



City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION

P.O. BOX 870

125 NORTH DIVISION STREET, ROOMS 203 & 201

SALISBURY, MARYLAND 21803-4860

410-548-4860

FAX: 410-548-4955



RANDY TAYLOR
MAYOR

ANDY KITZROW
CITY ADMINISTRATOR

JULIE M. GIORDANO
COUNTY EXECUTIVE

BUNKY LUFFMAN
DIRECTOR OF ADMINISTRATION

SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION

AGENDA

REGULAR MEETING

February 15, 2024

ROOM 301, THIRD FLOOR
GOVERNMENT OFFICE BUILDING

1:30 P.M. Convene, Chip Dashiell, Chairman

Minutes – Meeting of January 18, 2024

1:35 P.M. PUBLIC HEARING – CRITICAL AREA MAP – City of Salisbury Code – Updating the adopted Critical Area boundary map as submitted by the Critical Area Commission to the City of Salisbury. (A. Rodriguez)

FINAL COMPREHENSIVE SITE PLAN APPROVAL – TIDALHEALTH COMMUNITY CLINIC – TidalHealth Peninsula Regional Inc, rep. by Becker Morgan Group – 805 E Church St – R-5A Residential District – M-0108, G-0003, P-1848 - #23-022 (A. Rodriguez)

FINAL SUBDIVISION PLAT/ FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – VILLAGE AT SNOWFIELD – Heritage Revival Holdings, LLC, rep. by Parker and Associates – Snow Hill Rd and Toadvine Rd –GC – General Commercial and R-8A - Residential District-- M-0048, G-0011, P-492 - #22-008 (A. Rodriguez)

FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – Fisher Architecture for Piraeus Realty Corp. – 1313-1315 S. Salisbury Blvd. – General Commercial Zoning District – M-0117, G-0009, P-3277 - #202400134 (H. Eure)

REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN; PALEOCHANNEL & WELLHEAD PROTECTION DISTRICT APPROVAL – Cute Little Giggles Daycare/Bing Enterprises, Inc. – 8245 Dickerson Lane, Unit F. – General Commercial Zoning District – M-0020, G-0024, P-0177 – Lot - 2A - #202400038 (H. Eure)



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MINUTES

The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on January 18, 2024, in Room 301, Council Chambers, Government Office Building with the following persons participating:

COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman
Daniel Moreno-Holt
Matt Drew
Mandel Copeland
Joe Holloway
D'Shawn Doughty

PLANNING STAFF:

Henry Eure, City of Salisbury, Department of Infrastructure and Development ("DID")
Brian Soper, City of Salisbury, DID
Amanda Rodriguez, City of Salisbury DID
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")
Marilyn Williams, Land Development Coordinator, PZCD
Janae Merchant, Recording Secretary, PZCD

Laura Ryan, City of Salisbury, Department of Law
Andrew Illuminati, Wicomico County, Department of Law

The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

MINUTES: The December 21, 2023 minutes were brought forward for approval. Mr. Matt Drew submitted a motion to approve, seconded by Mr. Joe Holloway and duly carried. The minutes from the December 21, 2023 meeting were **APPROVED** as submitted.

REVISED COMPREHENSIVE DEVELOPMENT PLAN & PALEOCHANNEL PROTECTION AREA – MILL POND VILLAGE PLAZA – Parker and Associates, Inc. for Mill Pond Village Plaza LLC – 701 E. Naylor Mill Road, Unit 801 – General Commercial Zoning District – M-0101, G-0018, P-5489 – L-1 #202400010 (H. Eure)

Mr. Henry Eure was joined by Mr. Brock Parker (Parker and Associates). Mr. Eure presented the Staff Report.

The applicant submitted a Revised Site Plan for the Mill Pond Village Plaza Shopping Center. They were seeking approval for the installation of a 6 ft. tall privacy fence to enclose an outdoor play area for a new daycare center that will be located in unit 801. The State of Maryland Office of Childcare Administration requires daycare centers to provide protected outdoor play areas.

When the shopping center was originally approved back in 2001 it did not include approval for the Paleochannel Protection Area as part of the Comprehensive Development Plan approval. For maintenance purposes, it was brought back to recommend that the Commission grant Paleochannel Protection approval for the entire shopping center. The uses in the shopping center itself are all low-hazard uses that do not impact the City's aquifer and water supply.

The Planning Staff recommended approval of the Revised Comprehensive Development Plan for the installation of a 6 ft. tall fence enclosing the outdoor play area as submitted. Paleochannel Protection District approval is also recommended for the shopping center.

Mr. Holloway inquired about a gate in the fence in case of an emergency. Mr. Parker replied stating if the State requires one, one will be installed. However, there are two (2) rear entry doors into the building.

Mr. D'Shawn Doughty asked if the material would be similar to a fence already there because he has noticed about four (4) times a vinyl panel has come off. Mr. Parker said the owner is the same and does wish to use the same materials but he will have a conversation with him about the safety concerns for the children.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Revised Comprehensive Development Plan for the installation of a 6 ft. tall fence enclosing the outdoor play area as submitted and also to approve Paleochannel Protection District for the shopping center. Mr. Daniel Moreno-Holt entered a motion to approve then it was seconded by Mr. Holloway and duly carried,

Chairman Dashiell stated the motion was **APPROVED**.

MINOR SUBDIVISION – Gayle A. Basch, rep. by Nathan Noble, Wilkins-Noble, LLC – 33414 Wango Road, Parsonsburg – M-0050, G-0022, P-0054 (M. Williams)

Ms. Marilyn Williams was joined at the table by Mr. Donald Basch (33414 Wango Road, Parsonsburg, MD). Ms. Williams presented the Staff Report.

This Plat proposes the creation of two new minor lots from Parcel 54. The lots will be the third and fourth lots subdivided from the parent parcel since our regulatory date. The proposed lots are larger with Lot 3 proposed at 9 +/- acres and Lot 4 proposed at 2 +/- acres. The remaining land is approximately 60 acres. Proposed Lot 3 is improved with a single-family home and proposed Lot 4 is filled farmland. The remaining lands are a mixture of filled farmland and wooded acreage.

The Planning Staff recommended approval of Lots 3 and 4 of the Gayle Basch lands subject to the four (4) conditions listed below.

1. The Minor Subdivision Plat shall comply with all requirements of the Wicomico County Subdivision Regulations.
2. Health Department signature on Final Plat prior to recordation of the Minor Subdivision Plat.
3. The Minor Subdivision Plat shall comply with all requirements of the Forest Conservation Regulations.
4. This approval is subject to further review and approval and conditions imposed by the Planning and Zoning and Public Works Departments.

Mr. Holloway asked if there was any documentation to notify potential buyers of the property that the land falls under the Right to Farm Act. Ms. Williams said there is a note in the general notes on the recorded plat that the property is in an A1 Zoning District and subject to rural noise and odors.

As there were no comments, Chairman Dashiell requested a motion to approve lots three (3) and four (4) of the Gayle A. Basch lands subject to the four (4) conditions that are listed in the Staff Report and adding number five (5) "Subject to the Open-space easement." Mr. Doughty entered a motion to approve then it was seconded by Mr. Holloway and duly carried,

Chairman Dashiell stated the motion was **APPROVED**.

PARKING WAIVER REQUEST – MILFORD STREET DOLLAR GENERAL – Oxford Chase Development Inc., rep. by Parker and Associates – Milford St & S. Division St – College and University District M-0117, G-0017, P-3269 - #23-035 (A. Rodriguez)

Ms. Amanda Rodriguez was joined at the table by Mr. Parker, and Mr. Howard Crossan (Developer and Contractor, 29323 Deal Island Road, Princess Anne, MD). Ms. Rodriguez presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the construction of a new Dollar General store on the corner of Milford Street and S. Division Street in the College and University District. The applicant requested 27 parking spaces; a 20% increase over City Code requirements.

Staff recommended granting the parking waiver for the 20% increase in vehicular parking spaces to accommodate a total of 27 spaces for Milford Street Dollar General subject to the two (2) conditions listed below.

1. The site shall be developed in accordance with an approved, detailed Landscaping Plan to offset the increase in parking.
2. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Moreno-Holt asked for clarification on the City's parking standards. Ms. Rodriguez explained there is a calculation and 20% is the maximum allowance. According to the calculation, this facility is allowed 22 parking spaces but to appease corporate, they are requesting 27 parking spaces.

Mr. Holloway inquired if there would be adequate room for tractor-trailers to enter and exit

without causing traffic problems. Mr. Parker responded stating we have the movements available here without hitting any curbs. We increased the entrance on Milford Street to be a little wider than most and we do not have parking along Milford so the trucks may back up to the dumpsters. The trucks will then exit onto South Division Street.

Mr. Matt Drew asked if they would consider adding additional bicycle parking due to the location of the store and the number of parking spaces. Mr. Crossan believed it was a good recommendation and that it would be a good addition to the store.

As there were no additional comments, Chairman Dashiell requested a motion to Grant the parking waiver for the 20% increase in particular parking spaces to accommodate a total of 27 spaces for Milford Street Dollar General subject to the two (2) conditions mentioned in the Staff Report. Mr. Doughty entered a motion to approve then it was seconded by Mr. Holloway and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

FINAL COMPREHENSIVE DEVELOPMENT PLAN/ WELLHEAD PROTECTION PLAN APPROVAL – WOODBROOKE MEDICAL CENTER BUILDING A – G2 Properties, LLC, rep. by Parker and Associates – Woodbrooke Medical Center-- 1603 Treesap Court– Light Business & Institutional District– M-0109, G-0002, P-2518 - #05-001 (A. Rodriguez)

Ms. Rodriguez and Mr. Parker remained at the table. Ms. Rodriguez presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the construction of a 5,755 sq. ft. single-story office building, located at the northeast corner of Phillip Morris Drive and Tree Sap Court. The building will be similar in style to the other buildings located within the Woodbrook Medical Center campus.

Staff presented the Comprehensive Development Plan Review. These included a Site Plan, Building Elevations, Sign Plan, Landscaping and Lighting Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, and Transportation, Streets, and Pedestrians.

Staff recommended approval of the Final Comprehensive Development Plan/Wellhead Protection Plan subject to the six (6) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval and the standards set forth in CH 17.28 for the Light Business & Industrial District. Minor plan adjustments may be approved by the Salisbury DID.
2. Provide a corrected Lighting Plan with specifications by Ch 17.196.020 for approval by City Staff.
3. Provide a corrected Landscaping Plan indicating the inclusion of shade trees at the ends of each parking row as required.
4. Submit a detailed Sign Plan that meets all standards set forth in Ch 17.216 of the Zoning Code for approval by the Planning Commission prior to issuance of sign permits.
5. Include the calculated number of bicycle parking spaces as required by code.
6. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

As there were no comments, Chairman Dashiell requested a motion to approve the Final Comprehensive Development Plan and Wellhead Protection Plan for Woodbrook Medical Center Building A subject to the six (6) conditions that are mentioned in the Staff Report. Mr. Drew entered a motion to approve then it was seconded by Mr. Mandel Copeland and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

DISCUSSION – City Critical Area Map Update (B. Soper)

Mr. Brian Soper provided a brief overview of the Critical Area Map ownership flow. In February 2022, the Critical Area Commission transferred the maps to the City. There was a net loss of 40 acres and it affected 74 property owners. Amendments to the Critical Area District require a Public Hearing before adoption, this is scheduled for February 15, 2024.

Mr. Drew asked how the 1,000 ft. was measured. Mr. Soper indicated it was measured from the edge of tidal wetlands.

