government	_____
		<input type="checkbox"/> health care	45
		<input type="checkbox"/> industry	Total
		<input type="checkbox"/> landscape	
		<input checked="" type="checkbox"/> recreation/culture	
		<input checked="" type="checkbox"/> religion	
		<input type="checkbox"/> social	
		<input type="checkbox"/> transportation	
		<input type="checkbox"/> work in progress	
		<input type="checkbox"/> unknown	
		<input type="checkbox"/> vacant/not in use	
		<input type="checkbox"/> other:	
			<b>Number of Contributing Resources previously listed in the Inventory</b>
			12

## 7. Description

Inventory No. WI-153

### Condition

excellent      \_\_\_ deteriorated  
 good            \_\_\_ ruins  
 fair              \_\_\_ altered

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

The Newtown Historic District is a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. The area is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

Newtown is a predominantly residential community on the north side of downtown Salisbury that slowly developed from the mid-19<sup>th</sup> century into the early 20<sup>th</sup> century. The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. The district is primarily residential with the exception of a few churches along the southern boundary and some commercial space along Route 13.

Parcels in Newtown were slowly subdivided from a tract of land called "Pemberton's Good Will" beginning in the mid-19<sup>th</sup> century. Early development was clustered along what is now Broad and Division streets. More development occurred after the Civil War when Isabella, Elizabeth and William streets were partitioned for development from the Poplar Hill Mansion property. The 1877 Atlas for Salisbury shows a street system very close to what exists today, with the exception of Park Avenue, Oakdale Road and Elizabeth Street, which don't appear. Development at that time is clustered on the southern end of the district, principally on Division, Broad, Chestnut and Walnut streets.<sup>1</sup> The neighborhood seems to have been almost built out by the time the September 1899 Sanborn Map was published. That map shows very few vacant parcels left in the community. The area along Oakdale Road, on the property once called The Oaks, was the last portion of the district to be developed.

Despite the long period of development, the Newtown streetscape is rhythmic with an irregular gridiron layout and a relatively consistent setback. Lot sizes are irregular, but the houses are large in scale and placed fairly close together. The houses are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19<sup>th</sup> to early-20<sup>th</sup> century building types and styles including foursquares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The streets are lined with mature trees.

Newtown is significant for its broad array and distinguished examples of 19<sup>th</sup> to early 20<sup>th</sup> century architectural styles. As a result of fires in 1860 and 1886, there are few remaining antebellum houses in Salisbury. Two of them are located in Newtown. Poplar Hill Mansion [WI-8], located at 117 Elizabeth Street, is the oldest known structure in the City of Salisbury. Construction of the two-story, five-bay frame structure with fine federal-style detailing, including a Palladian window, block cornice and decorative fanlight over the entrance door, was begun circa 1795 when Levin Handy purchased the property. This property is currently operated as a house museum. The rear wing of the 1897 Robert D. Grier house [WI-62] at 315 North Division Street, was originally the two-story, five-bay frame Thomas Hooper House which dates to circa 1820. Now functioning as a service wing, the structure was originally a center hall plan house with fine federal detailing.<sup>2</sup>

The Greek Revival style is well represented in Newtown. Probably the most notable is the three-story, five-bay frame house located at 115 Broad Street, formerly known as "Park Hall," which was the residence of merchant and mill owner General Humphrey Humphreys. According to an inscribed board, the house dates to 1856. The double pile house is three stories tall with a center hall and low pitched roof with wide eaves. The first two stories are clad in weatherboard with 6/6 sash windows while the shorter third story is clad in flush board siding with casement windows. The first and second stories are encased in vertical corner pilasters on which the third floor appears to rest as a classical entablature. The interior also retains Greek-inspired finishes. Similar to this house is the Dr. Cathell Humphreys house (later known as "Mrs. Herold's School") at 325 N. Division Street. This building, constructed c.

<sup>1</sup> Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976), p. 18.

<sup>2</sup> Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003; Touart, Paul Baker, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files; and "Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
Continuation Sheet

Number 7 Page 1

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1860-1870 by General Humphrey Humphrey's brother, is a three-story, three-bay center hall dwelling with weatherboard sheathing on the first two stories and flush board sheathing on the third. The eaves under the hipped roof are marked with large decorative brackets. Other Greek Revival structures remaining in Newtown include Hatfield Manor on Division Street, which was constructed for local merchant Theodore Parsons and his wife, Margaret Bell Parsons. This three-story, five-bay, center-hall structure with flanking two-story wings and a low pitched roof retains its Corinthian columns and bracketed cornice.<sup>3</sup>

Elihu E. Jackson, a lumber magnate and Governor of Maryland, and his wife Nellie Rider Jackson lived on the large estate known as The Oaks on the north side of Newtown. The house was located on the northwest corner of North Division and West Isabella streets and designed in the Queen Anne style by Jackson C. Gott of Baltimore in 1883-84. At the time, it was the largest house constructed in Salisbury with over twenty rooms. It was located on an elevated site and was decorated with an asymmetrical collection of towers, gables and porches. In August 1887, it was one of the first houses in Salisbury to be electrified. The structure was demolished in the 1920s to make way for new residential development.<sup>4</sup>

Other notable Queen Anne dwellings in Newtown include the 1887-8 Gillis-Grier house [WI-13] at the corner of North Division and William streets (401 N. Division Street). Built for merchant James Cannon, the asymmetrical house sports a three-story octagonal tower with conical roof, brick chimneys with corbelled caps and terra cotta and woodwork panels. In 1897, Robert D. Grier, a foundry owner, purchased property at 501 North Division Street. He moved the existing dwelling and hired Salisbury builder William J. Johnson to construct a new house on the front of the property. The new portion of the house contains many Queen Anne details including a three story circular tower with conical roof and fishscale shingles. Throughout the Newtown district, there are many more modest dwellings with Queen Anne detailing. One example is the 1898 William M. Day house [WI-245] at the corner of East Isabella Street and Poplar Hill Avenue (119 E. Isabella Street). This two-and-a-half story house is sheathed in a mix of narrow weatherboards, decorative panels and fish scale shingles, and contains multisided bays.<sup>5</sup>

The Perry-Cooper house [WI-106] at the corner of William and Gay streets (200 E. William Street) in Newtown is an outstanding example of the Second Empire style. It was constructed in 1897 for Thomas Perry, the owner of the *Salisbury Advertiser*. It maintains its distinctive mansard roof and circular front porch, and is notable for the unusual swag design found in the cornice and window lintels.<sup>6</sup>

The American Four-Square was a popular house type in the early 20<sup>th</sup> century. They are defined by their two-and-a-half story height, square massing and hipped or pyramidal roof. They were often ornamented with Colonial Revival and Craftsman design motifs. One such example in Newtown is the 1910 L. Atwood Bennett house on Elizabeth Street. Constructed for a Salisbury attorney, the dwelling is notable for its neoclassical porch and exposed rafter ends.<sup>7</sup>

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<sup>3</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>4</sup> Touart, *At the Crossroads*.

<sup>5</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>6</sup> Touart, *At the Crossroads* and "Architectural Walking Tour of Newtown Historic District."

<sup>7</sup> Touart, *At the Crossroads*.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
Continuation Sheet

Number 7 Page 2

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The properties on Oakdale and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, differ from the rest of the district. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style. The eastern half of the block between Isabella Street and Oakdale Road is now a community park.

The Newtown neighborhood also contains several significant institutional buildings. These include the Charles H. Chipman Cultural Center, which was formerly the John Wesley M.E. Church. The John Wesley M.E. congregation was formed in 1837 by a group of free blacks. They constructed a one-story frame church on a Newtown lot they purchased in 1838 at what is now 321 Broad Street. The church was renovated and raised to two stories in 1880, and in 1901 a tower was added to the front. The building now houses a museum interpreting local African-American history.<sup>8</sup>

In 1859, Salisbury's Wicomico Presbyterian Church congregation began construction of a large brick church with Romanesque Revival details at what is now 129 Broad Street. This larger church replaced their former place of worship, a one-story building on Broad Street. The church with its rounded arched windows was dedicated on March 24, 1861. The entrance tower and steeple, designed by Baltimore architectural firm Owens & Sisco, was added in 1910.<sup>9</sup>

The original Asbury Methodist Episcopal Church was destroyed by the 1886 fire, but was reconstructed in 1887-8. The new church, financed by wealthy lumber merchant William H. Jackson, was designed by Baltimore architect Jackson C. Gott in the Romanesque Revival style and constructed in Port Deposit stone. The church was unique because the sanctuary was oriented on a diagonal with a corner pulpit and theatre-style seating. The building now houses the Faith Community Church at 219 N. Division Street.<sup>10</sup>

Trinity Methodist Church [WI-64], at the corner of North Division and High Street, was designed by the Baltimore architectural firm, C.E. Cassell & Son, and constructed in 1904-5. Built in the Richardsonian Romanesque style with Port Deposit granite and limestone accents, the building is notable for its windows made by the studios of Louis Comfort Tiffany.<sup>11</sup>

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<sup>8</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>9</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>10</sup> Touart, *At the Crossroads*.

<sup>11</sup> "Architectural Walking Tour of Newtown Historic District."

# 8. Significance

Inventory No. WI-153

Period	Areas of Significance	Check and justify below		
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> health/medicine	<input type="checkbox"/> performing arts
<input checked="" type="checkbox"/> 1700-1799	<input type="checkbox"/> archeology	<input type="checkbox"/> education	<input type="checkbox"/> industry	<input type="checkbox"/> philosophy
<input checked="" type="checkbox"/> 1800-1899	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> engineering	<input type="checkbox"/> invention	<input type="checkbox"/> politics/government
<input checked="" type="checkbox"/> 1900-1999	<input type="checkbox"/> art	<input type="checkbox"/> entertainment/ recreation	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 2000-	<input type="checkbox"/> commerce	<input type="checkbox"/> ethnic heritage	<input type="checkbox"/> law	<input type="checkbox"/> science
	<input type="checkbox"/> communications	<input type="checkbox"/> exploration/ settlement	<input type="checkbox"/> literature	<input type="checkbox"/> social history
	<input type="checkbox"/> community planning		<input type="checkbox"/> maritime history	<input type="checkbox"/> transportation
	<input type="checkbox"/> conservation		<input type="checkbox"/> military	<input type="checkbox"/> other: _____

Specific dates 1795-1954

Architect/Builder

**Construction dates**

Evaluation for:

National Register       Maryland Register       not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance projects, complete evaluation on a DOE Form – see manual.)

The Newtown Historic District is one of Salisbury’s earliest residential areas. Slowly subdivided from the tract known as “Pemberton’s Good Will,” structures in Newtown date from as early as 1795 to the early 20<sup>th</sup> century. These houses, constructed by Salisbury’s elite, represent the evolution of residential architectural trends from the late 18<sup>th</sup> to the early 20<sup>th</sup> century and retain their architectural integrity. The Newtown Historic District is eligible for listing on National Register under Criterion C as a outstanding example of a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned suburban neighborhood. The neighborhood maintains its integrity of location, design, setting, materials, association and feeling. It is significant for its intact collection of late-18<sup>th</sup> to early-20<sup>th</sup> century residential building styles, as well as for its association with key figures in the development of the City of Salisbury.

The City of Salisbury was established in 1732 on fifteen acres of land between the north and east branches of the Wicomico River. Despite its location on the dividing line of what was then Somerset and Worcester counties, by the end of the 18<sup>th</sup> century, Salisbury had developed into a commercial center. According to architectural historian Paul Touart, much of this growth was fueled by “the speculation and subdivision of additional parts of “Pemberton’s Good Will,” one of the principal tracts on which the city was laid out. The newly partitioned land was located along the Salisbury-Laurel [Delaware] Road between High Street and modern-day West Isabella Street.”<sup>12</sup> A large mill complex was established in 1769 on the north prong of the Wicomico River by Littleton Dennis and Josiah and Gilliss Polk which by 1774 contained two grist mills, a bolting mill and a saw mill on eighty acres of land. The surviving 1798 Direct Tax records for Somerset County show a diversity of commercial, industrial and domestic structures located primarily between the two forks of the Wicomico River. Almost a third of the dwellings were classified as “new,” indicating the town was experiencing a growth spurt.<sup>13</sup>

Outside of this developed area were several large land holdings, including the 357-acre plantation owned by Levin Handy. This property was called Poplar Hill, but was originally a portion of “Pemberton’s Good Will.” Levin Handy purchased the property in 1795 and shortly thereafter began construction of the two-story, five-bay frame structure with fine federal-style detailing now known as Poplar Hill Mansion. The house was not completed by Handy, however. In 1805, John Huston, a doctor who also owned and operated a downtown bank, acquired the property and finished construction.<sup>14</sup>

During the late 18<sup>th</sup> century, a 74.75-acre parcel of “Pemberton’s Good Will,” located between what is now High and West Isabella streets, was acquired by another of Salisbury’s early physicians, Dr. Martin Luther Haynie. Dr. Haynie subdivided the land into smaller, irregularly-sized parcels that fronted the west side of what was then known as Dividing or Boundary Street. The 1798 Federal Direct tax assessment indicates that these properties were located in “Haynie’s Settlement” and were mostly unimproved. It is unclear how much development occurred there in the first quarter of the nineteenth century, but by the 1820s, the area was referred to as “New Town” in property transfers.<sup>15</sup>

<sup>12</sup> Touart, “The Eighteenth-Century Origins of the Newtown Neighborhood.”

<sup>13</sup> Touart, *At the Crossroads*; Touart, “The Eighteenth-Century Origins of the Newtown Neighborhood;” and “Architectural Walking Tour of Newtown Historic District.”

<sup>14</sup> Touart, *At the Crossroads*.

<sup>15</sup> Touart, *At the Crossroads*; and Touart, “The Eighteenth-Century Origins of the Newtown Neighborhood.”