Chairman Dashiell inquired if the County would be providing information on this topic as well. Ms. Lori Carter responded the County will have a Public Meeting along with the Critical Areas Commission on February 22nd. The Commission has sent out letters to all impacted residents.

STAFF ANNOUNCEMENTS

Chairman Dashiell mentioned the Open House held on January 17th to gather information for a 10-year Comprehensive Plan went well. He was grateful to the Commission members who were able to attend and he was glad to see several young people show up. Mr. Soper added there was a lot of participation and thus far, they have received 212 responses from the online survey. There are other meetings scheduled with different stakeholders. Mr. Drew and Mr. Doughty have received comments from individuals so Mr. Soper will find out the best venue to communicate that information to the Consultants.

Chairman Dashiell had a conversation with Mr. Soper concerning the update on the Community Impact Statement and Statement of Intent to Proceed in Financial Capability. Mr. Soper stated there would be further discussions on the City and County levels to get all the information together to present to the Commission.

Ms. Lori Carter mentioned the County's Critical Area Mapping Update public meeting will be held on Thursday, February 22nd at 6:00 p.m. in the Wicomico Youth and Civic Center in the Da-Nang room. Ms. Carter confirmed an email would be sent to the Commissioners closer to the event to remind everyone about the meeting.

As there were no additional comments, Chairman Dashiell asked for a motion to adjourn. Upon

a motion by Mr. Doughty, and carried unanimously, the Commission meeting was adjourned at 2:27 p.m.

The next regular Commission meeting will be on February 15, 2024.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

Charles “Chip” Dashiell, Chairman

Lori A. Carter, MBA, Secretary

Janae Merchant, Recording Secretary



City of Salisbury

Infrastructure and Development Planning and Zoning Commission Staff Report

Meeting of February 15, 2024

Public Hearing - Map Amendment

To adopt the updated Critical Area maps as submitted to the City by the Critical Area Commission.

I. CODE REQUIREMENTS:

In accordance with the provisions of Chapter 12.20, Chesapeake Bay Critical Area Overlay District, Article XIII, Amendments, the Planning Commission shall hold a Public Hearing on proposed map amendments to the Critical Area boundary.

Public notice was provided in accordance with the requirements of 12.20.410.C. (Attachment 1)

II. REQUEST:

In the Spring of 2008, legislation was passed and signed into law that required the State to work cooperatively with local governments to update the Critical Area Maps in all affected jurisdictions. The legislation directed the Department of Natural Resources to prepare a Statewide Base Map that includes a State-determined shoreline and landward boundary of tidal wetlands and a digitally generated, geo-referenced 1,000-foot Critical Area boundary, as appropriate for integration into a Geographic Information System.

As the mapping update project progressed, the draft updated maps were made available to the public, so that additional review and comment on the maps can take place. The Critical Area Commission notified 74 property owners with a greater than 1% change in November 2021. On February 9, 2022 the Critical Area Commission transferred the maps to the City.

The proposed map is attached showing a net loss of 40 acres. This loss is not unexpected as the original map used the 1972 State Wetland maps to determine the boundary. GIS and recent aerial imagery provide a more accurate assessment of wetlands and shorelines



City of Salisbury

used to draw the boundary. In addition, a large portion of the City's shoreline is hardened with bulkheading or revetments that would limit change.

Amendments to the Critical Area District require a public hearing by the Planning Commission and recommendation to the City Council for their consideration at a public hearing prior to adoption.

III. **PLANNING AND ZONING:**

The Planning Commission held a discussion pertaining to the map update on January 18, 2024 to review the proposed changes.

IV. **STAFF RECOMMENDATION:**

The Department of Infrastructure and Development recommends that the Planning Commission forward a **FAVORABLE** recommendation to the Mayor and City Council for the proposed map as shown in Attachment 2, based on the findings in the staff report.

**SALISBURY PLANNING AND ZONING COMMISSION
NOTICE OF PUBLIC HEARING
CRITICAL AREA MAP UPDATE**

In accordance with the provisions of Chapter 12.20, Chesapeake Bay Critical Area Overlay District, Article XIII, Amendments, of the Salisbury Municipal Code, the City of Salisbury proposes to adopt the updated critical area maps as submitted to the City from the Critical Area Commission.

A PUBLIC HEARING WILL BE HELD ON

Thursday, February 15, 2023, at 1:30 P.M. in the Council Chambers, Room 301, of the Government Office Building, 125 North Division Street, Salisbury, Maryland to hear opponents and proponents, if there be any.

Subsequent to the consideration of this proposal by the Salisbury Planning and Zoning Commission, a recommendation will be made to the Salisbury City Council for its consideration at a Public Hearing.

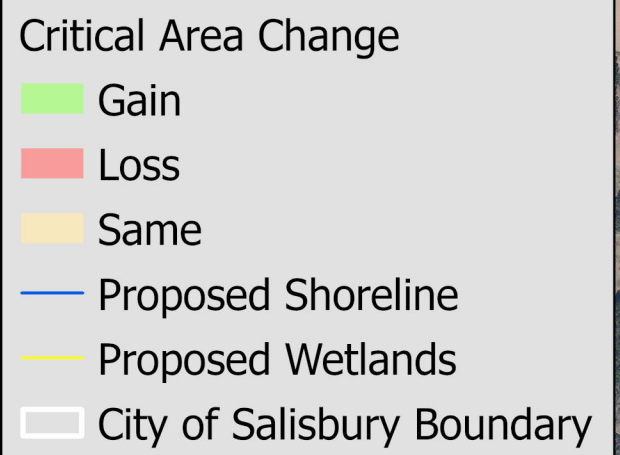
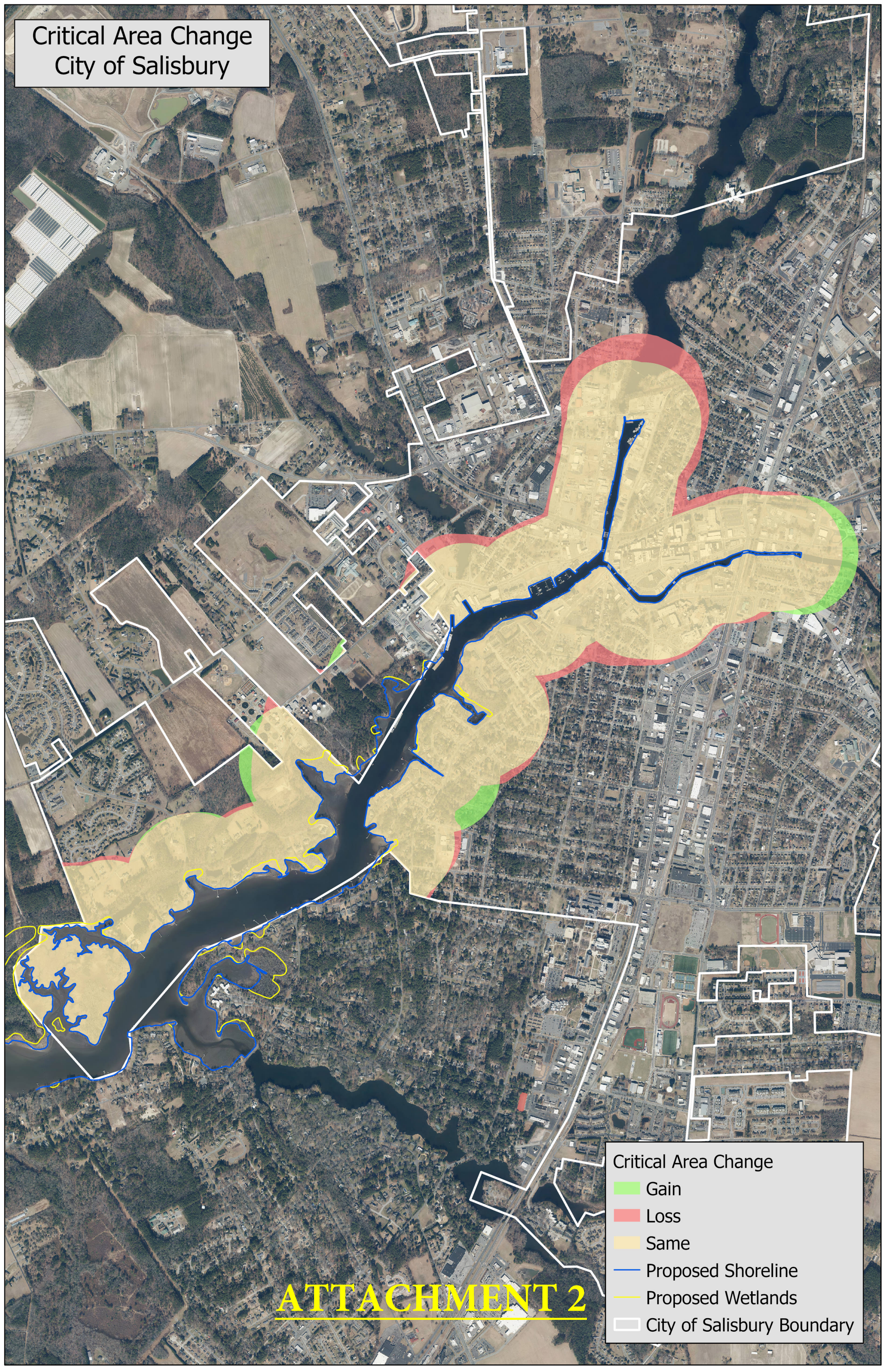
The Commission reserves the right to close a part of this meeting in accordance with the Annotated Code of Maryland, General Provisions, section 3-305(b).

(FOR FURTHER INFORMATION CALL 410-548-3170)

Charles “Chip” Dashiell, Chairman

Publication Dates: February 1, 2024
 February 8, 2024

Critical Area Change
City of Salisbury



ATTACHMENT 2



Infrastructure and Development Staff Report February 15, 2024

I. BACKGROUND INFORMATION:

Project Name: TidalHealth Community Clinic
Applicant/Owner: Becker Morgan Group for TidalHealth
Case No.: 23-022
Nature of Request: Final Comprehensive Site Plan Approval
Location of Property: 805 E Church St; Tax Map: 0108, Grid: 0003, Parcel: 1848
Existing Zoning: R-5A

II. DISCUSSION:

The applicants are proposing to construct a 16,846 sf residential community clinic as defined in the text amendment adopted via Ordinance No. 2821 (**Attachment 5**). The Preliminary Comprehensive Site Plan was approved by the Planning Commission on December 21, 2023. (**Attachment 1**) A special exception was granted by the Board of Appeals on February 1, 2024. (**Attachment 2**)

III. PLANNING AND ZONING:

A. History

The site previously contained the building known as the Hotel Esther that is listed in the historical survey with the Maryland Historical Trust (“MHT”), (WI-528). The owner of the property voluntarily worked with MHT to provide access to document the structure prior to demolition. The previous use of the site has been predominantly residential. As mentioned above, previous approvals have been granted by the Planning Commission and Board of Appeals.

B. Site Description

The 1.947 acre parcel is bound on three (3) sides by Benny Street to the north, Naylor Street to the west, Church Street to the south, and two (2) residential properties to east along Marshal Street. The property has access from all three (3) abutting streets. (**Attachment 3**)

C. Surrounding Area Development

The area around the site consists of mainly single-family dwellings with some general commercial activity to the north.