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. WI-153

Newtown Historic District  
Continuation Sheet

Number 8 Page 1

Salisbury continued to grow in the early 19<sup>th</sup> century, mostly because of its commercial and industrial enterprises and its location on the Wicomico River and the primary north-south road of the Delmarva Peninsula. The area of Newtown was incorporated into Salisbury's corporate limits in 1847. At that time, most of the construction activity within Newtown was limited to parcels bordering on Broad, High, and Dividing streets. The additional acreage within the current-day boundaries of Newtown was still owned by Dr. John and Sarah Huston of Poplar Hill.<sup>16</sup>

By the time the railroad reached Salisbury in April 1860, the town boundaries had expanded dramatically and the population neared 2,000 residents. The next several years brought setbacks for the town—an August 1860 fire devastated much of the town, and by 1862 the town was occupied by federal forces seeking confederate sympathizers. By the end of the war, however, Salisbury was recovering from the ravages of fire. Many residents chose to rebuild their houses outside of the commercial district in Newtown. The pace of construction was brisk along Division Street. Three new east-west streets were created from land subdivided from the Poplar Hill property. They were named after the children of Poplar Hill's owners, John and Sarah Huston—Isabella, Elizabeth and William.<sup>17</sup>

In 1867, the Maryland legislature passed a new constitution with an amendment authorizing the partition of Somerset and Worcester counties and the creation of a new jurisdiction named after the Wicomico River. Salisbury became the county seat of the new Wicomico County and grew in influence. During the 1870s, an extensive railroad network was developed on the Eastern Shore. Many of these lines intersected at Salisbury, transforming the town into a transportation hub. At the same time, dredging and other improvements to the Wicomico River improved the town's shipping capacity. These positive economic factors led to a building boom in Salisbury that would last to the end of the century.<sup>18</sup>

Fire struck the town once again on October 18, 1886. Ignited in a livery stable downtown, the fire quickly spread throughout the city. Wet blankets were effectively used to protect the roofs of Newtown houses from catching on fire. With help from the Wilmington, Pocomoke City and Crisfield fire departments, the north and easternmost portions of the blaze were extinguished by Broad and Division streets, saving the residence of Dr. Eugene Humphreys [the General Humphrey Humphreys House] at 115 Broad Street. Salisbury quickly recovered from this second major fire and Newtown once again became a center of residential construction.<sup>19</sup>

As a result of its ever-growing industrial, commercial and agricultural economy, from the 1880s to the 1920s, Salisbury's population grew from nearly 4,000 to over 10,000 residents. This population growth spurred demand for housing. To meet this need, some local businessmen constructed rowhouse units on smaller parcels of land. There is a series of such brick rowhouse units in Newtown on Poplar Hill Avenue, but the neighborhood remained one of primarily single-family detached houses.<sup>20</sup>

The properties on Oakdale Road and the northernmost block of Park Avenue, formerly the site of E.E. Jackson's property, The Oaks, were the last to be developed and represent building trends in the early 20<sup>th</sup> century. They are characterized by larger lots and a curvilinear streetscape. The earliest structures date to the 1930s and are predominantly designed in the Colonial Revival style.

The Newtown Historic District contains examples of almost all architectural styles popular in the United States from the late 18<sup>th</sup> to the early 20<sup>th</sup> century. These high-style structures were built by Salisbury's elite and represent the City's growing importance on Maryland's Eastern Shore.

<sup>16</sup> Touart, *At the Crossroads*; and Touart, "The Eighteenth-Century Origins of the Newtown Neighborhood."

<sup>17</sup> Touart, *At the Crossroads*; and "Architectural Walking Tour of Newtown Historic District."

<sup>18</sup> Touart, *At the Crossroads*.

<sup>19</sup> Touart, *At the Crossroads*.

<sup>20</sup> Touart, *At the Crossroads*.

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## 9. Major Bibliographical References

Inventory No. WI-153

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"Architectural Walking Tour of Newtown Historic District," found in the vertical files of the MHT Library.

Touart, Paul Baker, *At the Crossroads: The Architectural History of Wicomico County, Maryland*, draft manuscript located at the Maryland Historical Trust, 2002-2003.

-----, "The Eighteenth-Century Origins of the Newtown Neighborhood," article found in the Maryland Historical Trust vertical files.

Wicomico Bicentennial Commission, *The 1877 Atlases and other Early Maps of the Eastern Shore of Maryland* (Salisbury, MD: Peninsula Press, 1976).

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## 10. Geographical Data

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Acreage of surveyed property 74.98  
Acreage of historical setting 74.98  
Quadrangle name Salisbury

Quadrangle scale: 1:24,000

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### Verbal boundary description and justification

The Newtown Historic District is roughly bounded by Broad Street/Route 50 to the south, U.S. Route 13 to the east and railroad tracks to the north and west. This area contains a concentrated collection of significant historic properties that were originally subdivided from the tract "Pemberton's Good Will." Some properties facing the west side of U.S. Business Route 13 are not included in the district because they do not retain sufficient integrity to contribute to the district's significance.

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## 11. Form Prepared by

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name/title	Nicole A. Diehlmann		
organization	Maryland Historical Trust	date	June 30, 2004
street & number	100 Community Place	telephone	410-514-7625
city or town	Crownsville	state	MD

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The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
DHCD/DHCP  
100 Community Place  
Crownsville, MD 21032-2023  
410-514-7600

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
	Contributing	0107	1002	2	1	
	Contributing	0107	1863		PAR B	
209 ASBURY PL		0107	0749			
211 ASBURY PL		0107	0750			
213 ASBURY PL		0107	0751			
101 BROAD ST	Contributing	0107	0753			
115 BROAD ST	Contributing	0107	0752			WI-14
123 BROAD ST	Contributing	0107	0748			
207 BROAD ST	Contributing	0104	0747			
221 BROAD ST	Contributing	0107	0745			WI-151
225 BROAD ST	Contributing	0104	0744			
227 BROAD ST	Contributing	0107	0743			
325 BROAD ST	Contributing	0107	0740		2	
323 N BROAD ST	Contributing	0107	1864		2	
327 N BROAD ST		0107	1862	0	0	
112 CHESTNUT ST		0107	0746			
107 E CHESTNUT ST		0107	0758			
109 E CHESTNUT ST	Contributing	0107	0759			
119 E CHESTNUT ST	Contributing	0107	0760			
121 E CHESTNUT ST	Contributing	0107	0761			
104 W CHESTNUT ST	Contributing	0107	0995	5	5	
107 W CHESTNUT ST	Contributing	0107	0957	4	28	
111 W CHESTNUT ST	Contributing	0107	0958	4	1	
106 COLONIAL CT	Contributing	0107	0952	4	23	
104 S COLONIAL CT	Contributing	0107	0953	4	25	
217 N DIVISION ST	Contributing	0107	0754			
218 N DIVISION ST	Contributing	0107	0999	5	4	
224 N DIVISION ST	Contributing	0107	0998	5	3	



## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
225 N DIVISION ST	Contributing	0107	0757			
226 N DIVISION ST	Contributing	0107	0997			
228 N DIVISION ST	Contributing	0107	0996			
300 N DIVISION ST	Contributing	0107	0956			
301 N DIVISION ST		0107	0756			
302 N DIVISION ST	Contributing	0107	0955	4	26	
304 N DIVISION ST		0107	0954			
305 N DIVISION ST	Contributing	0107	0773			
308 N DIVISION ST	Contributing	0107	0951	4	24	
309 N DIVISION ST	Contributing	0107	0772			
312 N DIVISION ST	Contributing	0107	0950	4	22	
313 N DIVISION ST	Contributing	0107	0774			
314 N DIVISION ST		0107	0949	4	21	
315 N DIVISION ST	Contributing	0107	0810			WI-62
316 N DIVISION ST	Contributing	0107	0948	4	20	
319 N DIVISION ST	Contributing	0107	0811			
320 N DIVISION ST	Contributing	0107	0947	4	19A	WI-110
321 N DIVISION ST	Contributing	0107	0812			
322 N DIVISION ST	Contributing	0107	0946		0	
324 N DIVISION ST	Contributing	0107	0945	4	17	
325 N DIVISION ST	Contributing	0107	0813			
326 N DIVISION ST	Contributing	0107	1867		0	
328 N DIVISION ST	Contributing	0107	0943	4	15	
401 N DIVISION ST	Contributing	0107	0678			WI-13
403 N DIVISION ST	Contributing	0107	0677	2	23	
407 N DIVISION ST	Contributing	0107	0676			
408 N DIVISION ST	Contributing	0107	0941		0	
501 N DIVISION ST	Contributing	0104	0635			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
509 N DIVISION ST	Contributing	0104	0634			WI-360
601 N DIVISION ST	Contributing	0104	0608			WI-361
605 N DIVISION ST	Contributing	0104	0607			
607 N DIVISION ST	Contributing	0104	0606			
611 N DIVISION ST	Contributing	0104	0605			
613 N DIVISION ST	Noncontributing	0104	0604			
102 ELIZABETH ST	Contributing	0104	0633			
103 ELIZABETH ST	Contributing	0104	0609			WI-364
104 ELIZABETH ST	Contributing	0104	0632			
105 ELIZABETH ST	Contributing	0104	0610			
106 ELIZABETH ST	Contributing	0104	0631			
107 ELIZABETH ST	Contributing	0104	0611			
108 ELIZABETH ST	Noncontributing	0104	0630			
109 ELIZABETH ST	Contributing	0104	0612			
111 ELIZABETH ST	Contributing	0104	0613			
113 ELIZABETH ST	Contributing	0104	0614			
114 ELIZABETH ST	Contributing	0104	0628			
116 ELIZABETH ST	Contributing	0104	0627			
117 ELIZABETH ST	Contributing	0104	0615			WI-8
202 ELIZABETH ST	Contributing	0104	0624			
203 ELIZABETH ST	Contributing	0104	0616			
204 ELIZABETH ST	Contributing	0104	0623			
205 ELIZABETH ST	Contributing	0104	0617			
206 ELIZABETH ST		0104	0622			
208 ELIZABETH ST	Contributing	0104	0621			
210 ELIZABETH ST	Contributing	0104	0620			
306 ELLEN ST		0107	0702			
324 ELLEN ST	Contributing	0107	0706			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

<b>Address</b>	<b>Contributing Resource?</b>	<b>Map</b>	<b>Parcel</b>	<b>Block</b>	<b>Lot</b>	<b>Inventory No.</b>
305 GAY ST	Contributing	0107	0796			
306 GAY ST	Contributing	0107	0797			
307 GAY ST	Contributing	0107	0795			
308 GAY ST	Contributing	0107	0798			
309 GAY ST	Contributing	0107	0794			
310 GAY ST		0107	0799			
311 GAY ST	Contributing	0107	0793			
312 GAY ST	Contributing	0107	0800			
313 GAY ST	Contributing	0107	0792			
317 HAPPY LANE		0107	0730			
101 HIGH ST		0107	1000	6	1	
105 HIGH ST	Contributing	0107	1001	6	2	
107 HIGH ST	Contributing	0107	1005			
109 HIGH ST	Contributing	0107	1006	6	4	
106 HIGH ST	Contributing		1003			
111 HIGH ST	Contributing		1007			
113 HIGH ST			1008			
102 E ISABELLA ST	Contributing	0107	0675			
103 E ISABELLA ST	Contributing	0104	0636			WI-328
104 E ISABELLA ST	Contributing	0107	0674			
105 E ISABELLA ST	Contributing	0104	0637			
106 E ISABELLA ST	Contributing	0107	0673			
107 E ISABELLA ST	Contributing	0104	0638			
108 E ISABELLA ST	Contributing	0107	0672			
109 E ISABELLA ST	Contributing	0104	0639			
110 E ISABELLA ST	Contributing	0107	0671			
111 E ISABELLA ST	Contributing	0104	0640			
112 E ISABELLA ST	Contributing	0107	0670			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
113 E ISABELLA ST	Contributing	0104	0641			
114 E ISABELLA ST	Contributing	0107	0669			
116 E ISABELLA ST	Contributing	0107	0668			
117 E ISABELLA ST	Contributing	0104	0642		2	
118 E ISABELLA ST	Contributing	0107	0667			
119 E ISABELLA ST	Contributing	0104	0643			WI-245
120 E ISABELLA ST	Contributing	0107	0664			
204 E ISABELLA ST	Contributing	0107	0662			
205 E ISABELLA ST	Contributing	0104	0648			
206 E ISABELLA ST	Contributing	0107	0661			
207 E ISABELLA ST	Contributing	0104	0649			
209 E ISABELLA ST	Contributing	0104	0650			
210 E ISABELLA ST	Contributing	0107	0660			
211 E ISABELLA ST	Contributing	0104	0651			
213 E ISABELLA ST	Contributing	0104	0652			
214 E ISABELLA ST	Contributing	0107	0659			
215 E ISABELLA ST	Contributing	0104	0653			
216 E ISABELLA ST		0107	0658			
220 E ISABELLA ST	Contributing	0107	0657			
222 E ISABELLA ST	Contributing	0107	0656			
104 W ISABELLA ST	Contributing	0107	0976	3	6	
108 W ISABELLA ST	Contributing	0107	0975	3	5	
110 W ISABELLA ST	Contributing	0107	0974	3	4	
205 W ISABELLA ST	Contributing	0104	0925		24	
208 W ISABELLA ST	Contributing	0106	0977		1	
LEMMON HILL LN			1010			
305 LEMMON HILL LN	Contributing		1009			
313 LEMMON HILL LN	Contributing		1011			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
315 LEMMON HILL LN	Contributing		1012			
309 LESTER CT	Contributing	0107	0804			
101 OAKDALE ROAD	Noncontributing	0104	0912	3	1 2 3	
105 OAKDALE ROAD	Noncontributing	0104	0913			
107 OAKDALE ROAD	Contributing	0104	0914			
201 OAKDALE ROAD	Contributing	0104	0915			
207 OAKDALE ROAD	Noncontributing	0104	0916		10A	
208 OAKDALE ROAD		0104	0931			
212 OAKDALE ROAD	Noncontributing	0104	0930			
213 OAKDALE ROAD	Noncontributing	0104	0917			
215 OAKDALE ROAD	Contributing	0104	0918			
219 OAKDALE ROAD		0104	0919			
221 OAKDALE ROAD		0104	0920			
223 OAKDALE ROAD	Noncontributing	0104	0921			
225 OAKDALE ROAD	Noncontributing	0104	0927			
300 PARK AVE	Contributing	0106	0991	2	1	
302 PARK AVE	Contributing	0106	0990	2	2	
303 PARK AVE	Contributing	0107	0959	4	2	
304 PARK AVE	Contributing	0106	0989	2	3	
305 PARK AVE	Contributing	0107	0960	4	4	
306 PARK AVE	Contributing	0106	0988	2	4	
307 PARK AVE	Contributing	0107	0961	4	4	
308 PARK AVE	Contributing	0106	0987	2	5	
309 PARK AVE	Contributing	0107	0962			
310 PARK AVE	Contributing	0106	0986	2	6	
311 PARK AVE	Contributing	0107	0963	4	6	
312 PARK AVE	Contributing	0106	0985	2	7	
314 PARK AVE	Contributing	0106	0984	2	8	