IV. COMPREHENSIVE SITE PLAN REVIEW:

A. Parking

The parking standard for this use is medical clinic, 1 per 250 sf of gross floor area, for a maximum of 68 spaces. The site plan shows 47 spaces, 2 handicap spaces, and 1 loading space. Staff finds the vehicle parking to be acceptable as patients may use other forms of transportation due to the nature of a community clinic. Staff is requesting that a minimum for 10 bicycle spaces be added as currently none are shown. **(Attachment 4)**

B. Refuse Disposal: Trash collection will be private and the current location with screening is compliant with the code.

C. Building Setbacks/Spacing: The minimum lot, yard, perimeter and height requirements are set forth in 17.160 as follows:

B. Minimum Lot Requirements.

1. Lot area: one acre.
2. Lot width corner lot: sixty-five (65) feet.

C. Minimum Yard and Perimeter Requirements.

1. Front yard: twenty-five (25) feet.
2. Side yard: ten (10) feet (two required).
3. Rear yard: thirty (30) feet.

D. Height: forty (40) feet.

The proposed site plan complies with all code requirements.

D. Fire Service:

The project is subject to further review by the Salisbury Fire Department.



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E. Landscaping

The Zoning Code requirement for landscaping is a 20 ft. wide landscaped area and at least a 6 ft. fence from adjoining residential uses. The site plan, page L-101, complies with this requirement along the eastern property line. Additional landscaping has been provided throughout the property as well as a community garden. Staff anticipates that the landscaping and appearance of the property will be held to the same standard as the Peninsula Regional grounds. **(Attachment 4)**

F. Building Elevations

Building elevations and renderings are provided in Attachment 5. Architectural design features from the Hotel Esther have been incorporated into the design of the community clinic.

G. Stormwater Management

Stormwater Management Concept has been approved.

H. Forest Conservation Program

City staff has requested review and comments from the County. County comments will be addressed prior to final approval of the civil engineering site plan.

J. Transportation, Streets, and Pedestrians

Minor review comments have been provided to the applicant as part of the engineering review, these comments will be addressed prior to final approval of the civil engineering site plan.

V. PLANNING COMMENTS:

This community clinic will increase healthcare access to neighborhood residents that may have sought access via the hospital or not at all. The community benefits are not just limited to medical access as the facility will also serve as a meeting space for counseling, education, and other community wellness activities and outreach.

VI. STAFF RECOMMENDATION:



City of Salisbury

Staff recommends approval of the Final Comprehensive Site Plan with the following conditions:

1. Submit a sign plan for Planning Commission approval prior to the issuance of sign permits;
2. Provide ten (10) bicycle parking spaces; and
3. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;



City of Salisbury

12/27/2023

Kevin Parsons
Becker Morgan Group, Inc.
312 W Main St, Suite 300
Salisbury, MD 21801

**RE: CASE # 23-022 – PRELIMINARY COMPREHENSIVE SITE PLAN APPROVAL – TidalHealth
Community Clinic – R-5A Zoning District – M-0108, G-0003 P-1848**

Dear Kevin,

The Salisbury Planning Commission, at its December 21, 2023, meeting, **APPROVED** the Preliminary Comprehensive Site Plan for the proposed TidalHealth Community Clinic at the referenced property as submitted, subject to the following Conditions of Approval:

CONDITIONS:

1. The site shall be developed in accordance with a Final Comprehensive Site Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Obtain a special exception from the Board of Appeals for the use prior to the approval of a Final Comprehensive Site Plan;
3. Submit a sign plan for Planning Commission approval prior to the issuance of sign permits;
4. Provide ten (10) bicycle parking spaces;
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.

If you have any questions or concerns regarding this matter, please call our office at 410-548-3130.

Sincerely,

Brian Soper
City Planner

cc: Palmer Gillis, GGI
cc1: Mark Cropper, AJGA



February 2, 2024

Becker Morgan
Attn: Kevin Parsons
312 W. Main Street, Suite 300
Salisbury, MD 21801

**RE: Case #SA-24-024 Becker Morgan, on behalf of TidalHealth Peninsula Regional, Inc. –
Special Exception to Construct a Clinic – 805 E. Church Street – R-5A Residential District.**

Dear Mr. Parsons:

This is to officially notify you that the Salisbury Board of Appeals at a meeting on February 1, 2024, **APPROVED** the Special Exception to construct a residential medical clinic at 805 E. Church Street, based on the criteria listed in the Staff Report, particularly the criteria listed in Section V(c), and subject to the following Condition of Approval:


CONDITIONS:

1. Subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.

Any party dissatisfied with the Board's decision may appeal to the Wicomico County Circuit Court within 30 days from the date of this letter. The court is empowered to overturn or confirm the Board's decision.

You may now proceed with pursuing other required approvals.

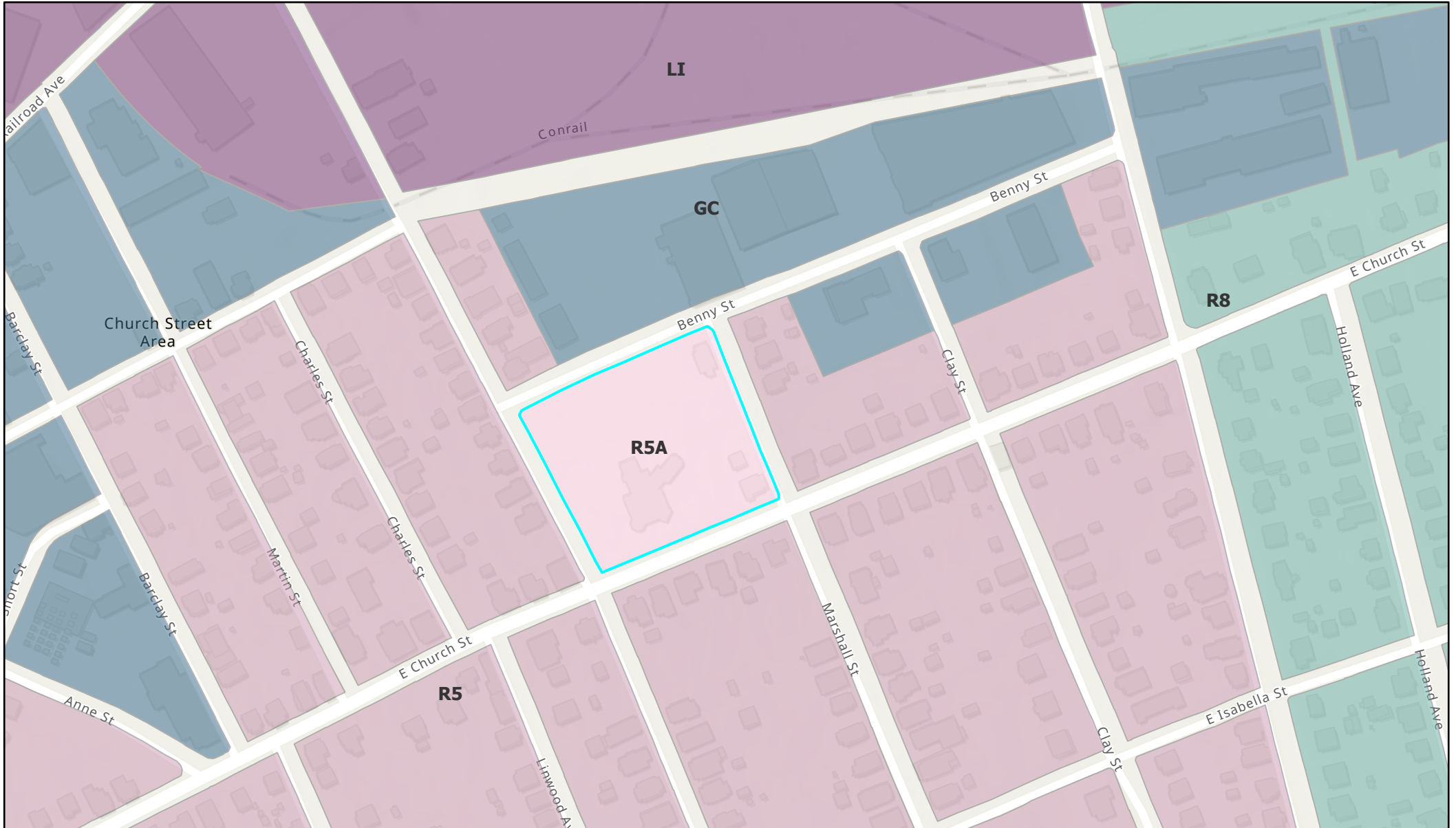
If you have further questions, please feel free to contact Henry Eure at 410-548-3130.

Sincerely,

Brian Soper
Secretary to the Board

BS:brt

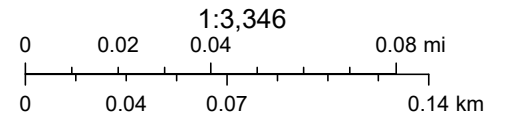
cc: City Solicitor
Assessments
Mark Spencer Cropper/6200 Coastal Highway, Ste 200/Ocean City, MD 21842

TidalHealth Community Clinic Zoning



2/7/2024, 11:28:10 AM

City of Salisbury, MD: Zoning



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodastyrlesen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, City of Salisbury, VGIN, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin,

ATTACHMENT 3

Department of Infrastructure & Development

CITY OF SALISBURY GENERAL NOTES :