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
315 PARK AVE	Contributing	0107	0964			
316 PARK AVE	Contributing	0106	0983		4	
317 PARK AVE	Contributing	0107	0965	4	8	
318 PARK AVE	Contributing	0106	0982	2	10	
319 PARK AVE	Contributing	0107	0966	4	9	
320 PARK AVE	Contributing	0106	0981	2	11	
321 PARK AVE	Contributing	0107	0967	4	10	
323 PARK AVE	Contributing	0107	0968		0	
400 PARK AVE	Contributing	0106	0980	2	12	
402 PARK AVE	Contributing	0106	0979	2	13	
403 PARK AVE	Contributing	0107	0972	3	2	
405 PARK AVE	Contributing	0107	0973	3	3 4	
406 PARK AVE	Contributing	0106	0978	2	14	
500 PARK AVE	Contributing	0104	0928	2	5 6	
504 PARK AVE	Contributing	0104	0932			
507 PARK AVE	Contributing	0104	0936			
508 PARK AVE	Contributing	0104	0933			
511 PARK AVE	Contributing	0104	0937			
513 PARK AVE	Noncontributing	0104	0938	1	14 17	
519 PARK AVE	Noncontributing	0104	0939			
106 PARSONS ST	Noncontributing	0107	0807			
107 PARSONS ST	Contributing	0107	0808			
108 PARSONS ST	Contributing	0107	0806			
109 PARSONS ST	Contributing	0107	0809			
110 PARSONS ST	Contributing	0107	0803			
112 PARSONS ST	Contributing	0107	0802			
114 PARSONS ST	Contributing	0107	0801			
300 POPLAR HILL AVE	Noncontributing	0107	0742			

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
304 POPLAR HILL AVE	Contributing	0107	0741			
310 POPLAR HILL AVE	Contributing	0107	0782			
314 POPLAR HILL AVE	Contributing	0107	0783			
316 POPLAR HILL AVE	Contributing	0107	0784			
318 POPLAR HILL AVE	Contributing	0107	0785			
319 POPLAR HILL AVE	Contributing	0107	0718	3	9	
320 POPLAR HILL AVE	Contributing	0107	0786			
321 POPLAR HILL AVE		0107	0717			
322 POPLAR HILL AVE	Contributing	0107	0787			
323 POPLAR HILL AVE	Contributing	0107	0716			
324 POPLAR HILL AVE	Contributing	0107	0788			
325 POPLAR HILL AVE		0107	0715			
326 POPLAR HILL AVE	Contributing	0107	0789			
327 POPLAR HILL AVE		0107	0714			
329 POPLAR HILL AVE	Contributing	0107	0713			
404 POPLAR HILL AVE	Contributing	0107	0687			
405 POPLAR HILL AVE	Contributing	0107	0690		3A	
406 POPLAR HILL AVE	Contributing	0107	0666			
407 POPLAR HILL AVE	Contributing	0107	0689		2	
408 POPLAR HILL AVE	Contributing	0107	0665			
409 POPLAR HILL AVE	Contributing	0107	0688		32	
411 POPLAR HILL AVE	Contributing	0107	0663			WI-246
501 POPLAR HILL AVE	Contributing	0104	0647			
504 POPLAR HILL AVE	Contributing	0104	0644		3	
505 POPLAR HILL AVE	Contributing	0104	0646			
507 POPLAR HILL AVE	Contributing	0104	0645			
508 POPLAR HILL AVE	Contributing	0104	0626			
511 POPLAR HILL AVE	Contributing	0104	0625			WI-247

## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
315 E RAILROAD AVE	Contributing	0107	0986			
416 N SALISBURY BLVD	Contributing	0107	0655			
510 N SALISBURY BLVD	Contributing	0104	0654			
104 WALNUT ST		0107	0771			
107 WALNUT ST	Contributing	0107	0775			
108 WALNUT ST	Contributing	0107	0769			
110 WALNUT ST		0107	0755			
111 WALNUT ST	Contributing	0107	0776			
113 WALNUT ST	Contributing	0107	0777			
114 WALNUT ST	Contributing	0107	0767			
115 WALNUT ST	Contributing	0107	0778			
116 WALNUT ST	Contributing	0107	0766			
119 WALNUT ST	Contributing	0107	0779			
200 WALNUT ST	Contributing	0107	0765			
201 WALNUT ST		0107	0780			
204 WALNUT ST	Contributing	0107	0764			
205 WALNUT ST	Contributing	0107	0781			
206 WALNUT ST	Contributing	0107	0763			
208 WALNUT ST		0107	0762			
100 E WILLIAM ST	Noncontributing	0107	0814			
104 E WILLIAM ST	Contributing	0107	0815			
106 E WILLIAM ST	Contributing	0107	0816			
107 E WILLIAM ST	Contributing	0107	0679			
108 E WILLIAM ST	Contributing	0107	0817			
109 E WILLIAM ST	Contributing	0107	0680			
110 E WILLIAM ST	Contributing	0107	0818			
111 E WILLIAM ST	Contributing	0107	0681			
112 E WILLIAM ST	Contributing	0107	0819			



## Contributing & Noncontributing Resources

District Name: Newtown Historic District

Inventory Number: WI-153

Address	Contributing Resource?	Map	Parcel	Block	Lot	Inventory No.
113 E WILLIAM ST	Noncontributing	0107	0682			
114 E WILLIAM ST	Contributing	0107	0820			
115 E WILLIAM ST	Contributing	0107	0683			
200 E WILLIAM ST	Contributing	0107	0791			WI-106
201 E WILLIAM ST	Contributing	0107	0684			
202 E WILLIAM ST	Contributing	0107	0790			
203 E WILLIAM ST	Contributing	0107	0685			
205 E WILLIAM ST	Contributing	0107	0686			
300 E WILLIAM ST	Contributing	0107	0712			
301 E WILLIAM ST	Contributing	0107	0692		29A	
303 E WILLIAM ST	Contributing	0107	0694	I	26A	
304 E WILLIAM ST	Contributing	0107	0711			
305 E WILLIAM ST	Contributing	0107	0694	I	27B	
306 E WILLIAM ST	Contributing	0107	0710			
307 E WILLIAM ST	Contributing	0107	0695			
308 E WILLIAM ST	Contributing	0107	0709			
309 E WILLIAM ST	Contributing	0107	0696			
310 E WILLIAM ST	Contributing	0107	0708			
311 E WILLIAM ST	Contributing	0107	0697		3	
312 E WILLIAM ST	Contributing	0107	0707			
102 W WILLIAM ST	Contributing	0107	0971	4	14	
104 W WILLIAM ST	Contributing	0107	0970	4	13	
108 W WILLIAM ST	Contributing	0107	0969		0	
108 WILSON ST		0104	0603			
120 WILSON ST	Noncontributing	0104	0602			
122 WILSON ST	Noncontributing	0104	0601			

W1-153  
 NEWTOWN HD  
 Salisbury Quad

**SALISBURY BUSINESS REFERENCES.**

**Offices**  
 S. F. TOADYNER, Clerk of the Court.  
 L. F. HUMPHREYS, Deputy Clerk.  
 WILLIAM BUCKENHAM, Register of Wills.  
 W. H. CATHELL, Postmaster.  
 JAMES GILLIES, Judge of Orphans' Court.  
 RICHARD P. DABBY, Commissioner.  
 SAM'L E. FOGAR, " " " " " "

**Attorneys at Law.**  
 LEMUEL MALONE, Attorney at Law.  
 J. A. FARROW, " " " " " "  
 THOMAS HUMPHREYS, " " " " " "

**Carrriages and Blacksmiths.**  
 T. B. FREENEY, Blacksmith and Carriage-maker.  
 All work promptly and neatly done. Shop on Spring Hill Farm.  
 JAMES L. HENRY, Blacksmith and Wheelwright.  
 Shop at his residence.

**Dry Goods, Clothing and Groceries.**  
 JOHN WHITE, Dealer in Dry Goods, Groceries, Hardware, Gunpowder, Stationery, &c.  
 W. A. LIND & S. BRADSHAW, Dealers in Clothing, Carpet, Upholstery, &c. No. 42 Main St.  
 M. L. WELLS AND SON, Wholesale and Retail Dealers in Groceries, Provisions, Stationery, Cutting, Trunks, Wood and Willow-ware, Fishing Tackle, Cigars and Manila Bags, Corsets, &c. No. 72 Main Street.  
 J. T. RAYMAN, Dealer in Groceries, Tobacco, Stationery and General Merchandise. No. 54 Main Street.

**Milkers.**  
 LEMUEL MALONE, Editor of the "Salisbury Advertiser."  
 F. C. BELL, Editor and Publisher of the "Eastern Shoreman."

**Fruit Dealer.**  
 W. H. CATHELL, Dealer in, and Grower of Small Fruits. Salisbury, Md.

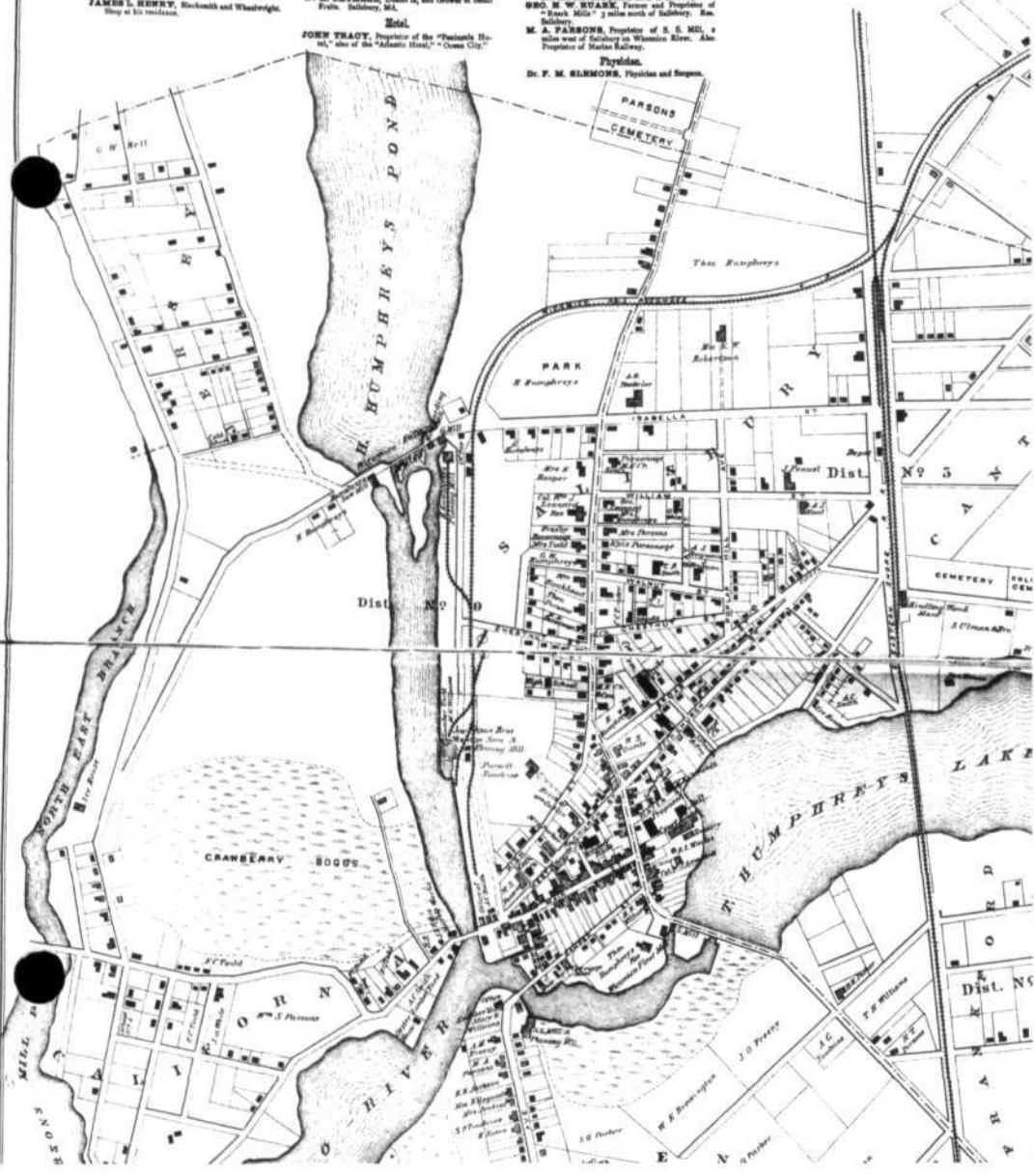
**Hotel.**  
 JOHN TRACY, Proprietor of the "Falmouth House," one of the "Admiral Hotel," "Queen City."

**Lumber Dealers.**  
 A. C. SMITH AND CO., Wholesale Dealers in Lumber, Shingles, Soft, Hard, Blanks and Building Materials. Salisbury, Md.  
 M. HUMPHREYS, Manufacturer of, and Wholesale and Retail Dealer in Lumber, Flooring, and Board Shingles, House-trussing, Box-board, Oak Lumber suitable for Veneer, Bannock, Oak, Walnut, Oak and Cherry Hubs, Balusters, Spiral Posts, Posts, Shingles, Post Clips, Frames, Sashes, Handrails, Springs, Windows, Frames, Sashes of all kinds and Styles of Wood and Lumber Specialty. Wood worked from July 1st to October 1st. Also Manufacturer of Flour, Meal and Feed Stuff. Warehouse Park Hill, No. 1 Mill Street, Salisbury, Md.