- THE CITY RESERVES THE RIGHT TO REQUIRE STRUCTURAL MODIFICATIONS TO THE SITE WORK FOLLOWING PERMIT ISSUANCE IF SUCH MODIFICATIONS ARE NECESSARY.
- ALL STABILIZATION, PAVING AND ROAD PATCHING IN THE PUBLIC ROADWAY, WHICH IS NECESSITATED BY THE CONSTRUCTION OF THIS PROJECT, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, USING A PAVING CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. MILLING AND REPAVING WILL BE IN ACCORDANCE WITH RESOLUTION 2298.
- ALL DETERIORATED CURB, GUTTER AND SIDEWALKS, AS DETERMINED BY THE CITY, ALONG THE FRONTAGE(S) OF THE PROPERTY MUST BE REPLACED AT THE TIME OF CONSTRUCTION USING A CONCRETE CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. HANDICAP RAMPS PER CURRENT ADA GUIDELINES ARE REQUIRED AT ALL PUBLIC STREET AND DRIVEWAY INTERSECTIONS. DETECTABLE WARNING DEVICES (TRUNCATED DOMES) MUST BE PROVIDED AT ALL PUBLIC STREET INTERSECTION HANDICAP RAMPS AND AS DIRECTED BY D.D. SEE CITY STANDARD 100.37.
- ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAINS, CURB, GUTTER, SIDEWALKS, STREET LIGHTS, AND PAVING IN ITS ENTIRETY MUST BE ACCEPTED IN WRITING BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SEE SECTION 16.48.030 OF THE SALISBURY SUBDIVISION REGULATIONS. REDUCTIONS IN PROJECT SURETY WILL NOT BE APPROVED PRIOR TO FINAL WRITTEN ACCEPTANCE BY THE CITY OF ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS. SUB-PHASING OF THIS PROJECT SHALL NOT BE PERMITTED.
- A WRITTEN "NOTICE TO PROCEED" MUST BE OBTAINED FROM AND A PRE-CONSTRUCTION MEETING SCHEDULED WITH D.D. BEFORE BEGINNING CONSTRUCTION IN CITY PUBLIC RIGHTS, EASEMENTS AND/OR CITY MAINTAINED UTILITIES OR ROADWAYS. THIS REQUIREMENT ALSO APPLIES TO CONSTRUCTION OF ANY PRIVATE STORMWATER MANAGEMENT CONTACT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, ROOM 202, 125 N. DIVISION ST., SALISBURY, MARYLAND, 21801-4940, TELEPHONE 410-548-3170, TO SCHEDULE A PRE-CONSTRUCTION MEETING AND OBTAIN A WRITTEN "NOTICE TO PROCEED". 48 HOURS NOTICE IS REQUIRED.
- STREET TREES SHALL BE PLANTED PER THE CURRENT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT STREET TREE POLICY.
- CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1 / S-1.
- CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR INSPECTION OF PRIVATE UTILITY MAINS.
- MILLING AND REPAVING SHALL BE PER RESOLUTION 2298.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT-OF-WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- EXISTING WATER MAIN CONTRACT NUMBER 5-15-W, EXISTING SEWER MAIN CONTRACT NUMBER 5-15-S.
- 7 EDU'S OF WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS PROJECT, SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- APPROVAL OF THE SITE PLAN AND UTILITY DRAWINGS EXPIRES TWO (2) YEARS FROM THE FINAL APPROVAL DATE. CONSTRUCTION OF THE PROJECT MUST HAVE BEEN STARTED PRIOR TO THE EXPIRATION DATE. THE CITY RESERVES THE RIGHT TO EXTEND THE EXPIRATION DATE UPON WRITTEN REQUEST AND WRITTEN CONFIRMATION.
- PROVIDE RESIDENT INSPECTION FOR THE CONSTRUCTION OF THE PRIVATE STORM WATER MANAGEMENT SYSTEM APPROVED AS PART OF THE IMPROVEMENTS CONSTRUCTION PLAN. DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MSP) WITH GRAVEL SUBSTRATE, INCLUDING RAIN GARDENS, MICRO-BIOTENTATION, SUBMERGED GRAVEL WETLANDS, POROUS CONCRETE, ETC. THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT WITH A DAILY PROGRESS REPORT SEALED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN MARYLAND. THE REPORT IS TO INCLUDE THE FOLLOWING AS APPLICABLE: THE DIMENSION AND HEIGHT OF THE CHAMBERS AS WELL AS LOCATION, SIZE, AND NUMBER OF CHAMBERS PLACED, ALSO, THE LOCATION, SIZE, AND DEPTH OF MEDIA LAYERS FOR MSPS. THE FINAL OCCUPANCY CERTIFICATE AND SURETY WILL BE WITHHELD UNTIL THE DAILY PROGRESS REPORT(S) HAVE BEEN ACCEPTED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- FOLLOWING COMPLETION OF CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMISSION AS-BUILT DRAWINGS OF THE PUBLIC UTILITY MAINS AND STORM DRAINS. THE PRIVATE STORMWATER MANAGEMENT AS-BUILTS MUST BE SUBMITTED WITHIN 60 CALENDAR DAYS FOLLOWING THE DATE OF MDE'S FINAL FIELD INSPECTION REPORT FOR SEDIMENT CONTROL. SUBMIT A COPY OF THIS REPORT WITH THE AS-BUILTS. ALL APPLICABLE AS-BUILTS MUST BE SUBMITTED AT THE SAME TIME UNLESS OTHERWISE APPROVED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. PARTIAL SUBMITTALS WILL BE REJECTED. THE "AS-BUILT" DRAWINGS MUST BE SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER, CURRENTLY REGISTERED IN MARYLAND. THE INITIAL SUBMITTAL SHALL BE PAPER ONLY, THREE (3) COPIES. THE FINAL AS-BUILTS MUST BE SUBMITTED TO THIS OFFICE ON MYLAR AND AUTO-CAD 2016 OR LATER VERSION OF AUTO-CAD. ALL CONTRACT DISCS (CD) MUST BE IN A PLASTIC PROTECTIVE CASE. PROJECT SURETY WILL BE WITHHELD AND FINAL OCCUPANCY CERTIFICATE SHALL BE DELAYED UNTIL THIS AS-BUILT INFORMATION IS SUBMITTED TO AND APPROVED BY THIS OFFICE.

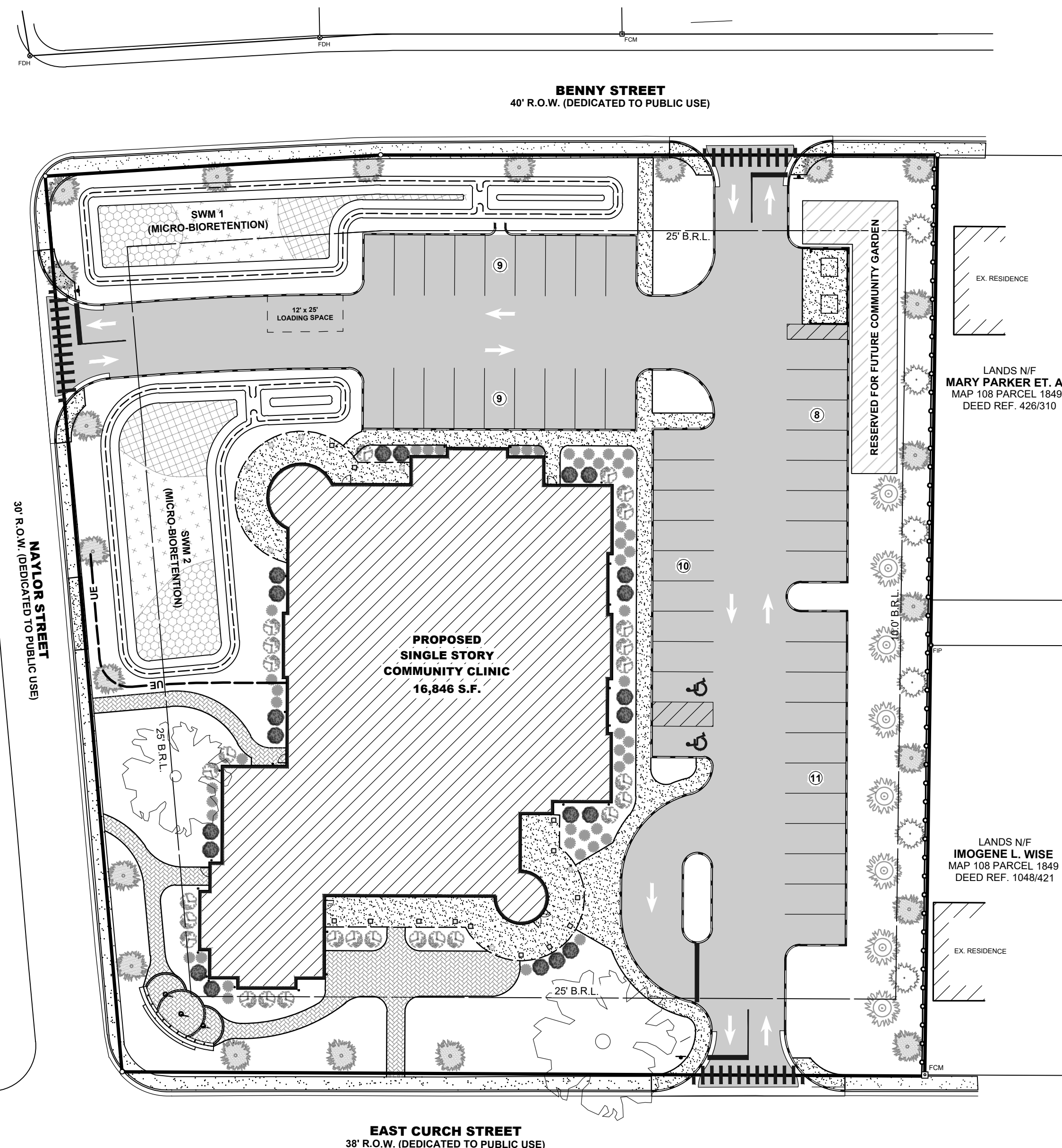
DISCREPANCIES

- THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE CITY REPRESENTATIVE OR THE CONSULTANT OF ANY DISCREPANCIES IN THE DRAWINGS AND EXISTING CONDITIONS.
- ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY.
- THE CITY REPRESENTATIVE OR THE CONSULTANT WILL REVIEW THE CONTRACTOR'S FINDING TO CONFIRM THE DISCREPANCY.
- THE CITY REPRESENTATIVE OR THE CONSULTANT WITH SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT APPROVAL WILL ISSUE NEW INSTRUCTIONS AS SOON AS POSSIBLE TO RELIEVE THE DISCREPANCY.
- THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY BEFORE START OF WORK OR CONTINUATION AFTER THE DISCREPANCY ARISES.

CITY OF SALISBURY - UTILITY CONSTRUCTION NOTES :