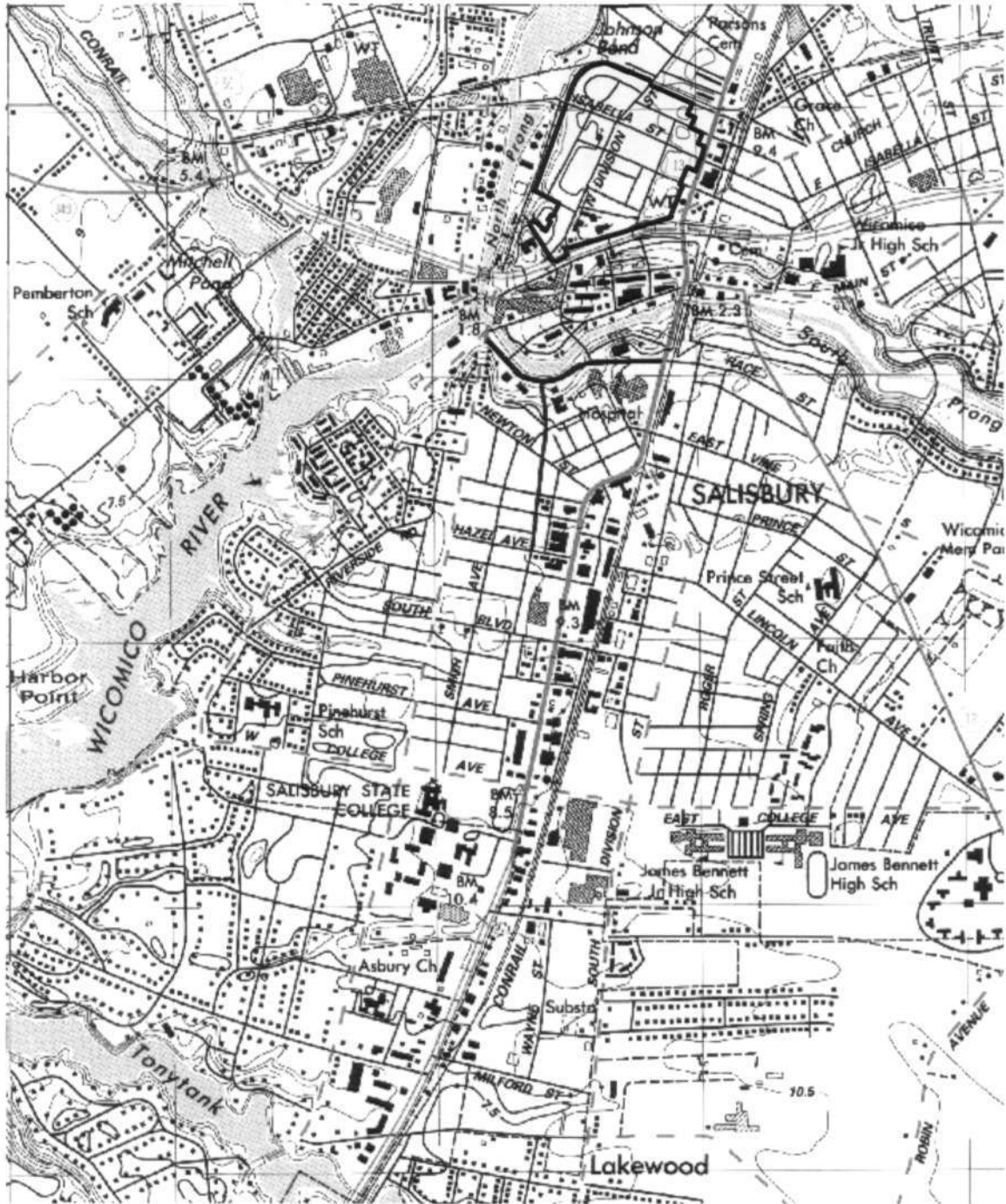
**Mills.**  
 GEO. W. LEONARD, Farmer and Proprietor of Two and One Half Mills. Run and mill 1/2 mile north of Salisbury.  
 JOHN WILLIAMS, Farmer and Proprietor of Two and One Half Mills north of Salisbury.  
 GEO. H. W. QUARR, Farmer and Proprietor of "Pack Mill," 1/2 mile north of Salisbury. Run Salisbury.  
 M. A. FARROW, Proprietor of S. S. Mill, 1/2 mile west of Salisbury on Wicomico River. Also Proprietor of Harbor Railway.

**Physicians.**  
 Dr. F. M. SIMMONS, Physician and Surgeon.

**SALISBURY**  
 WICOMICO CO.  
 Dist. N<sup>o</sup> 95 & B



WI-153  
Newtown Historic District  
Wicomico County  
Salisbury Quadrangle





WI-153

West Side Park Avenue

Newtown Historic District

Wicomico Co. MD

Nicole Liehmann

3/4/04

MD SHPO

Facing South

#1 of 4



WI-153

South Side w. Isabella Street  
Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/04

MD SHPO

Facing East

#2 of 4





W1-153

Park Avenue (500 & 507)

Newtown Historic District

Wicomico County, MD

Nicole Diehlmann

3/4/04

MD SHPO

Facing East

#3 of 4



W1-153

SE Corner of Elizabeth & Division Streets

Newtown Historic District

Wicomico Co. MD

Nicole Diehlmann

3/4/2004

MD SHPO

Facing SE

#4 of 4

INTRODUCTION: A group of Salisburians 1974-5 promoted a movement to preserve the uniqueness of an old neighborhood known as Newtown. The culmination of this group's efforts was the acceptance of Ordinance #1142 by the Mayor, and Council of Salisbury on Feb. 10, 1975, which created the Newtown Historic District.

The purpose of Ordinance #1142 as quoted from the Ordinance, is to "regulate the construction, alteration, reconstruction, moving and demolition of structures of historic and architectural value together with their appurtenances and environmental settings within respective specified limits. This regulation is designed to safeguard the heritage of the City by preserving districts herein which reflect elements of its cultural, social, economic, political or architectural history; to stabilize and improve the property values in such districts in the City, to foster civic beauty, to strengthen the local economy and to promote the use and preservation of such historic districts in the City for the education, welfare and pleasure of the residents of the City of Salisbury."

Ordinance #1142 also provided for the establishment of a Historic District Commission whose duty it is to carry out the purpose of the Ordinance. In Section 2 of the Ordinance under item D-3-4 "Powers and Procedures" the Commission is required to give consideration to "a, b, c, d, e and Item 4".

- "a. The historic or architectural value or significance of the structure and its relations to the historic value of the surrounding area.
  - "b. The relationship of the exterior architectural features of such structure to the rest of the structure and to the surrounding area.
  - "c. The general compatibility of exterior design, arrangement, texture and materials proposed.
  - "d. Special features in historic areas such as their architectural integrity and spatial relationships among buildings. Spatial relationships include courtyards, street patterns, scale of buildings, and open space.
  - "e. To any other factors, including aesthetic factors, which the Commission deems to be pertinent.
- "4. The Historic District Commission shall pass only on exterior features of a structure and shall not consider interior arrangement, nor shall it disapprove applications except in regard to the considerations set forth above."

The "uniqueness" which is seen and felt in the Newtown Area can be described by a statement of repetitions and continuities throughout the district which lend the character to the area which the Commission merits as important to save. This pleasing flavor consists of the sum of the following details blending with one another to form a whole, which is historically and architecturally significant for Salisbury:

1. Massive late 19th and early 20th century Victorian style houses along N. Division Street corridor with strong support from similar houses on William, Elizabeth, Walnut and Isabella Streets; a parallel corridor in intensity of Victorian houses on Park Avenue.
2. Sidewalks with large shade trees encouraging pedestrian traffic.
3. A lack of large or overlighted commercial signs.
4. The retention of residential appearance in some commercial properties.
5. Repetition of the following architectural details:
  - a. Large front porches with ballusters.
  - b. Palladian windows.
  - c. Victorian "gingerbread" trim.
  - d. Colored glass windows.
  - e. Diagonal and diamond shaped pane windows.
  - f. Beveled, leaded glass windows.
  - g. East lake carving motif.
  - h. Decorative cornices, brackets, and corner boards or pilasters.
  - i. Shaped shingles i.e.; fish scale, diamond saw tooth.
  - j. Shuttered windows.
  - k. Towers, cupolas, balconies.
  - l. Predominance of clapboard.

These specific details in addition to considerations mandated by the Ordinance were used as criteria to form a classification system for Newtown properties.

COMMISSION'S SURVEY

The Commission surveyed in February 1976 each property in the Newtown area. The findings have been classified and recorded. The information, with a picture of the property, is recorded on 3 x 5 cards in a file held by the Commission. The survey will be used in future identification of properties

be used to provide the landmark list mentioned in Section V of Salisbury Historic District Commission, Rules and Regulations. The landmark list itemizes those properties which should be protected for their historical or architectural merit. Other graphic materials, i.e. maps will be composed from this information to show growth, change, or comparisons. WI-153

### CLASSIFICATION CATEGORIES

Each property has been classified according to the following categories. A coding system is used in order to abbreviate the information.

The classification categories are:

- A. Street and House No. (No abbreviations)
- B. Style of House-indicate height and materials, type

Abbreviations:

Clapboard = CB	1 Story = 1S
Aluminum Siding = Al	2 Story = 2S
Asbestos Shingle = AS	3 Story = 3S
Wood Shingle = WS	With Attic = W/A
Brick = B	
Stucco - Stu	Victorian - Vict.
Asphalt Shingle = Asp	Colonial - Col.
Formstone = F	Rancher - Ran.

- C. Approximate Date (No abbreviation)

- D. Use

Abbreviations:

Apartment = Apt  
Single family = SF  
Commercial = Com  
Duplex = Dup  
Public - Public

- E. Condition

#1 = Sound, recently painted or renovated.

#2 = Fair, needs paint and some repair.

#3 = Poor condition needs extensive repair and paint. Deteriorated.

- F. Rating Historical/Architectural

A = Must be retained, historically significant and/or exhibits many architectural details listed above and is a superior example of a period in architectural development.

B = Should be preserved, represents good example of development and style, exhibits some details from above lists and supports the environ visually by size, shape or materials.

C = Houses or buildings adjoining A or B properties and should be judged with considerable thought.

WI-153

D = Should be judged most leniently, has no significance architecturally or historically, lacks close proximity to A or B houses, or is deteriorated beyond reasonable or economic restoration.

G. House has had structural exterior modification since being built (porch removed, siding changed, trim removed, addition, etc.)

Abbreviation:

m = modified

um = unmodified.

H. General Comment: Any further piece of information which would be worthy of consideration, pertaining to history, structure, preservation or modification. Empty lots would be described in this space.

An example of the classification and coding system would be as follows for Poplar Hill Mansion:

Elizabeth 115/2S W/A CB Col./1800/Public/#1/A/m

General Comment: This house is registered with Maryland Historic Trust and is the oldest home in Newtown. Modifications have been made to front porch and removal of old kitchen.

It is the hope of the Historic District Commission that these criteria and classifications will assist in preserving the charm, character and prosperity of the Newtown District for the benefit of Salisbury's residents and posterity.

WI-153

2Sw/a/WS&AL/1910 Vict/SF/2/B/M

2Sw/a/CB/1915 Vict/SF/1/B/UM

2Sw/a/CB/1904 Vict/Apt/1 B/M Comment: This was the home of Capt. Robert G. Evans of Nanticoke, 1916 rear house added.

2Sw/a/CB/1900 Vict/SF/1/B/UM

2S/CB/1930 Dutch Col./SF/1/C/UM

2Sw/a/CB/1898/Apts/1/B/M

2Sw/a/CB/1800 Georgian/<sup>WI-90</sup> Pub/1/AA/M Comment: "Poplar Hill Mansion" the oldest house in the City of Salisbury. Front porch and rear kitchen area modified owned by City of Salisbury & maintained by the "Friends of Poplar. Restored 1975-76 by Wicomico County.

2S w/a/AL/1905 Vict/SF/2/B/M

2S w/a/AS/1910/Apts/2/C/M

2S/CB/1920/P/T/D/UM  
2S/B/1920/SF/2/D/UM  
1S/B/1970/COM/I/D/UM

1S/WS(Red)/1930/COW/1/D/UM

1S/Cinder Block/1970/COM/D/UM

1S/B&AL/1970/COM/1/D/UM

Poplar Mansion Back Yard

Truck Parking Lot

1S/B/1965/1st National Bank/1/D/M  
Comment: "C" rating is given as this corner is an entrance to Historic District and consideration should be gi



ELIZABETH ST.

WILSON

N. SALIS. BLVD.



POPLAR HILL AVE.

503 505 507 511

2S w/a/AS/1905 Vict/MF/2/B/M

2S/CB/1910 Vict/SF/2/B/UM

2S w/a/AL/1900/SF/2/B/M

w/a/WS/1920/COM/1/C/M

2S/CB/1920/SF/1/C/UM

2S w/a/AL/Vict 1910/COM/1/B/M

1S/AS/1940/SF/2/D/UM

2S w/a/AS/1910 Vict/1/B

2S/AS/1915/SF/1/C/M

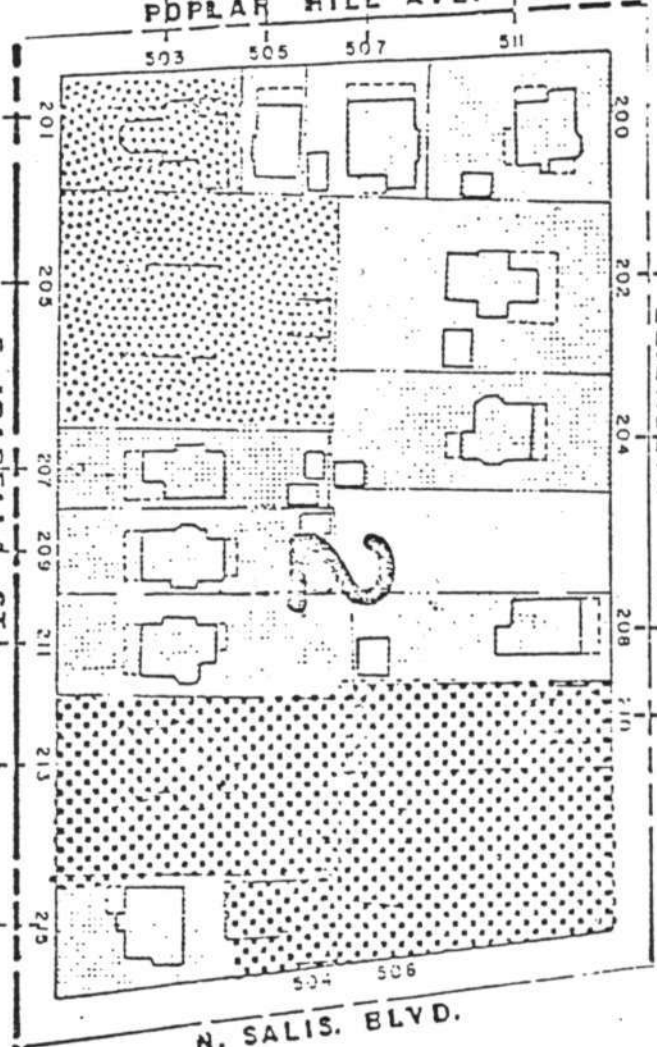
Empty Lot

2S/CB/1920/SF/1/C/M

E. ISABELLA ST.

ELIZABETH ST.

N. SALIS. BLYD.



2S w/a/CB/1895 Vict. Queen Anne  
1/A+/UM-----

2S w/a/B/1930/1/C/UM-----

3S/CB/Vict Greek Revival/SF/  
1870/1/A+/UM-----

Comment: Excellent example of  
"Steamboat" Victoriana seen a  
long Mississippi River.

2S w/a/CB/Vict/1900/SF/1/B/UM

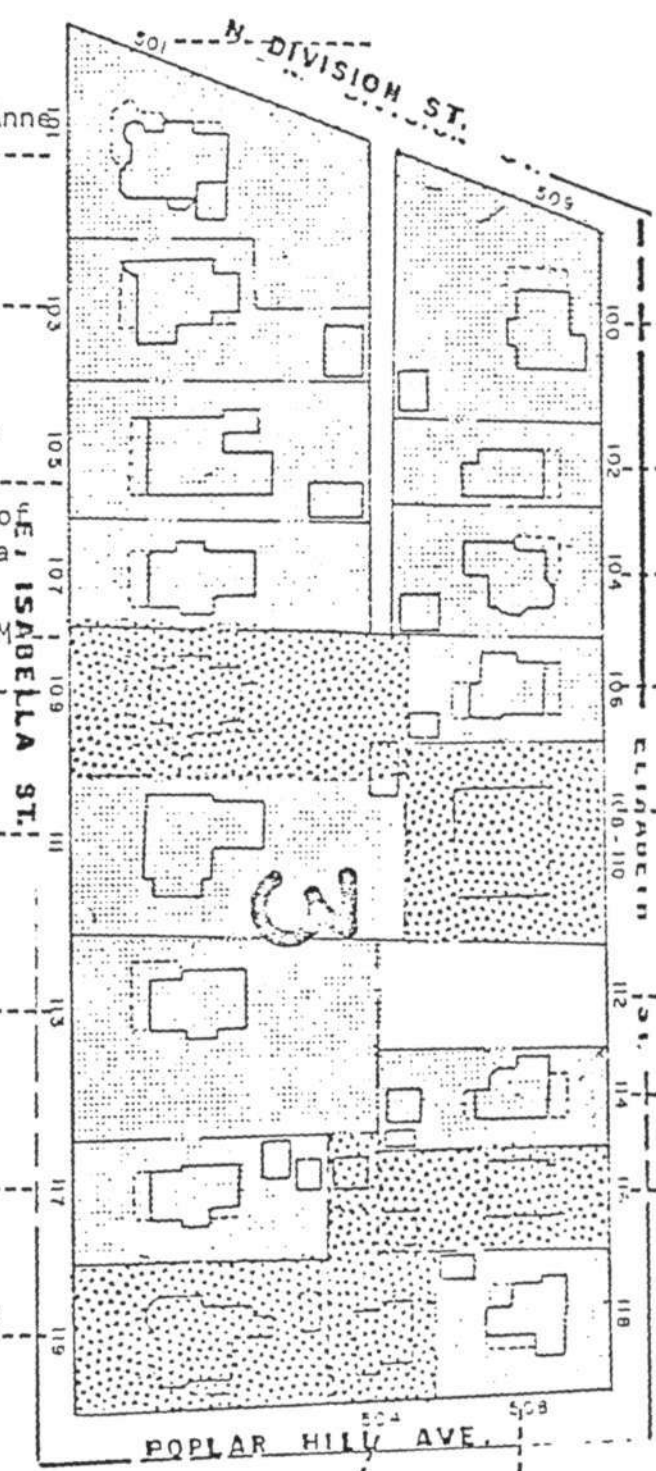
2S w/a/AL/Vict/1900/MF/2/A/M-----

2S/CB/1940 Co1./SF/1/C/UM-----

2S w/a/AS/1895 Vict/SF/1/A/M-----

2S w/a/CB/Vict 1900/SF/1/B/M-----

2S w/a/CB/Vict 1895/MF/1/A/UM-----



1S w/a/WS&CL/Cottage  
1890/SF/1/A/M Comment  
is only example of C  
Victoria in neighbor

2S w/a/CB/Vict 1920/

2S w/a/CB/1906/SF/1/A  
Comment: Built by Ma

2S w/a/AS/1915/SF/2/C/

2S w/a/BR&AL/MF/1/D/U  
Comment: These apts. are  
ly out of scale and rhy  
with the block.

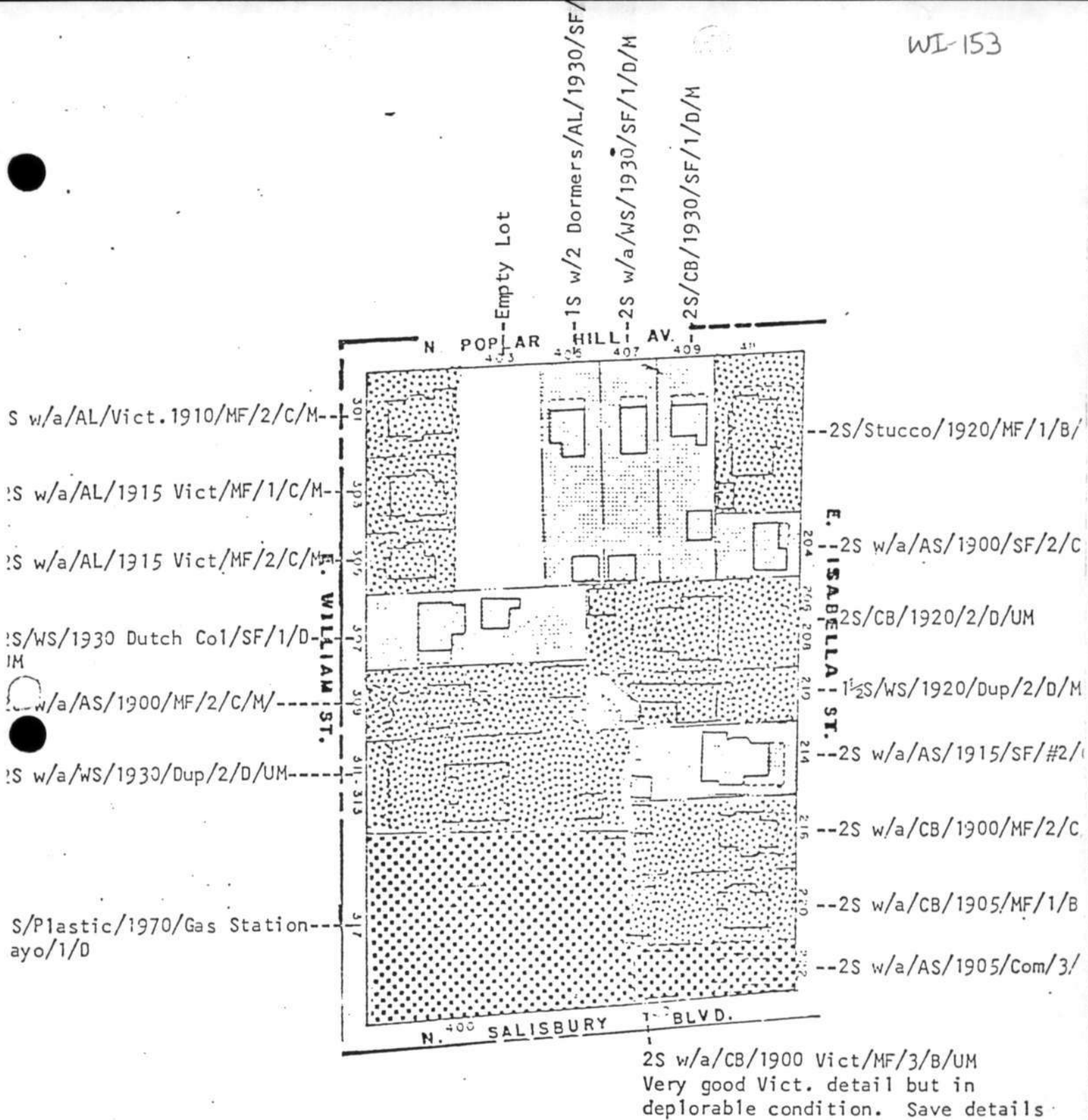
Empty lot

2S w/a/AS/1910/SF/1/C/M

2S w/a/AS/1910/MF/1/C/M

2S w/a/CB/Vict 1910/MF/2/A/M  
Comment: This house has many  
good details and owner should  
be encouraged into good restor-  
ation.

2S w/a/CB/Vict 1901/SF/1/B/M

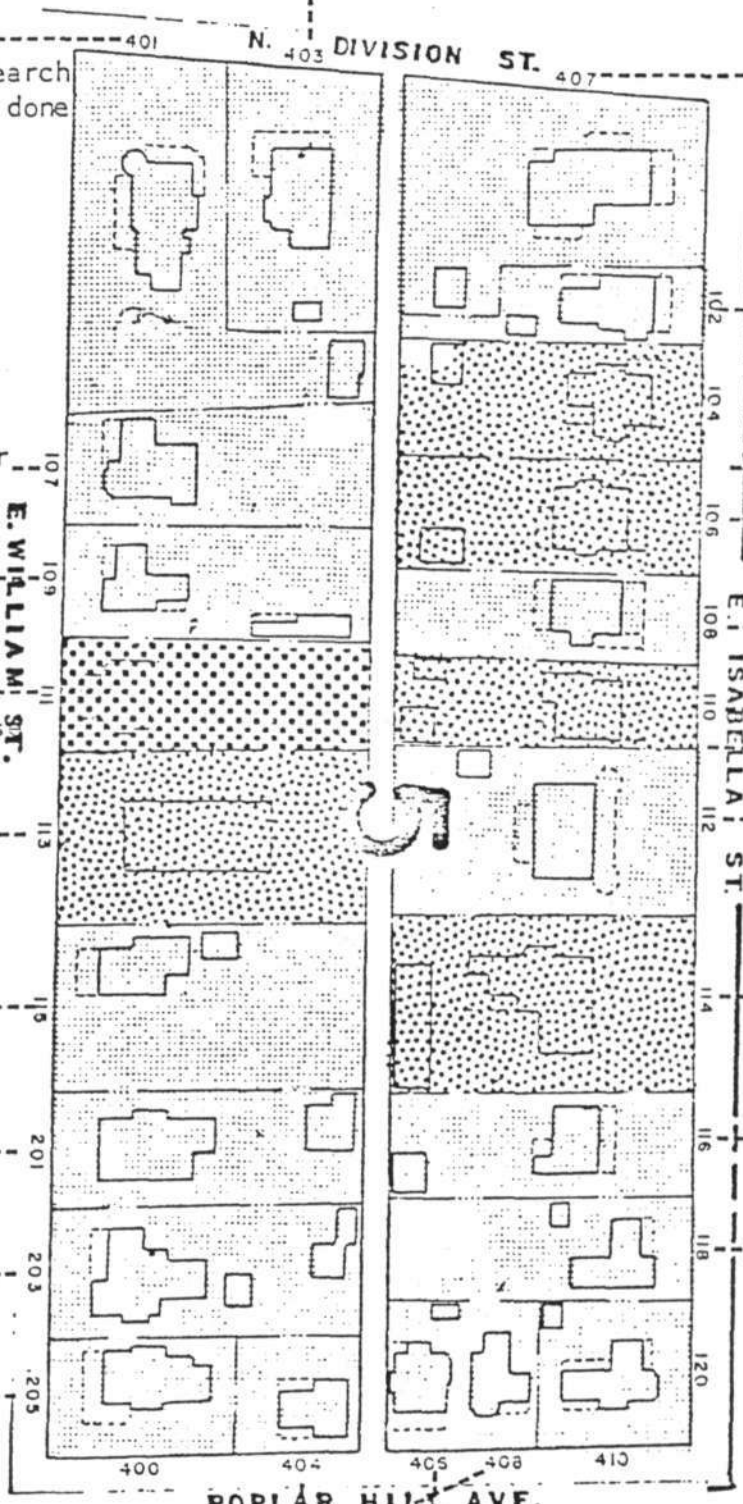


2S w/a/CB/1900 Vict/MF/3/B/UM  
 Very good Vict. detail but in  
 deplorable condition. Save details

WI-13 E

2S w/a/AL/1920/SF/1/C/M

2S w/a/CB/1387/2/A+/M  
"Gillis Grier" House, research & documentation should be done on this fine "Queen Anne Style"



2S w/a/B/1910/SF/2/

2S w/a/CB/1890/MF/1/  
Comment: House was moved from site of 4 N. Division around 1

2S w/a/CB/1893/SF/1/A/M  
Comment: Modification minor enclosure of side porch.

2S w/a/AL/1900/SF/1/B/M

2S w/a/AS/1390/Com/2/B/M  
Comment: House is case house

2S w/a/B&AL/1969/Apts./1/D/M

2S w/a/AL/1900/MF/1/  
2S w/a/CB/1900/MF/2/

2S w/a/CB/1895/SF/2/  
House has good example early oriel windows.

2S w/a/AS/1895/MF/2/

2S w/a/B/1900/SF w/o 2/A/M

2S w/a/AL/1390/SF/1/C/M

2S w/a/AL/1900/MF/1/

2S w/a/CB/1390/SF/2/B/M

2S w/a/WS/1928/SF/1/

2S w/a/CB/1885/SF/1/B/M

2S w/a/CB/1895/SF/1/

2S w/a/CB/1875/SF/1/A/M

2S w/a/AS/1900/SF/2/B/M

2S w/a/CB/1920/SF/2/B/M

2S w/a/CB/1890/SF/1/B/M

Comments: Gingerbread and railing recently removed (1976).

2S/B/1905/Apts./1/C  
IM probably/ Eyebrows  
over windows.

2S w/a/CB/1915/SF/3

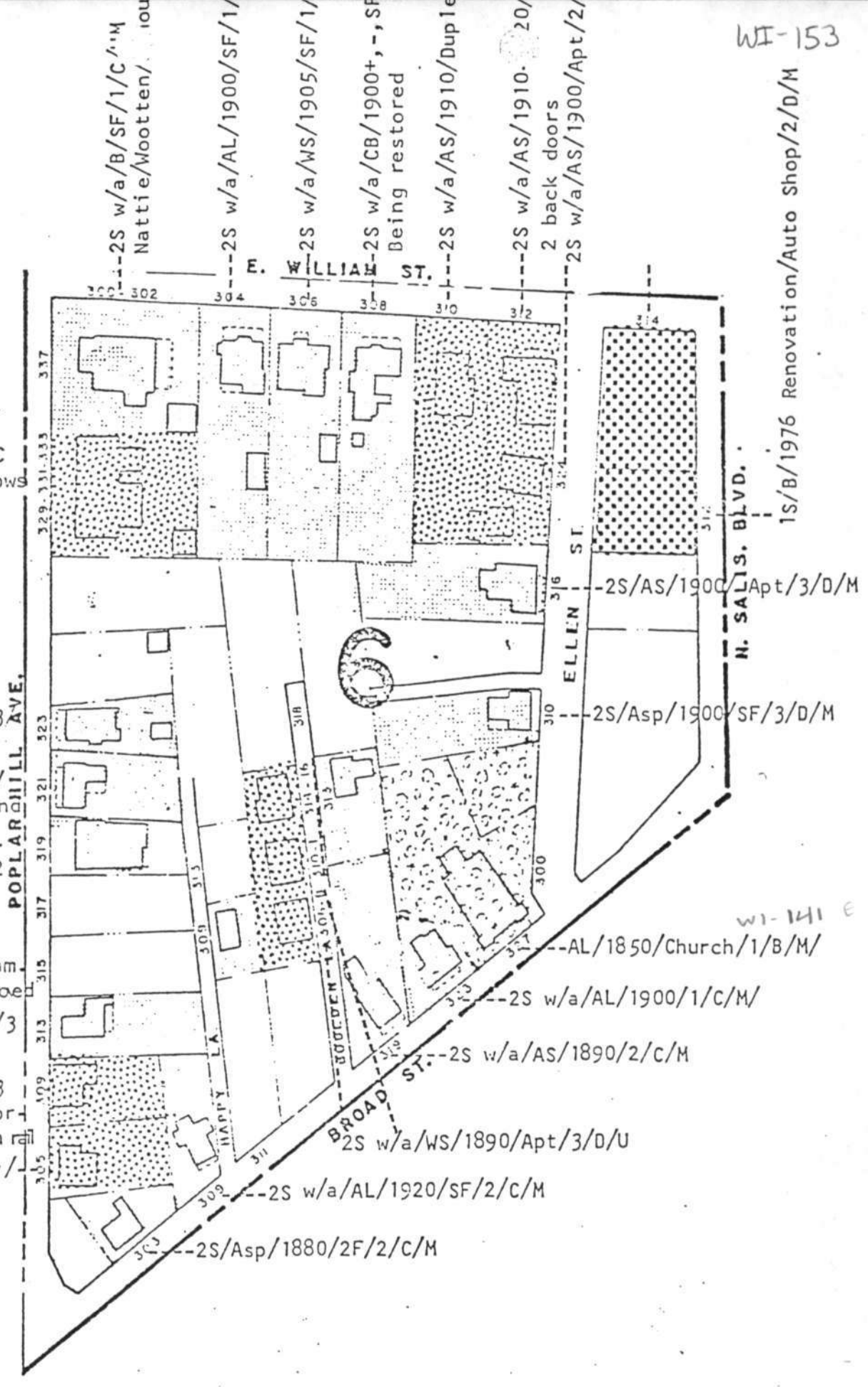
2S w/a/1900/SF/3/C/  
4-nice center diam  
shaped windows  
2S/AS/upstairs win-  
dows 2-2-1900/SF/2  
2/M