- THE OWNER/DEVELOPER SHALL USE A CONTRACTOR/SUBCONTRACTOR CURRENTLY APPROVED BY THE CITY OF SALISBURY FOR CONSTRUCTION OF THE PARTICULAR TYPE OF IMPROVEMENT. PAYMENT TO THE CONTRACTOR SHALL BE THE OWNER'S/DEVELOPER'S RESPONSIBILITY. THE CITY OF SALISBURY MAY SUSPEND OR CANCEL CONSTRUCTION WHEN THE CONTRACTOR DOES NOT PROGRESS IN A CONTINUOUS MANNER AND/OR THE CONSTRUCTION METHOD OR MATERIALS SUPPLIED ARE LESS THAN THE STANDARD SET FORTH IN THE "CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION" OR WHEN THE CONTRACTOR IS IN COMPLIANCE WITH THE PUBLIC WORKS AGREEMENT AND RELATED RESPONSIBILITIES CONTAINED THEREIN. THE TYPE AND QUANTITY OF MATERIAL TESTING WILL BE DETERMINED BY THE CITY OF SALISBURY FIELD INSPECTOR DURING CONSTRUCTION, AS DESCRIBED IN THE CONSTRUCTION/MATERIAL SPECIFICATIONS. TESTING COSTS SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
- THE APPROVED UTILITY CONTRACTOR'S FIELD REPRESENTATIVE SHALL BE REQUIRED TO FOLLOW AND HAVE AN APPROVED, SIGNED COPY OF THE UTILITY DRAWINGS, THE LATEST REVISION OF THE CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATION FOR UTILITY AND ROADWAY CONSTRUCTION AND THE CONSTRUCTION STANDARDS, (STANDARD DETAILS) MANUALS AT THE CONSTRUCTION AREA DURING WORKING HOURS.
- ALL CONSTRUCTION WITHIN CITY RIGHT OF WAYS AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL ELEVATIONS AGAINST A PREVIOUSLY CONSTRUCTED POINT OF KNOWN ELEVATION BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777, THREE (3) DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- DURING THE PROGRESS OF THE JOB, THE CONTRACTOR SHALL KEEP A CAREFUL RECORD AT THE JOB SITE OF ALL CHANGES AND CORRECTIONS TO THE INFORMATION SHOWN ON THE CONTRACT DRAWING(S) AND THE STORMWATER MANAGEMENT PLAN DRAWING(S). PRIOR TO BACKFILL, THE CONTRACTOR SHALL ENTER SUCH CHANGES AND CORRECTIONS ON ONE SET OF RED LINE AS BUILT DRAWINGS. THE RED LINE AS BUILT DRAWINGS SHALL INDICATE, IN ADDITION TO ALL CHANGES AND CORRECTIONS, ALL SUBSURFACE STRUCTURES/UTILITIES INSTALLED OR UNCOVERED, REFERENCED TO TWO PERMANENTLY FIXED SURFACE STRUCTURES. PRIOR TO TESTING OF THE UTILITY UTILITIES AND ACCEPTANCE OF THE SWM FACILITIES INVOLVED UNDER THE CONTRACT, THE CONTRACTOR SHALL SUBMIT, CONCURRENTLY, TO THE OWNER ONE SET OF RED LINE AS BUILT DRAWINGS SHOWING THE AFORESAID DATA AND ONE COPY OF THE RED LINE AS BUILT DRAWINGS TO SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. SHOULD THE CONTRACTOR FAIL TO MAINTAIN RED LINE AS BUILT DRAWINGS(S), THE OWNER MAY BE REQUIRED TO HIRE A PRIVATE LOCATOR AND MAY BE REQUIRED TO TEST THE MAINS AT THE DISCRETION OF THE CITY ENGINEER. PARTIAL ACCEPTANCE OF THE PUBLIC UTILITIES AND ACCEPTANCE OF THE STORMWATER MANAGEMENT FACILITY MAY BE DELAYED PENDING RECEIPT OF THIS INFORMATION.
- SEWER MAINS TO BE SDR-35 PVC.
- SANITARY SEWER MANHOLES SHALL CONFORM TO CITY STD. NO. 400.13.
- ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE MANHOLE LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE MANHOLE LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND MANHOLE IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.
- FOR INSPECTION OF PRIVATE SEWER MAINS AND FOR ABANDONMENT OF EXISTING SEWER SERVICES, CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR REQUIREMENTS, AND TO COORDINATE THE WORK AND INSPECTION.
- MAINTAIN 42" OF COVER OVER ALL NEW WATER MAINS.
- FIRE HYDRANTS AND VALVES SHALL CONFORM TO CITY STD. NO. 300.55.
- BLOW OFF HYDRANTS SHALL CONFORM TO CITY STD. NO. 300.51.
- WATER MAINS TO BE C900 PVC.
- DUCTILE IRON MECHANICAL JOINT FITTINGS PER CITY'S CONSTRUCTION AND MATERIALS SPECIFICATION SHALL BE USED TO RESTRAIN ALL WATER MAIN JOINTS.
- #12 SOLID COATED COPPER TRACER WIRE TO BE USED ON ALL CITY WATER MAINS PER CITY STD. NO. 300.55.
- ALL VALVE BOXES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE VALVE BOX LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE VALVE BOX LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.
- WATER METERS AND ASSOCIATED VAULTS SHALL NOT BE LOCATED IN DRIVEWAYS OR OTHER AREAS INTENDED FOR VEHICULAR TRAFFIC. ANY METER OR VAULT FOUND TO BE IN SUCH AN AREA AFTER PROJECT COMPLETION, SHALL BE RELOCATED TO A DID AND APPROVED LOCATION. THE OWNER SHALL BEAR ALL EXPENSE ASSOCIATED WITH THE RELOCATION INCLUDING BUT NOT LIMITED TO ADDITIONAL INSPECTION FEE, WATER MAIN TAPS, PAVEMENT, CURB, GUTTER, AND/OR SIDEWALK RESTORATION, ANY RESETTING, AND ANY AND ALL ASSOCIATED APPURTENANCES.
- DEFLECT THE WATER MAIN AROUND OTHER UTILITIES PER CITY STD. NO. 300.42 AS NECESSARY TO AVOID CONFLICTS. MAINTAIN A MINIMUM OF 1' OF SEPARATION BETWEEN THE OUTSIDE EDGE OF PIPES. IF WATER MAINS ARE INSTALLED BEFORE ANY OTHER UTILITY IT WILL BE AT THE RISK OF THE CONTRACTOR.
- EXISTING WATER SERVICES THAT ARE TO BE ABANDONED/CAAPPED AT THE CORPORATION STOP ON THE MAIN PER SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT INSPECTOR'S REQUIREMENTS. IF THE SERVICE DOES NOT HAVE A CORPORATION STOP IT SHALL BE ABANDONED PER CITY'S INSPECTOR'S REQUIREMENTS.

TIDALHEALTH COMMUNITY CLINIC



SOILS LEGEND :

ENTIRE SITE: U8 - URBAN LAND-FORT MOTT COMPLEX
0 - 5 PERCENT SLOPES
HSG: A [100% OF SITE]

SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.

SITE DATA

- OWNER OF RECORD: TIDALHEALTH PENINSULA REGIONAL INC. 100 E. CARROLL ST. SALISBURY, MD 21801 CONTACT: BARRY PAYNE PHONE: 410-548-3248 EMAIL: BARRY.PAYNE@TIDALHEALTH.ORG
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC. 312 WEST MAIN STREET, SUITE 300 SALISBURY, MD 21801 CONTACT: KEVIN W. PARSONS PHONE: 410-546-9100 EMAIL: KPARSONS@BECKERMORGAN.COM
- TAX MAP REFERENCE: MAP 108 - GRID 3 - PARCEL 1848
- ZONING CLASSIFICATION: R-5A
- DEED SUMMARY: 5120/220
- PLAT REFERENCE: 161/1
- PRESENT USE: VACANT
- PROPOSED USE: INSTITUTIONAL / HOSPITAL / EMERGENCY ROOM
- TOTAL SITE AREA: 1.947 ACRES
- PROPOSED BUILDING AREA: 16,846 S.F.
- PARKING CALCULATIONS: MEDICAL CLINIC MAX ALLOWABLE: 1 SPACE PER 250 S.F. = 16,846/250 = 68 SPACES PROVIDED: 47 SPACES HANDICAP PARKING SPACES: 2 SPACES LOADING SPACE(S) REQUIRED/PROVIDED: 1/1
- SETBACKS: R-5A ZONING FRONT: 25' SIDE: 10' EACH BACK: 30'
- BUILDING HEIGHT: PERMITTED: 40' PROPOSED: 39.5'
- SOURCE OF WATER: CITY OF SALISBURY
- SOURCE OF SEWER: CITY OF SALISBURY
- SOURCE OF GAS: CHESAPEAKE UTILITIES
- SOURCE OF ELECTRIC: DELMARVA POWER
- SURVEY BENCHMARK: NGS BENCHMARK: EAST SCHOOL VERTICAL: NAVD 89 HORIZONTAL: NAV 83/2011
- FLOOD ZONE: SITE IS LOCATED WITHIN FLOOD ZONE "X", AN AREA OF MINIMAL FLOOD HAZARD, PER FEMA FIRMETTE 24045C0252E, WITH AN EFFECTIVE DATE OF 08/17/2015

SHEET INDEX

- C-001 COVER SHEET
- C-101 EXISTING CONDITION / DEMOLITION PLAN
- C-201 SITE & LAYOUT PLAN
- C-301 UTILITY PLAN
- C-401 GRADING PLAN
- C-501 EROSION & SEDIMENT CONTROL PLAN
- C-502 EROSION & SEDIMENT CONTROL DETAILS
- C-901 CONSTRUCTION DETAILS
- L-101 LANDSCAPING PLAN
- SWM-1 PRE-DEVELOPED DRAINAGE AREA MAP
- SWM-2 POST-DEVELOPED DRAINAGE AREA MAP

GENERAL NOTES :

- BOUNDARY AND TOPOGRAPHIC SURVEY DATA SHOWN WAS PREPARED BY BECKER MORGAN GROUP, SALISBURY, MD., IN APRIL OF 2023. VERTICAL DATUM IS BASED ON NAVD 89. HORIZONTAL DATUM IS BASED ON MARYLAND STATE PLANE NAVD 83 (2011).
- PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- THIS SITE IS LOCATED WITHIN FLOOD ZONE X - AREAS OF MINIMAL FLOOD HAZARD BASED ON FEMA MAP 24045C0252E, PANEL, DATED AUGUST 17, 2015.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE MARYLAND STATE FIRE PREVENTION REGULATIONS.
- CONTRACTOR TO REPAIR ANY AND ALL EXISTING SIDEWALK AND/OR CURB DAMAGED DURING CONSTRUCTION TO ITS EXISTING CONDITION.

AREA TABULATION

TOTAL PARCEL AREA:	1.947 ACRES
TOTAL OPEN SPACE AREA:	0.800 ACRES (41.09%)
BUILDING AREA (FOOTPRINT):	16,846 S.F. (0.38 ACRES)
PARKING/DRIVE AISLE AREA:	23,909 S.F. (0.55 ACRES)

LEGEND

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER	[Symbol]	[Symbol]	SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	EX. 10" S	10" S
CONCRETE SIDEWALK, SLAB / PAVING	[Symbol]	[Symbol]	SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	EX. 10" F.M.	12" F.M.
IMPERVIOUS SURFACED DRIVE, ROAD, OR LOT	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE (S.M.H.)	[Symbol]	[Symbol]
INDIVIDUAL TREE OR BUSH	[Symbol]	N/A	SANITARY SEWER CLEANOUT	EX. 10" W	12" W
WIRE FENCE	[Symbol]	[Symbol]	FIRE HYDRANT	[Symbol]	[Symbol]
CHAINLINK FENCE	[Symbol]	[Symbol]	WATER VALVE (W.V.) OR METER (W.M.)	W.M. W.V.	W.M. W.V.
STOCKADE FENCE	[Symbol]	[Symbol]	STORM DRAIN MANHOLE (S.D.M.H.)	[Symbol]	[Symbol]
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	[Symbol]	[Symbol]	STORM DRAIN LINE (CMP OR RCP)	[Symbol]	[Symbol]
DRAINAGE DITCH OR SWALE	[Symbol]	[Symbol]	CATCH BASIN	[Symbol]	[Symbol]
EMBANKMENT/SIDEPOLES (DOWN)	[Symbol]	[Symbol]	UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]	UNDERGROUND ELECTRIC	U.E.	U.E.
ELEVATION SPOT SHOT	[Symbol]	[Symbol]	UNDERGROUND TELEPHONE	U.T.	U.T.
BENCH MARK	[Symbol]	[Symbol]	UNDERGROUND GAS MAIN	EX. 2" G	2" G
PROPERTY OR RIGHT-OF-WAY LINE	[Symbol]	[Symbol]	PAVEMENT TO BE REMOVED	[Symbol]	[Symbol]
CENTERLINE	[Symbol]	[Symbol]			
RIGHT POLE	[Symbol]	[Symbol]			
CONSTRUCTION NOTE	[Symbol]	[Symbol]			

CITY OF SALISBURY CERTIFICATION

APPROVED: _____ CITY PROJECT: _____
CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT

RICHARD D. BALDWIN DIRECTOR DATE _____

OWNERS CERTIFICATION

WE, TIDALHEALTH PENINSULA REGIONAL INC., HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE _____ DATE _____

SURVEYORS CERTIFICATION

I, KEVIN W. PARSONS, HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF MARYLAND.

BY: _____ SUPERVISOR
DATE: _____

THE APPROVAL OF THE WICOMICO SOIL CONSERVATION DISTRICT DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO EFFECTIVELY ABATE SEDIMENT POLLUTION OR TO COMPLY WITH ALL OTHER APPLICABLE STATE AND LOCAL LAWS.

KEVIN W. PARSONS P.L.S. NO. 21233 DATE _____

BECKER MORGAN GROUP

ARCHITECTURE ENGINEERING

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309 South Governors Avenue
Dover, DE 19904
302.734.7950

The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713
302.369.3700

Maryland
312 West Main Street, Suite 300
Salisbury, MD 21801
410.546.9100

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600

www.beckermorgan.com

STATE OF MARYLAND PROFESSIONAL LAND SURVEYOR

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 21233
EXPIRATION DATE: 02/02/25

PROJECT TITLE

TIDALHEALTH COMMUNITY CLINIC

805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE

COVER SHEET & OVERALL SITE PLAN

SCALE: 1" = 30'

ISSUE BLOCK

DATE	DESCRIPTION
11/01/2023	PROJECT NO.: 2020019.18
	DATE: 11/01/2023
	SCALE: 1" = 30'
	DRAWN BY: EMS PROJ. MGR.: KWP
	SHEET
	C-001
	COPYRIGHT: 2023

ATTACHMENT 4



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 21233
EXPIRATION DATE: 02/02/25

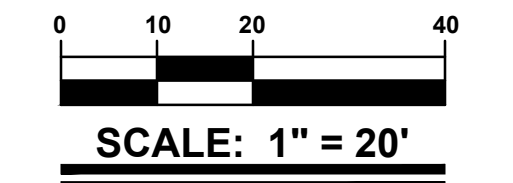
PROJECT TITLE

TIDALHEALTH COMMUNITY CLINIC

805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE

EXISTING CONDITIONS AND DEMOLITION PLANS



ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18

DATE: 11/01/2023

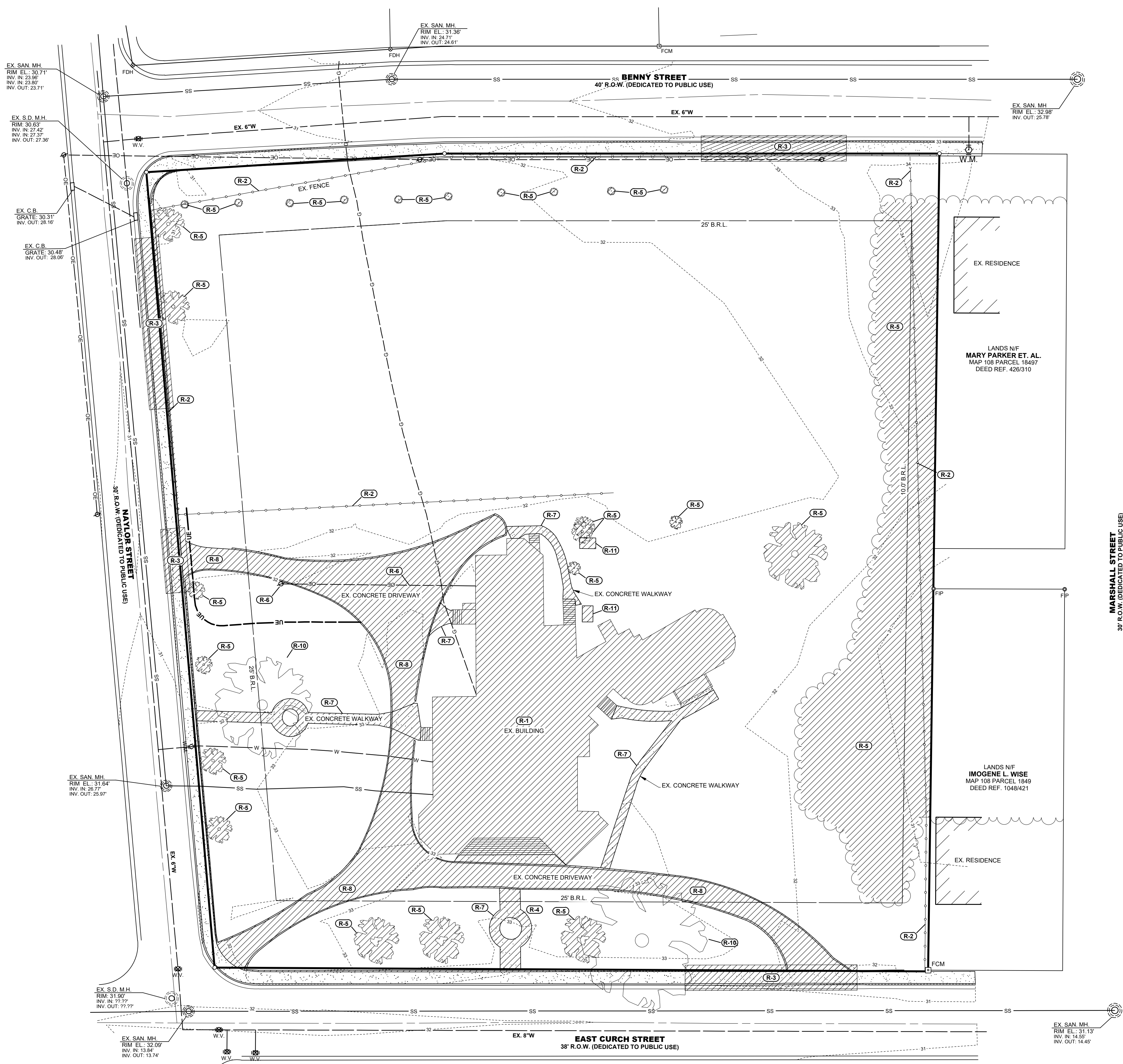
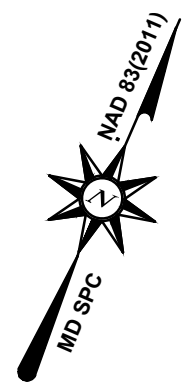
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DRAWN BY: EMS PROJ. MGR.: KWP

SHEET

C-101

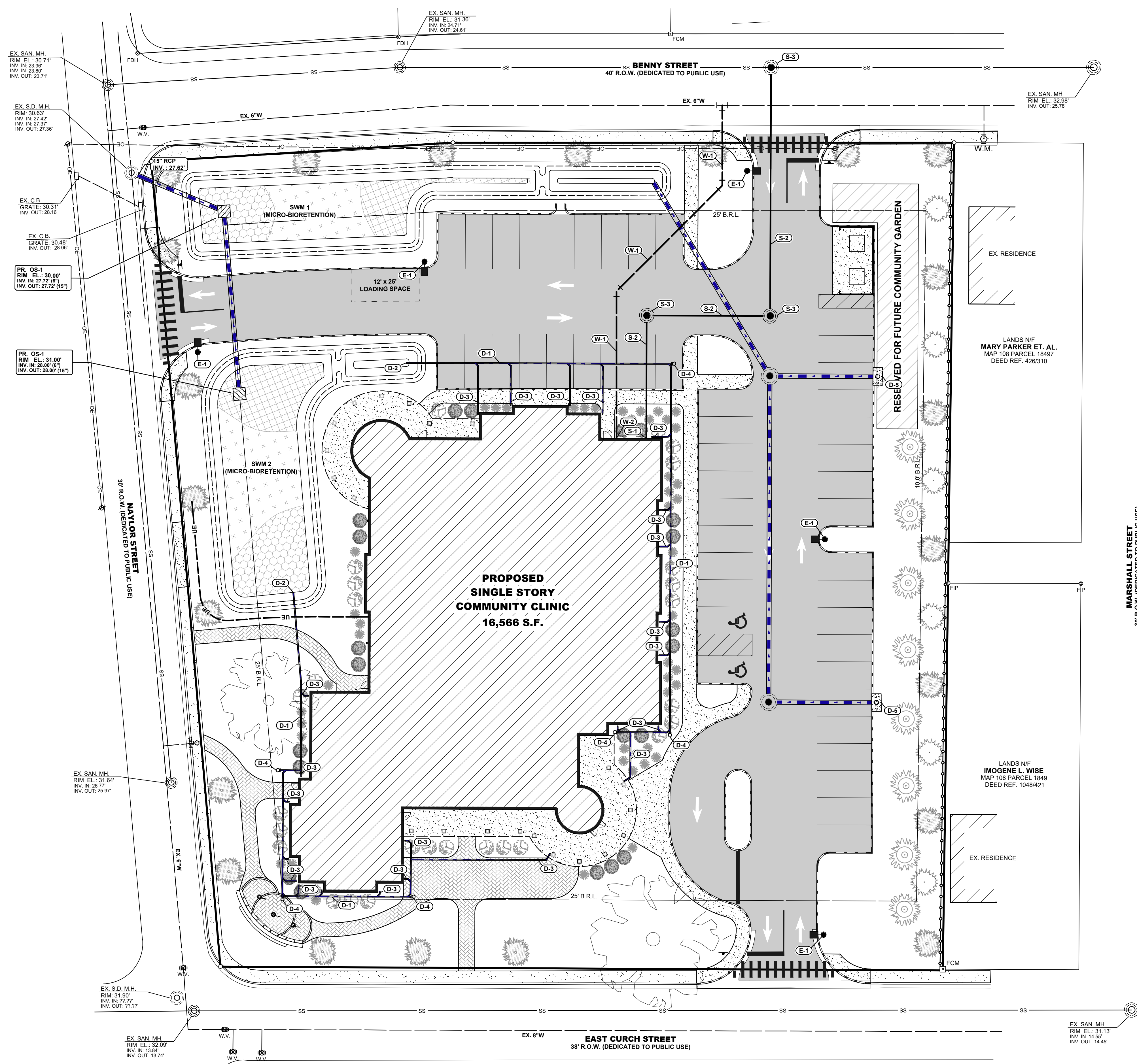
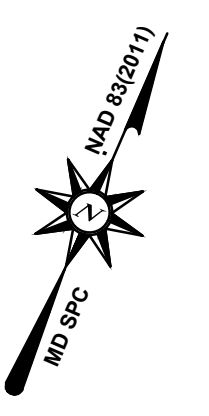
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EXISTING IMPERVIOUS AREA

TOTAL AREA:	1.947 ACRES
IMPERVIOUS AREA:	0.324 ACRES
PERCENT IMPERVIOUS:	16.64%

- DEMOLITION CONSTRUCTION NOTES**
- R-1** DEMOLISH AND REMOVE EXISTING BUILDING IN ITS ENTIRETY IN ACCORDANCE WITH ALL PERMIT SPECIFICATIONS AND REQUIREMENTS.
 - R-2** DEMOLISH AND REMOVE ALL EXISTING FENCE.
 - R-3** CONTRACTOR SHALL REMOVE EXISTING CONCRETE CURB, SIDEWALK AND, PAVING TO EXTENT SHOWN. A MINIMUM OF 2' WIDTH OF PAVING WILL NEED TO BE REMOVED. SEE SHEET C-201 FOR EXTENT OF NEW CONSTRUCTION.
 - R-4** DEMOLISH AND REMOVE EXISTING FLAG POLE.
 - R-5** CONTRACTOR SHALL CLEAR AND REMOVE EXISTING TREES, SHRUBS AND PLANTINGS AS SHOWN.
 - R-6** DEMOLISH AND REMOVE OF OVERHEAD ELECTRIC EQUIPMENT, LINES AND POLES TO BE COORDINATED WITH DELMARVA POWER CONTRACTOR TO CONFIRM EQUIPMENT IS SHUT OFF AND NOT IN USE PRIOR TO DEMOLISH/REMOVAL.
 - R-7** DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK.
 - R-8** DEMOLISH AND REMOVE CONCRETE DRIVE AND CURBING.
 - R-9** SAW-CUT EXISTING PAVEMENT FOR FULL DEPTH REMOVAL/REPLACEMENT.
 - R-10** INSTALL TREE PROTECTION
 - R-11** UNDERGROUND STORAGE TANKS TO BE LOCATED AND REMOVED AND ENVIRONMENTAL REMEDIATION TO BE COMPLETED.