2S w/a/AS/1900/2-fam-  
3/C/M-ft. porch removed

2S w/a/Asp/1900/SF/3  
2/M

2S/WS/1910/2-fam./3  
better than neighbor  
hood/C/M-miss porch rail

2S/AS/1910/2 family/  
3/C/M



2S w/a/B/SF/1/C/M  
Nattie/Wooten/

2S w/a/AL/1900/SF/1/

2S w/a/WS/1905/SF/1/

2S w/a/CB/1900+, - SF  
Being restored

2S w/a/AS/1910/Duplex

2S w/a/AS/1910. 20/  
2 back doors

2S w/a/AS/1900/Apt/2/

1S/B/1976 Renovation/Auto Shop/2/D/M

2S/AS/1900/Apt/3/D/M

2S/Asp/1900/SF/3/D/M

AL/1850/Church/1/B/M/

2S w/a/AL/1900/1/C/M/

2S w/a/AS/1890/2/C/M

2S w/a/WS/1890/Apt/3/D/U

2S w/a/AL/1920/SF/2/C/M

2S/Asp/1880/2F/2/C/M

3S/CB/1860/SF/1/A/M  
Comment: Modification enclosed 2nd floor porch.

1S/B/1950 Ranch  
1/C/U/Comment:  
House has no historical significance  
Should be conserved in proximity to 'Gr

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AS/1890/Apt/2/C/M

2S w/a/AL/1850  
1/B/M/Comment:  
house moved from area of 316 N.

2S w/a/CB/1890  
2/B/M

2S w/a/AS/1860  
2/B/M

2S w/a/CB/1880  
Apt/1/B/M

2S w/a/CB/1910  
1/B/U

2S w/a/CB/1910/2F/2/B/M/Comment:  
AS rear  
2S w/a/CB/?/Vic. Historic Society Museum/1/B/UM

2S w/a/CB/1910/SF/2/B/UM

2S w/a/WS/1920  
1/C/U

2S w/a/CB/1910/SF/1/2/M

2S w/a/CB/1900  
2/B/UM

2S w/a/AS/1880  
1/A/M

2S w/a/AS/1910  
2F/1/C/M

w/a/CB/1900-?/  
rding.Home/1/B/  
ment: Nice  
trim.

2S w/a/Asp/1900  
Dup/2/C/M

2S w/a/CB/1900/  
SF/2/B/UM/

2S w/a/Asp/1900/  
2F/2/C/M

2S w/a/CD/1895/SF  
2/B/UN/Comments:  
Shingles porch rail

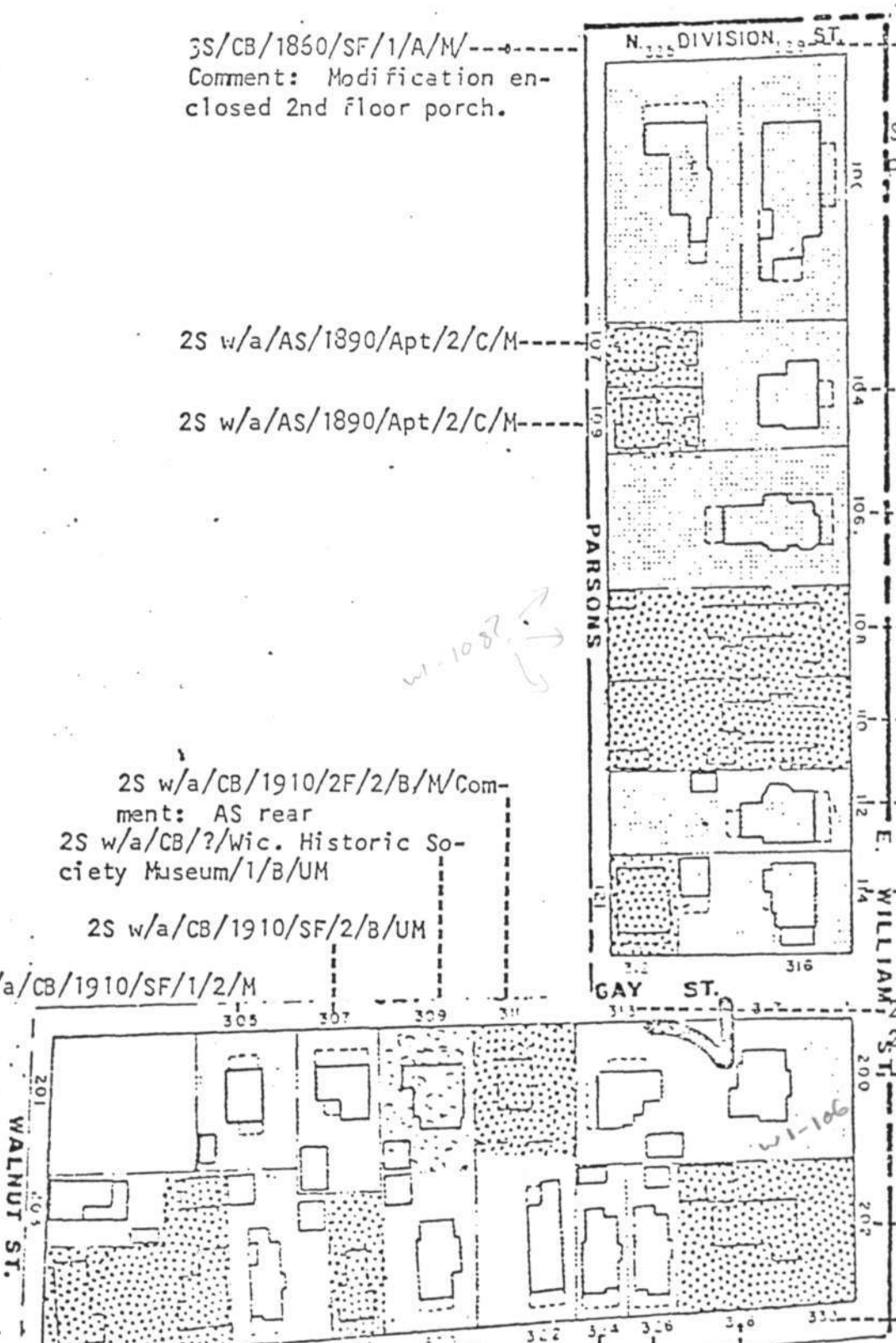
2S w/a/AS/1910/SF  
2/C/M

2S w/a/AS/1900/SF  
A/C/M/Vict. Windows

2S w/a/AS/1900/SF/2  
C/M

2S w/a/AS/?/  
Fami Ty/2/C/M

2S w/a/AS/?/  
Multi-



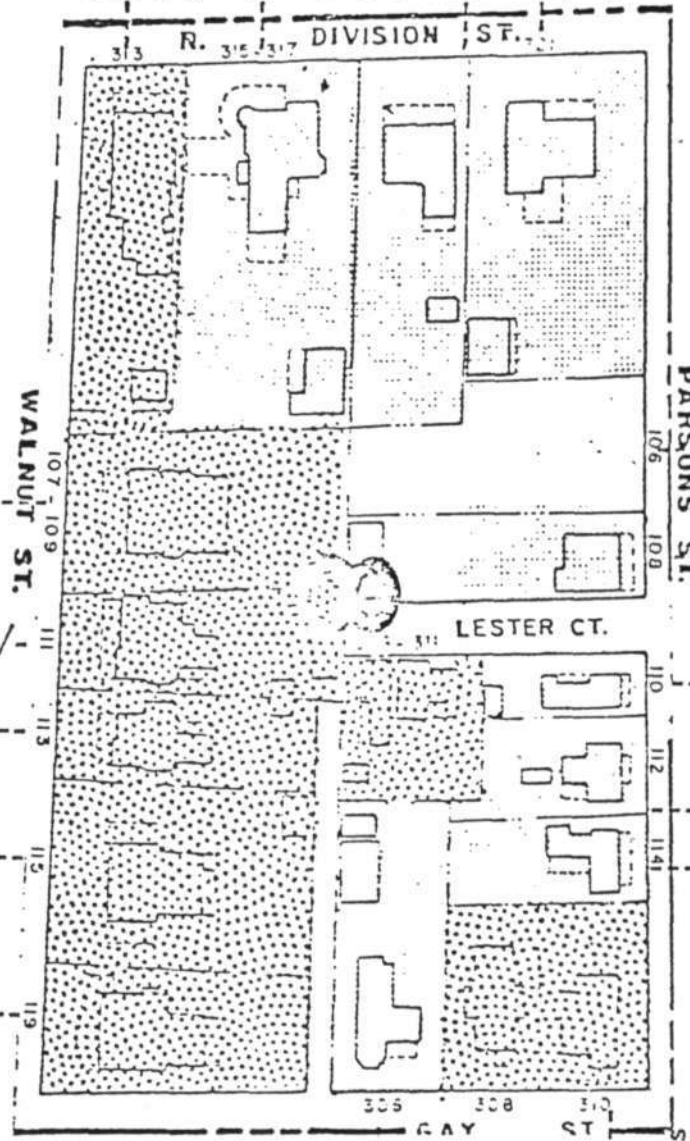
2S w/a/AL/1876/Apts/1  
 Comment: Example of r  
 which destroyed all g  
 Architectural feature

2S w/a/AL&CB/Fed. Vic  
 1897/SF/1/A/M House  
 in 3 sections, has ma  
 details of Vict. Outb  
 org. barn & carriage

2S w/a/CB&Slate/1920'  
 1/B/U

1S w/a/CB&WS/1900+SF/  
 Comment: Outstanding  
 of shingle work.

WI-62



2S w/a/AS/1900+ Vict Co1/Apt/2/C/M-  
 Comment: Mansard Front Roof

2S w/a/AS&WS/1900 Vict. trans/Apt/-  
 1/F

2S w/a/AL-slate/1905+/Apt/2/B/M-----

2S w/a/AL/1935 Co1./Dup/1/C/UM-----

2S w/a/AS&WS/1900/Apt/2/B/M-----

Private garden to

2S w/a/WS/1930+/S.  
 Comment: House has  
 large garages in t

2 w/a/AS/1905/SF/  
 Comment: House ex  
 sively modified.

2S w/a/AS/1910+/SI

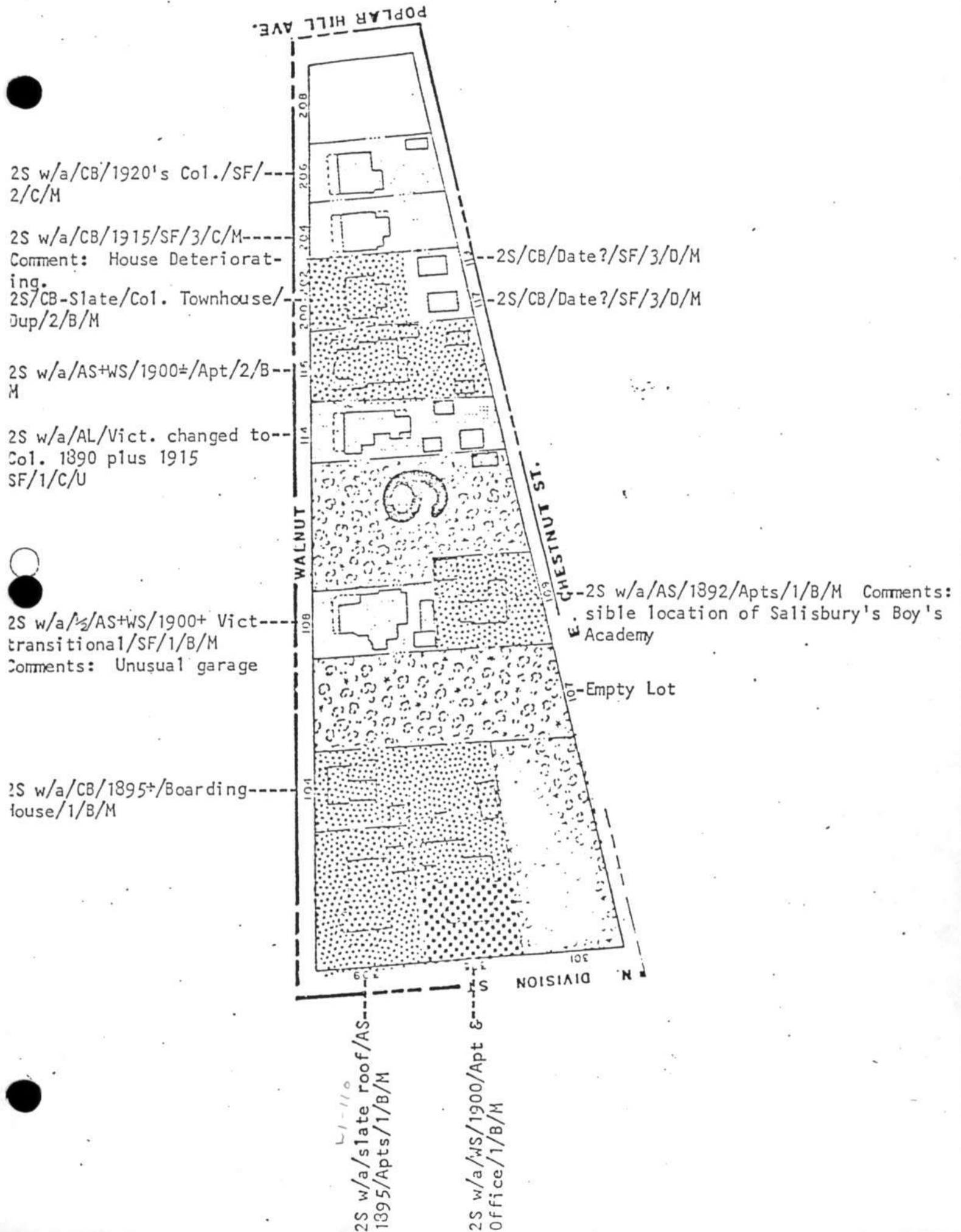
2S w/a/

309 Lester Ct. 2S w/a/AS/1910+/-/SF/3/D/M  
 311 Lester Ct. 2S/AS/1870+/-/SF/3/B/M

2S w/a/AS-slate/1895/SF/1/B/M-----

2S w/a/AS/1890's/Apt/3+/D/M/Com-  
 t: condition and environs of  
 this house are deplorable.