- SANITARY SEWER CONSTRUCTION NOTES**
- S-1 CONNECT TO INTERNAL SANITARY SYSTEMS. SEE MEP PLANS FOR DETAILS.
 - S-2 INSTALL 6" SDR-35 PVC SANITARY SEWER LATERAL PER CITY OF SALISBURY STANDARD DETAIL 400.42.
 - S-3 PROPOSED SANITARY SEWER MANHOLE PER CITY OF SALISBURY STANDARD DETAIL 400.13.
- STORM SEWER CONSTRUCTION NOTES**
- D-1 INSTALL SDR-35 PVC TRUNK LINE FOR CANOPY/ROOF DRAINS.
 - D-2 INSTALL MITERED DRAIN W/ RODENT SCREENING AT DOWNSTREAM END OF PIPE.
 - D-3 INSTALL 6" SDR-35 DOWNSPOUT CONNECTIONS. SEE MEP PLANS FOR VERTICAL CONNECTIONS.
 - D-4 INSTALL CLEANOUT AT END OF PIPE RUN W/ TRAFFIC RATED CAP FLUSH WITH FINISHED PAVING.
 - D-5 PRECAST A-1 INLET TO BE INSTALLED PER CITY OF SALISBURY UTILITY STANDARD 500.45.
- DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**
- W-1 PROPOSED 6" WATER SERVICE PER CITY OF SALISBURY STANDARD DETAIL 300.26.
 - W-2 CONNECT TO INTERNAL WATER SYSTEMS. SEE MEP PLANS FOR DETAILS.
- ELECTRICAL SYSTEM CONSTRUCTION NOTES**
- E-1 PROPOSED SITE POLE LIGHT, DIRECT BURY BRONZE POLE WITH LUMARK #LAS45S-T3 BRONZE 450 WATT EQUIVALENT LED AREA LIGHT. POLE HEIGHT SHALL BE 20'.
- SITE LIGHTING NOTES**
1. SITE LIGHTING SHALL BE PROVIDED PER CITY OF SALISBURY STANDARDS.
 2. DURING PRELIMINARY AND FINAL REVIEW PROCESSES WITH THE CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, A PHOTOMETRIC PLAN SHALL BE PROVIDED TO INCLUDE LIGHT COVERAGE.

BECKER MORGAN GROUP

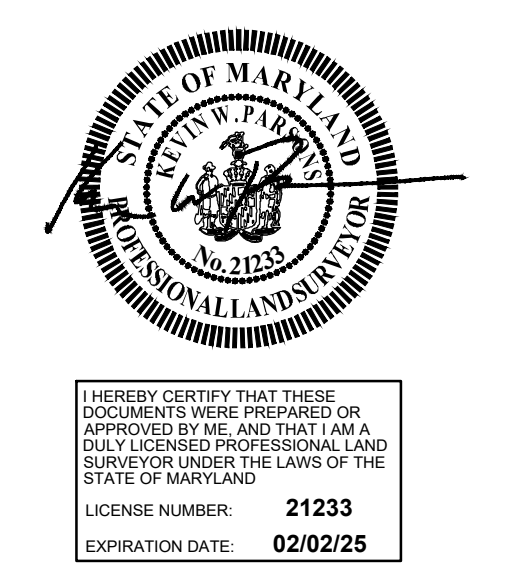
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410.546.9100

North Carolina
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910.341.7600

www.beckermorgan.com



PROJECT TITLE

TIDALHEALTH COMMUNITY CLINIC

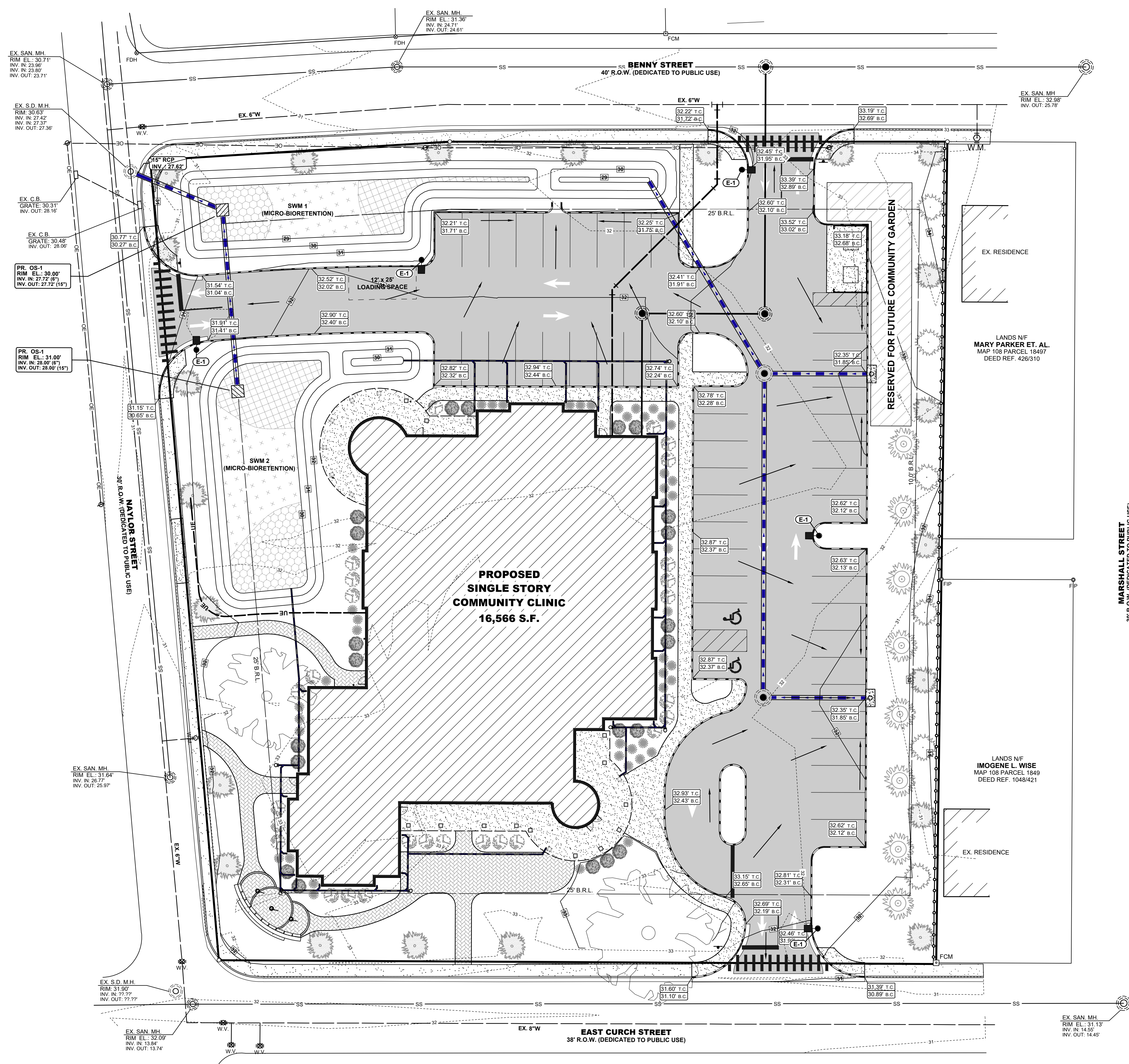
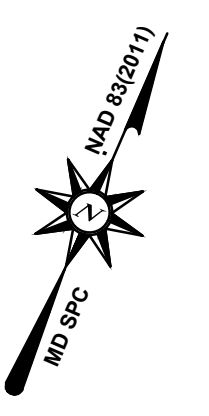
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WICOMICO COUNTY, MD.

SHEET TITLE

UTILITY PLAN

0 10 20 40
SCALE: 1" = 20'

DATE	DESCRIPTION
11/01/2023	PROJECT NO.: 2020019.18
	DATE: 11/01/2023
	SCALE: 1" = 20'
	DRAWN BY: EMS PROJ. MGR.: KWP
	SHEET
	C-301
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**PROPOSED
SINGLE STORY
COMMUNITY CLINIC
16,566 S.F.**



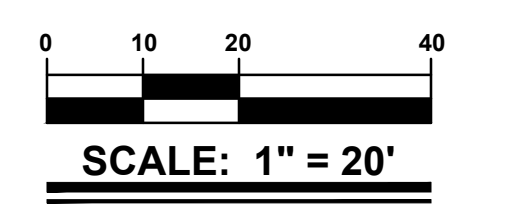
**ARCHITECTURE
ENGINEERING**
Delaware
309 South Governors Avenue
Dover, DE 19904
302.734.7950
The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713
302.369.3700
Maryland
312 West Main Street, Suite 300
Salisbury, MD 21801
410.546.9100
North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
www.beckermorgan.com



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER: 21233
EXPIRATION DATE: 02/02/25

PROJECT TITLE
**TIDALHEALTH
COMMUNITY
CLINIC**
805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE
GRADING PLAN



DATE	DESCRIPTION

ISSUE BLOCK
PROJECT NO.: 2020019.18
DATE: 11/01/2023
SCALE: 1" = 20'
DRAWN BY: EMS | PROJ. MGR.: KWP

C-401
SHEET



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LICENSE NUMBER: 21233
EXPIRATION DATE: 02/02/25

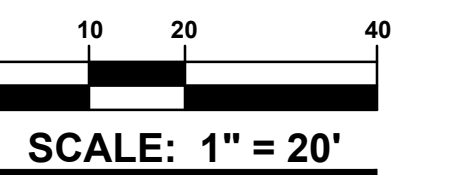
PROJECT TITLE

TIDALHEALTH COMMUNITY CLINIC

805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN DEMOLITION & BUILDING PAD ONLY



ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18

DATE: 11/01/2023

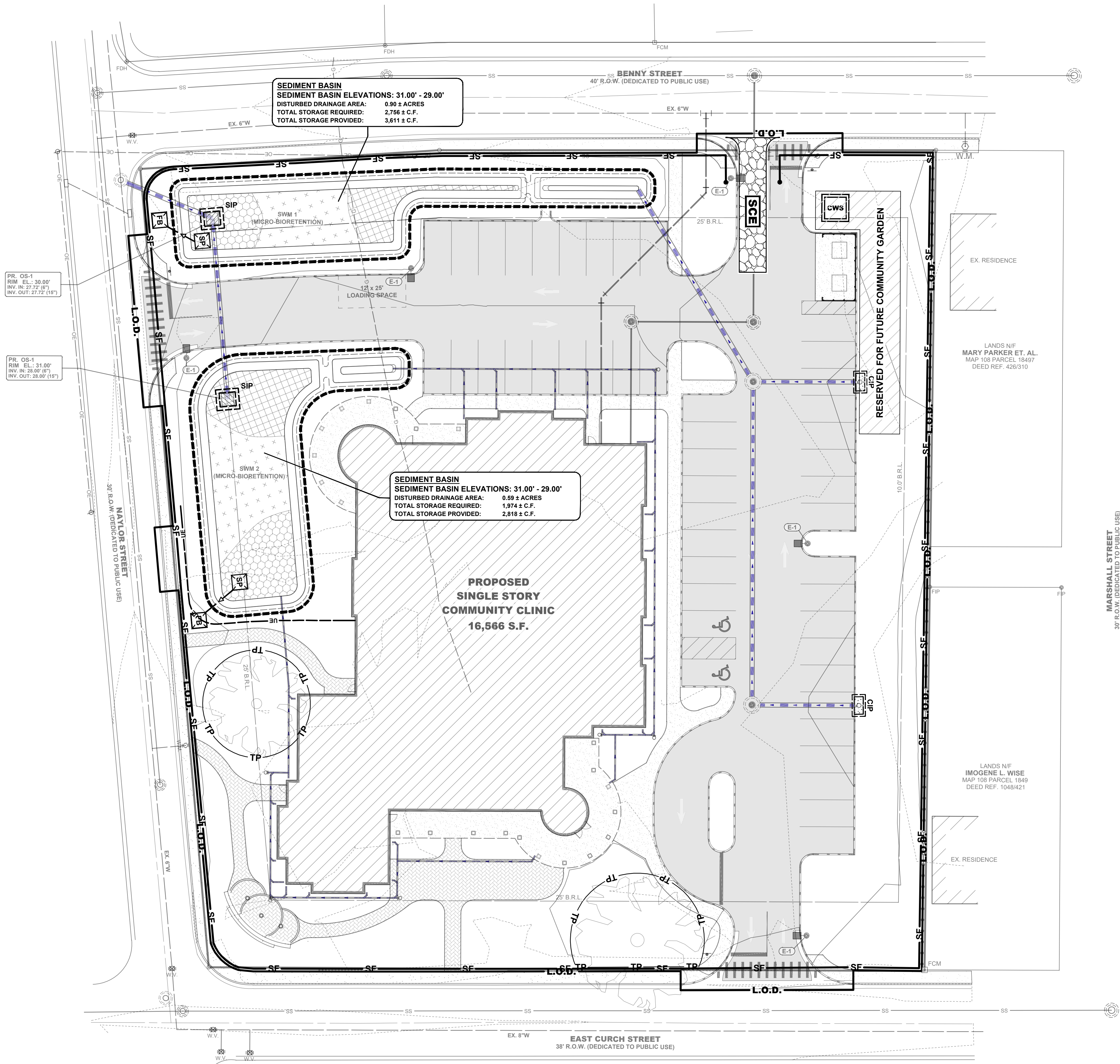
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C-501