2S w/a/AS/1890's/Apt/2/D/M-----  
 Comments: This house has exten-  
 sive modification & it's surrounds  
 always appear unkept.





Parking Church

2S/CB/Date?/SF/3/p/U

Demolished

E. CHESTNUT ST.

POPLAR HILL AVE.

2S/AL/1895/Apt

2S w/steeple/Graystone/1887  
C/M/Comments: Old Asbury  
Methodist Church W1-63

2S/Cinder Blk/S  
1940's/2/D/M/Can

2S w/steeple/B/Col/1/C/U-  
Comment: Allen Memorial  
Church

2S/AS/1900 Vict/Apts/  
2Sw/a/WS/1940's Col/Apt/1  
2S w/a/WS/1930's/Apt/2/D/UM  
Demolish - Church Green & Parking

2S w/a/AS/Date?/Apts/1/D/M

Demolished - Church Green  
2S w/a/AS/Vict 1380?/SF/1/C/M/Comment: Some  
interesting detail; shingles porch

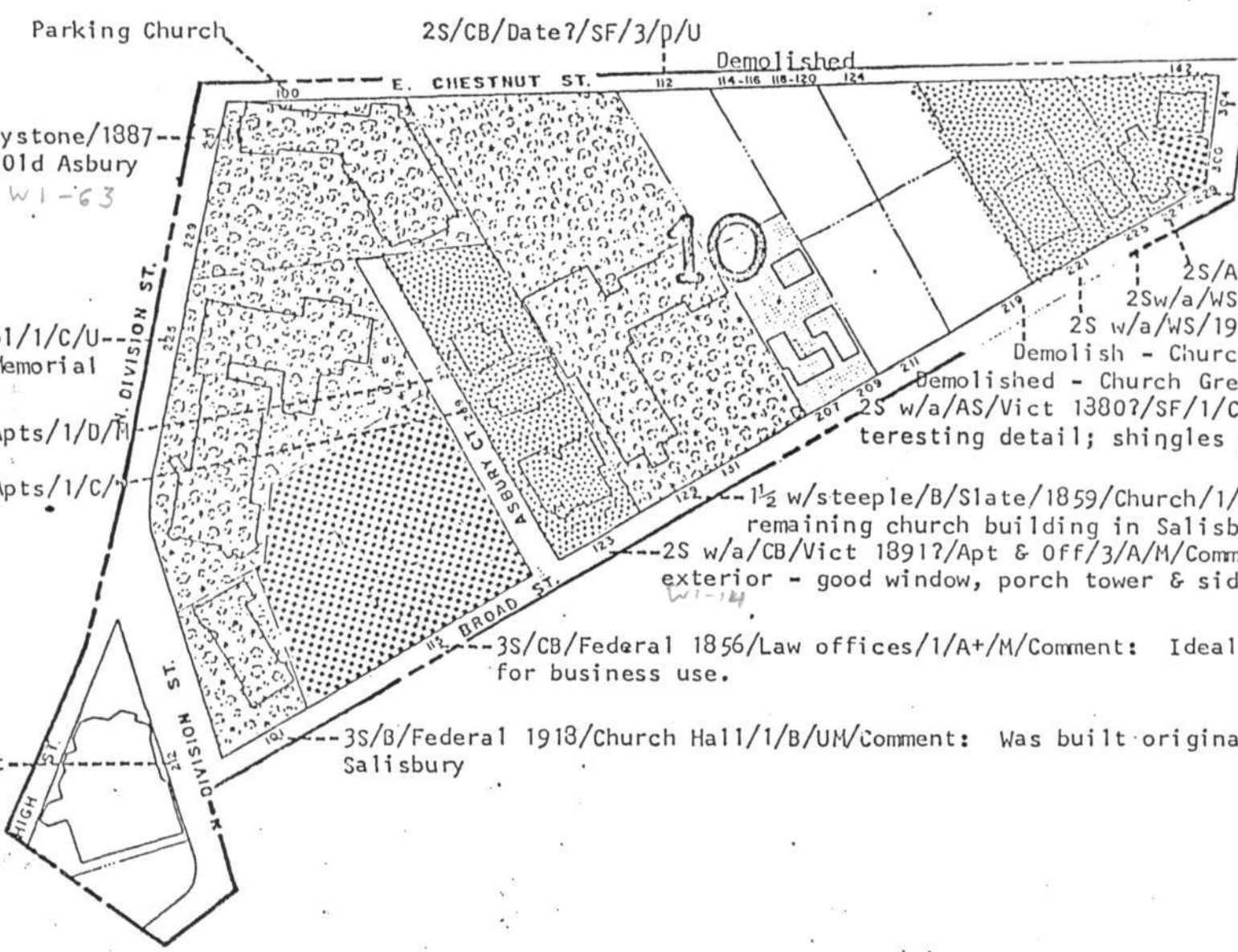
2S w/a/WS/1905?/Apts/1/C/

1/2 w/steeple/B/Slate/1859/Church/1/A/M/Comment: Old  
remaining church building in Salisbury  
2S w/a/CB/Vict 1891?/Apt & Off/3/A/M/Comment: Excellent V  
exterior - good window, porch tower & side  
W1-144

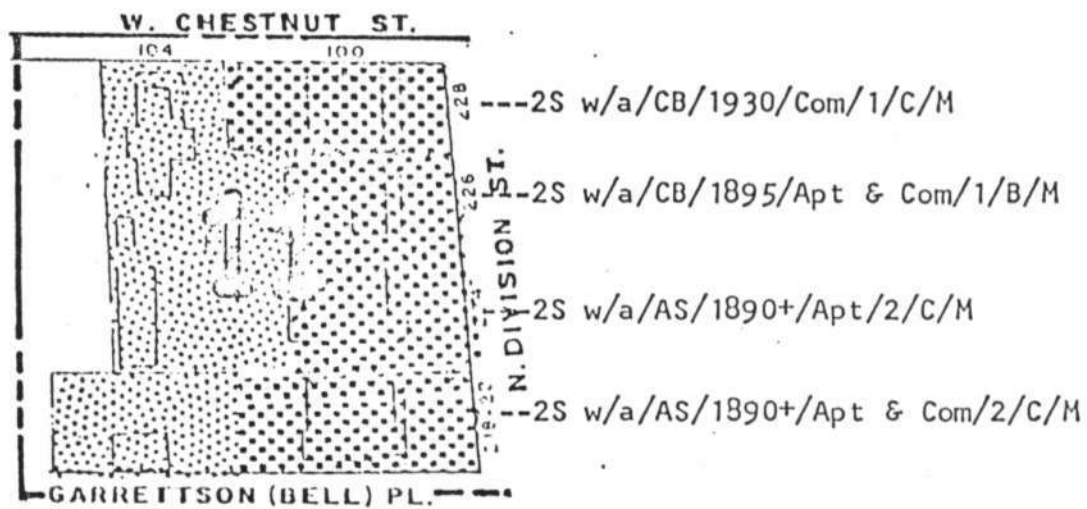
3S/CB/Federal 1856/Law offices/1/A+/M/Comment: Ideal example of resto  
for business use.

Community Methodist  
Church W1-64

3S/B/Federal 1918/Church Hall/1/B/UM/Comment: Was built originally as 1st YMCA o  
Salisbury



W1-153



WF-153

2S w/a/CB/1910/SF/1/B/U      2S w/a/CB/1910/SF/1/C/M

W. WILLIAM ST.

S w/a/AL & AS/1900/Apt/1/M

S w/a/CB & WS/1890/Apt/2/B/M  
Comment: House has good  
lect. trim.

S w/a/B/1905/SF/1/B/M

S w/a/CB/1907/SF/1/B/M

S w/a/CB/1895/Apt/1/B/M  
Comment: House has nice  
urret

S w/a/CB/1900/Apt/2/C/M

S w/a/AS/1890/Apt/1/B/M

S w/a/AL/Date?/Apt/1/D/M

S w/a/CB/1900/SF/1/B/U  
Comment: House has oriel  
nice stain glass windows

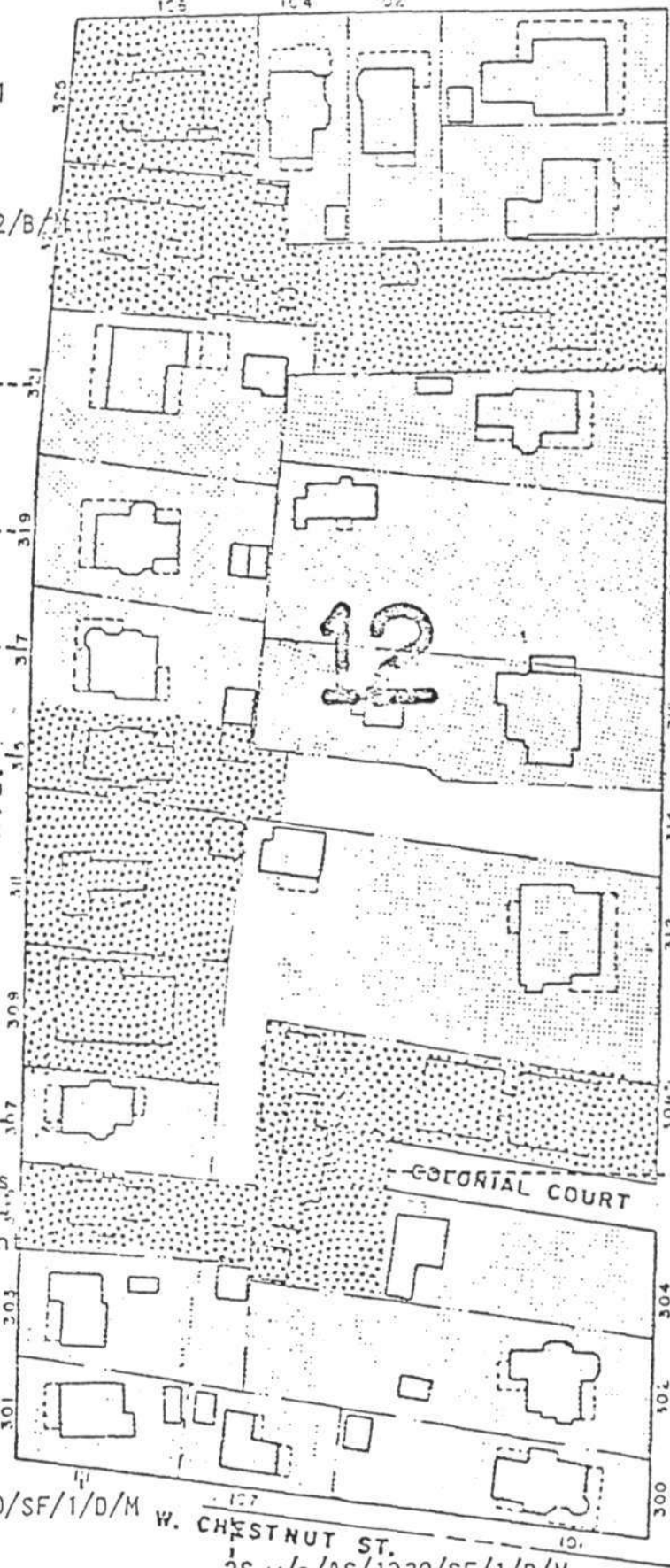
S w/a/AS/1900+/Apt/2/C/M  
Comment: House needs pain  
nd gutters ('76)

S w/a/AS/1900/SF/1/C/M  
Comment: House has been  
xtensively modified

2S w/a/WS/1930/SF/1/D/M

W. CHESTNUT ST.

2S w/a/AS/1930/SF/1/D/M



-2S w/a/B/1909/SF/1/B/  
"Holloway House"

-2S w/a/CB/1920/SF/1/B/

-2S w/a/AS/1880/Apt/1/E

-2S w/a/AS/1880/SF/1/B/

-2S w/a/CB/1880/SF/SF/1  
Comment: This house is  
most unusual in style &  
pears to have some 18th  
tury characteristics  
-2S w/a/B/1926/SF/1/

Empty Lot

-2S w/a/B/1900/SF/1/A

--3S/Stu/1940/Apt/1/D/C

--3S/ASP/1870/Apt/2/B/M  
Comment: House is ve  
poorly modified alumi  
siding placed May '77

--1S w/a/AS/1930-40/SF/

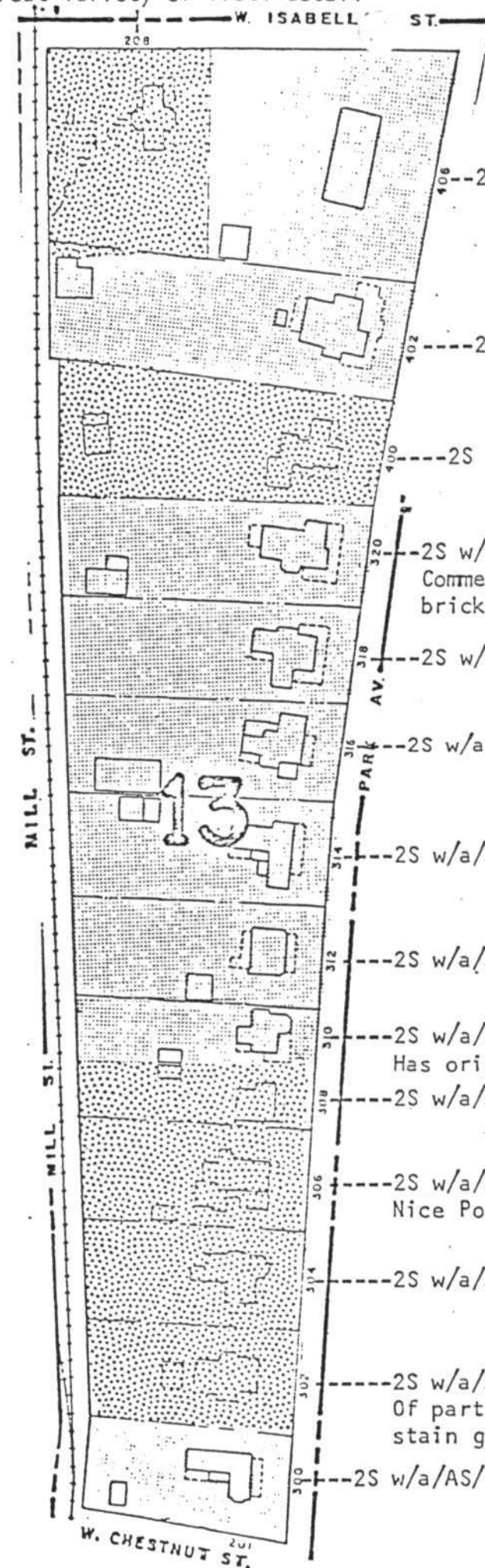
--2S w/a/AS/1880/SF/1/A

--1S w/a/CB/1890/SF/1/E

N. DIVISION

a great variety of Vict. detail

WI-153



106 ---2S w/a/B/1920/SF/1/B/U

102 ---2S w/a/B/1890/SF/1/B/M

400 ---2S w/a/AL/1890?/Apt/1/A/M

320 ---2S w/a/AL/1890/SF/1/B/M  
Comment: House has handsome brick Foundation

318 ---2S w/a/AL/1895?/SF/1/B/M

316 ---2S w/a/AS/1860?/SF/1/B/M

314 ---2S w/a/AL/1850/SF/1/B/M

312 ---2S w/a/AS/1895/SF/2/B/M

310 ---2S w/a/AS/1880/SF/2/B/M/Comment  
Has original slate roof

308 ---2S w/a/AS/1925/Apt/1/C/M

306 ---2S w/a/AS/1850/Apt/1/B/M/Comment  
Nice Porch Trim

304 ---2S w/a/AS/1900/Apt/1/B/M

302 ---2S w/a/AS/1882/Apt/1/B/M/Comment  
Of particular note porch rail,  
stain glass, top peak detail

300 ---2S w/a/AS/1391/SF/1/B/M

W. CHESTNUT ST.

/WS/1930/SF/2/C/U  
/AL/1380/Apts/2/B/M/Comment:  
house has many good Vict. Features  
ould be restored.



2S w/a/WS/1925/SF/1/C/U

2S w/a/CB/1380/SF/1/B/

2S w/a/WS/1880/SF/1/  
Comment: House was  
inally Clapboard, Por  
added and made close  
ground.

2S w/a/AL/1900/SF/1/

2S w/steeples/Stone/1922/Bethesda Church

2S w/a/AS/1395/Com/1/A/M (Church House)

2S w/a/AL/1385/Apt/1/A/M

1S/B/1935/SF/1/D/U

1S/B/1930/SF/1/D/U

ISABELLA ST.

2S w/a/B/1930/SF/1/D/UM

2S w/a/WS/1936/SF/1/D/UM

2S w/a/WS/1945/SF/1/D/U

1S/B/1950/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

2S/BR/1940/SF/1/D/U

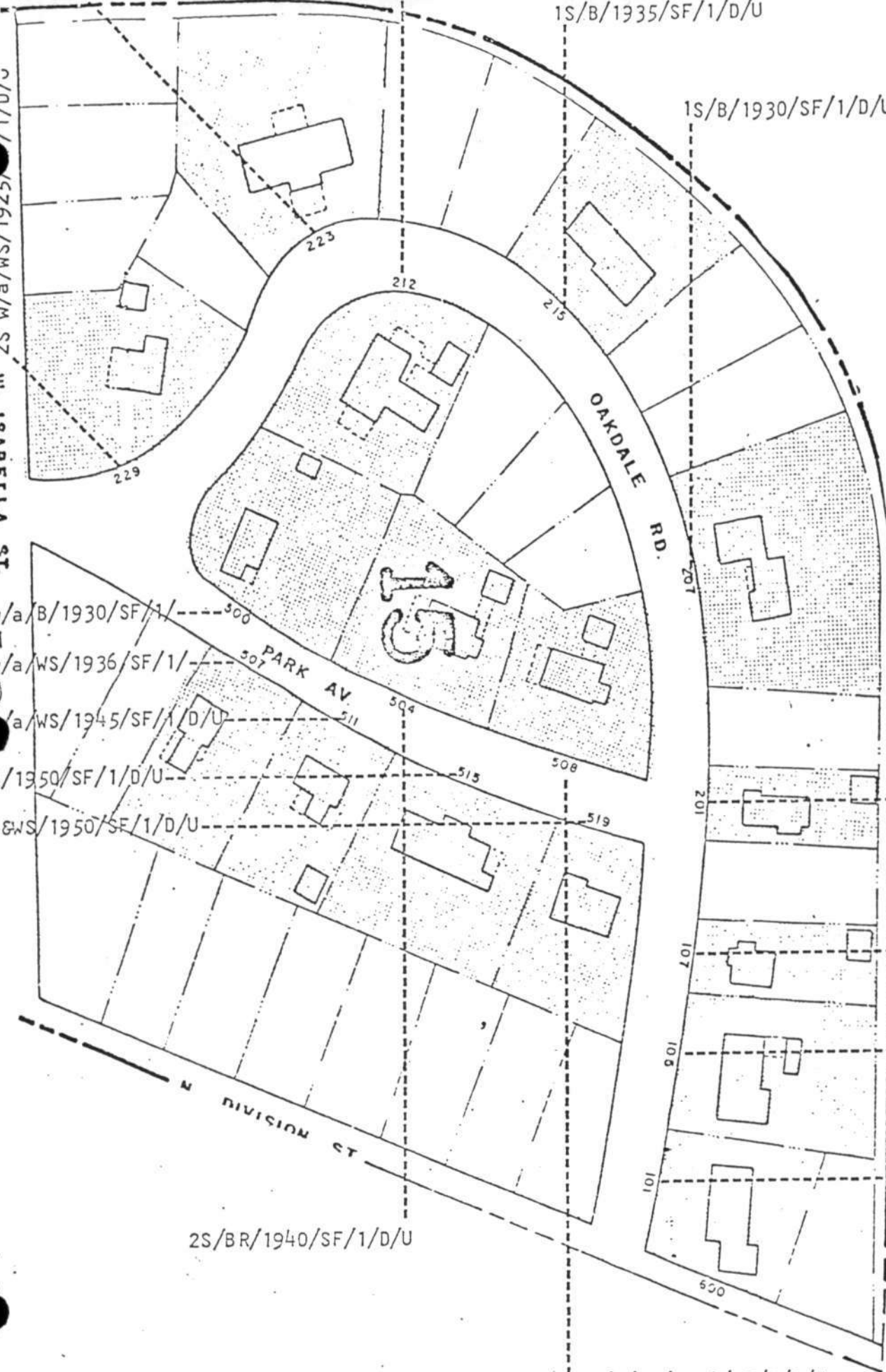
2S w/a/WS/1936/SF/1/D/U

1S/B&WS/1950/SF/1/D/U

2S w/a/CB/1950/SF/1/D/M

1S/B&AL/1950/SF/1/D/U

B&AL/1970/SF/1/D/U





Newtown  
Historic District

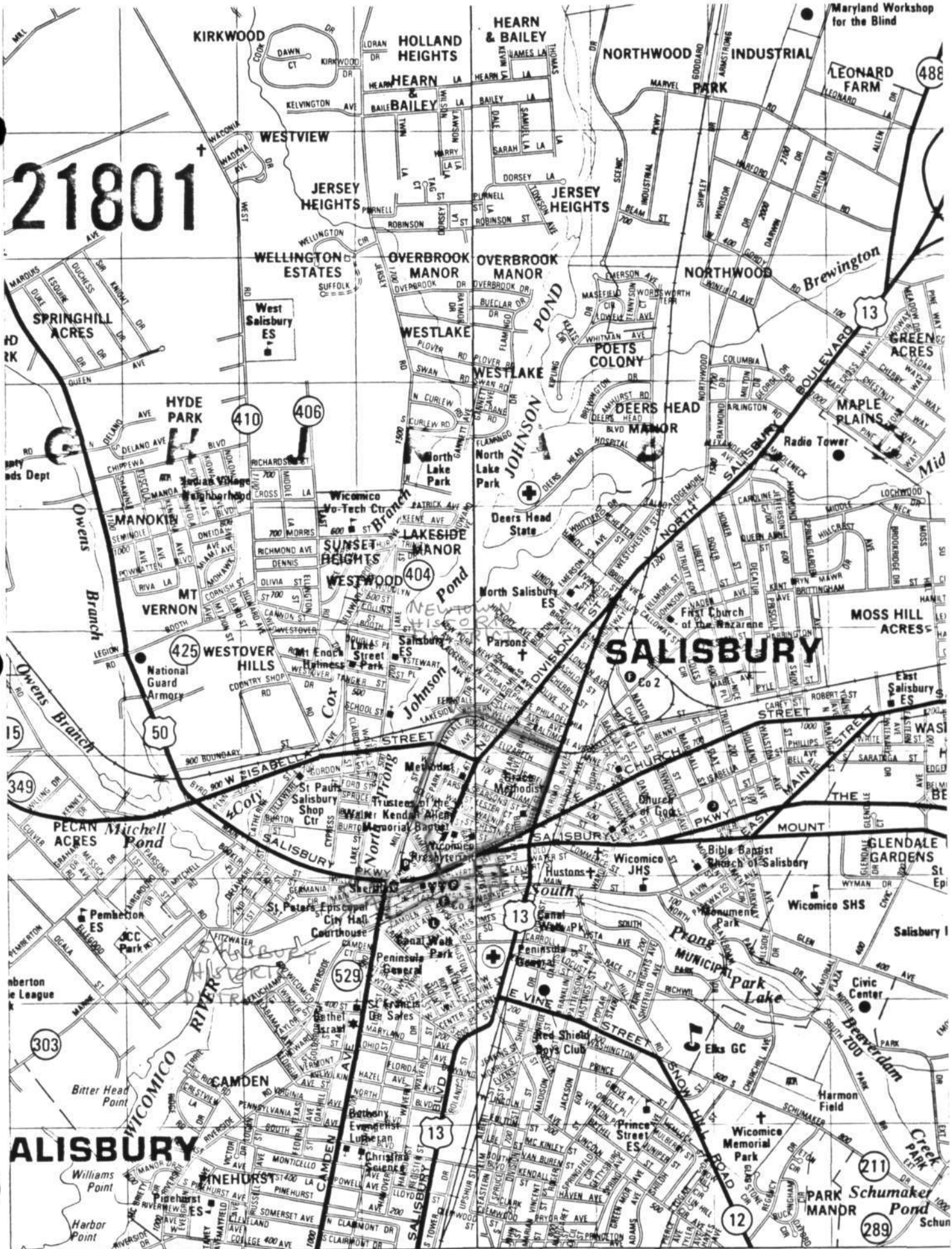
WI-153

Salisbury-Wicomico County Planning & Zoning Commission

153 2/25/83

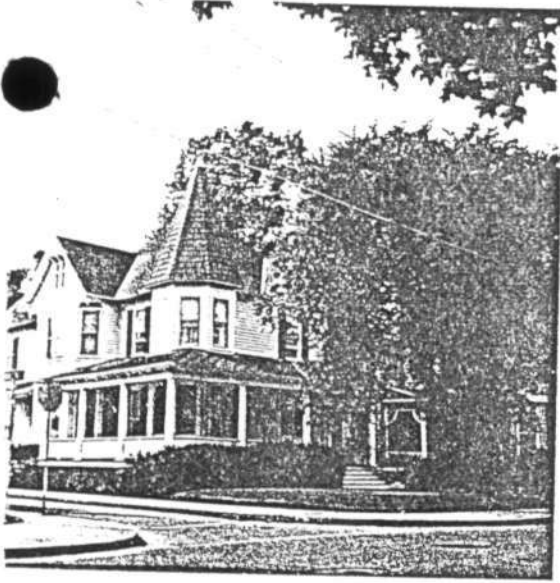
10 24 83

21801



W1-153 Newtown Historic District







Real Property Data Search ( )  
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

**Special Tax Recapture: None**

**Account Identifier:** District - 05 Account Number - 013011

**Owner Information**

**Owner Name:** FEATHER FRANK K **Use:** EXEMPT  
**Principal Residence:** YES  
**Mailing Address:** 111 WALNUT ST **Deed Reference:** /03321/ 00171  
 SALISBURY MD 21801-

**Location & Structure Information**

**Premises Address:** 111 WALNUT ST **Legal Description:** 6,300 SQFT  
 SALISBURY 21801-0000 111 WALNUT ST  
 CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0107	0009	0776	5030164.23	0000				2022	Plat Ref:

**Town:** SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1915	2,331 SF		6,300 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	ASBESTOS SHINGLE/	4	2 full/ 1 half		

**Value Information**

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2022	07/01/2023	07/01/2024
<b>Land:</b>	16,800	16,800		
<b>Improvements</b>	113,900	193,300		
<b>Total:</b>	130,700	210,100	183,633	210,100
<b>Preferential Land:</b>	0	0		

**Transfer Information**

<b>Seller:</b> JOHNSON KEITH A	<b>Date:</b> 06/02/2011	<b>Price:</b> \$155,000
<b>Type:</b> ARMS LENGTH IMPROVED	<b>Deed1:</b> /03321/ 00171	<b>Deed2:</b>
<b>Seller:</b> FARMERS BANK OF WILLARDS, THE	<b>Date:</b> 01/26/2004	<b>Price:</b> \$80,000
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /02183/ 00725	<b>Deed2:</b>
<b>Seller:</b> PUSEY, MARIA H	<b>Date:</b> 12/24/2003	<b>Price:</b> \$75,200
<b>Type:</b> NON-ARMS LENGTH OTHER	<b>Deed1:</b> /02173/ 00656	<b>Deed2:</b>

**Exemption Information**

Partial Exempt Assessments:	Class	07/01/2023	07/01/2024
<b>County:</b>	020	183,633.00	210,100.00
<b>State:</b>	020	183,633.00	210,100.00
<b>Municipal:</b>	020	183,633.00 210,100.00	183,633.00 210,100.00

**Special Tax Recapture: None**

**Homestead Application Information**

**Homestead Application Status:** Approved 07/06/2018

**Homeowners' Tax Credit Application Information**

**Homeowners' Tax Credit Application Status:** No Application **Date:**