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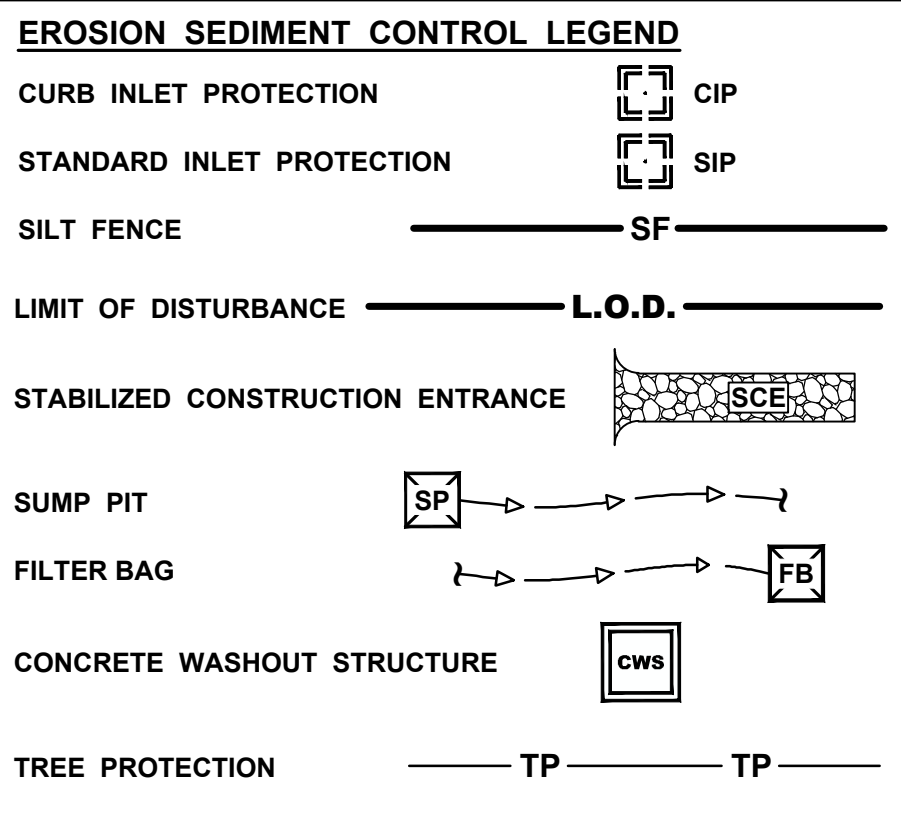


SEDIMENT BASIN
SEDIMENT BASIN ELEVATIONS: 31.00' - 29.00'
DISTURBED DRAINAGE AREA: 0.90 ± ACRES
TOTAL STORAGE REQUIRED: 2,756 ± C.F.
TOTAL STORAGE PROVIDED: 3,611 ± C.F.

SEDIMENT BASIN
SEDIMENT BASIN ELEVATIONS: 31.00' - 29.00'
DISTURBED DRAINAGE AREA: 0.89 ± ACRES
TOTAL STORAGE REQUIRED: 1,974 ± C.F.
TOTAL STORAGE PROVIDED: 2,818 ± C.F.

PROPOSED SINGLE STORY COMMUNITY CLINIC
16,566 S.F.

- SEQUENCE OF CONSTRUCTION**
1. CONTRACTOR TO OBTAIN ALL CITY, COUNTY, AND STATE PERMITS.
 2. NOTIFY MDE AT 1-410-901-4020 TWO WEEKS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
 3. NOTIFY THE WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS STORMWATER MANAGEMENT INSPECTOR AT 1-410-548-4875 EXT. 29, A MINIMUM OF 5 DAYS IN ADVANCE OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
 4. CLEAR AND GRUB THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION & SEDIMENT CONTROLS. LIMITS OF DISTURBANCE ARE DENOTED BY THE SILT FENCE / LIMIT OF DISTURBANCE LINE (SF/LOD). NOTE THAT SILT FENCE / LIMIT OF DISTURBANCE LINES ARE SHOWN OUT OF POSITION FOR CLARITY, AND ARE INTENDED TO FOLLOW THE PROPERTY LINES AND EDGE OF CURB AS NEEDED.
 5. INSTALL SEDIMENT CONTROLS INCLUDING STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AT GRADE INLET PROTECTION, ETC. AS INDICATED ON PLAN.
 6. NOTIFY MDE THAT SEDIMENT CONTROLS ARE IN PLACE.
 7. CONTRACTOR SHALL UTILIZE SUMP PIT AND FILTER BAG WHERE NECESSARY FOR DEWATERING THROUGHOUT CONSTRUCTION.
 8. COMPLETE SITE DEMOLITION. CONTRACTOR SHALL TAKE NECESSARY CARE TO PRESERVE AREAS TO BE USED IN STORMWATER TREATMENT AND CONTROL. CONSTRUCTION TRAFFIC SHALL BE PROHIBITED IN THESE AREAS TO MAINTAIN THE EXISTING SOIL CHARACTERISTICS IN ADVANCE OF INSTALLATION OF SWM PRACTICES.
 9. INSTALL SEDIMENT TRAPS AS SHOWN ON PLANS.
 10. CLEAR, GRUB AND ROUGH GRADE PROPOSED BUILDING PAD, ROADWAYS, PARKING AREAS, ETC. INSTALL PROPOSED STORM DRAINAGE SYSTEM WITH INLET PROTECTION. NOTE: INLET PROTECTION IS INTENDED TO MINIMIZE SEDIMENT WITHIN PIPES AND IS NOT A SEDIMENT TRAP. INSTALL ROCK OUTLET PROTECTION IMMEDIATELY UPON INSTALLATION OF OUTLET PIPES.
 11. FINALIZE CONSTRUCTION OF BUILDING, PARKING LOT, DRIVE AISLES, ETC. PER PLAN.
 12. PERFORM FINAL GRADING, SITE STABILIZATION, ETC.
 13. INSTALL PROPOSED STORMWATER MANAGEMENT BIO-RETENTION AREAS, LANDSCAPING, ETC.
 14. WITH THE COMPLETION OF THE PROJECT AND SITE STABILIZATION, FLUSH THE STORM DRAIN PIPES TO REMOVE ANY ACCUMULATED SEDIMENT.
 15. CONTRACTOR TO CONTACT MDE AT 410-901-4020 PRIOR TO REMOVING EROSION AND SEDIMENT CONTROL MEASURES.

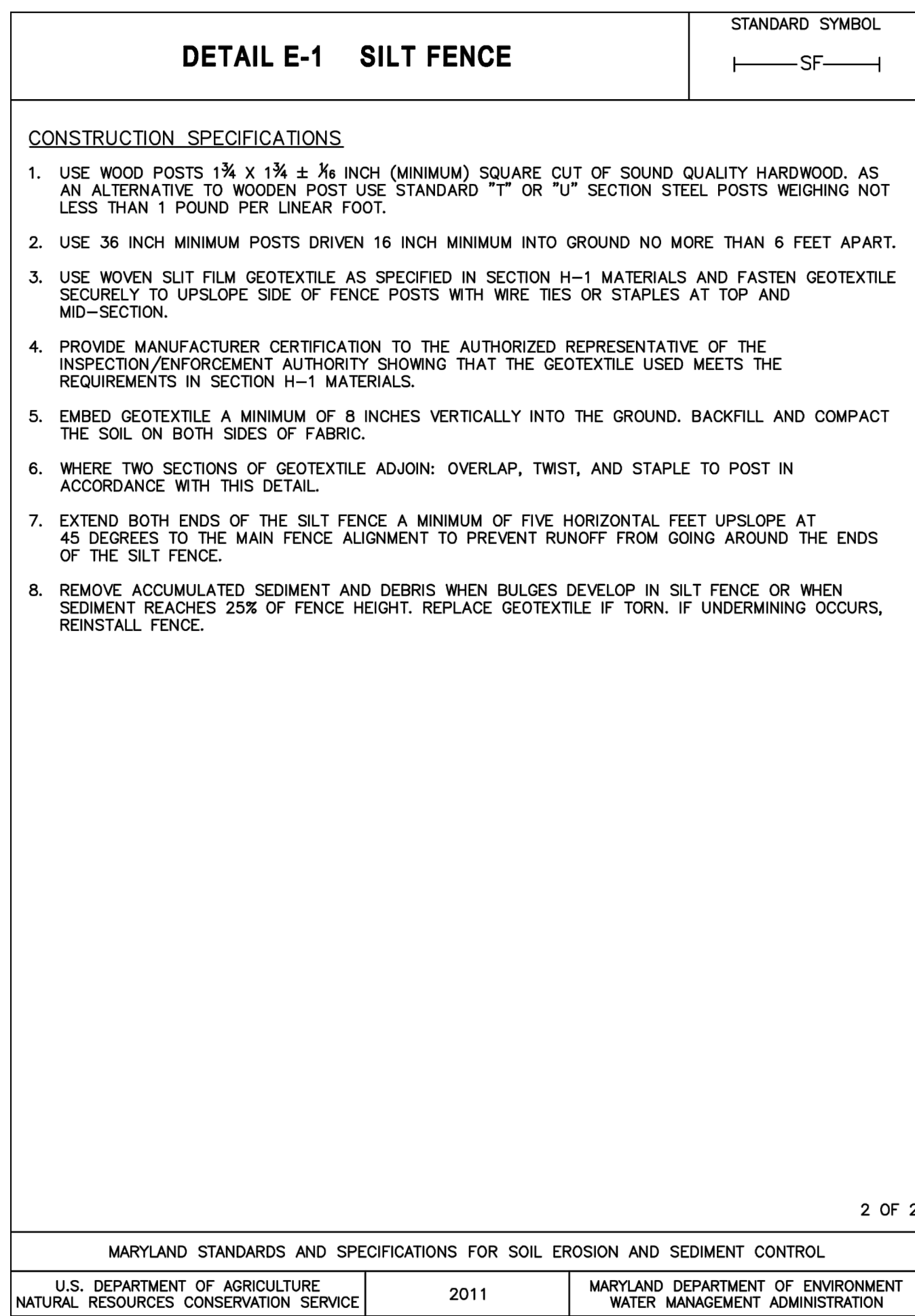
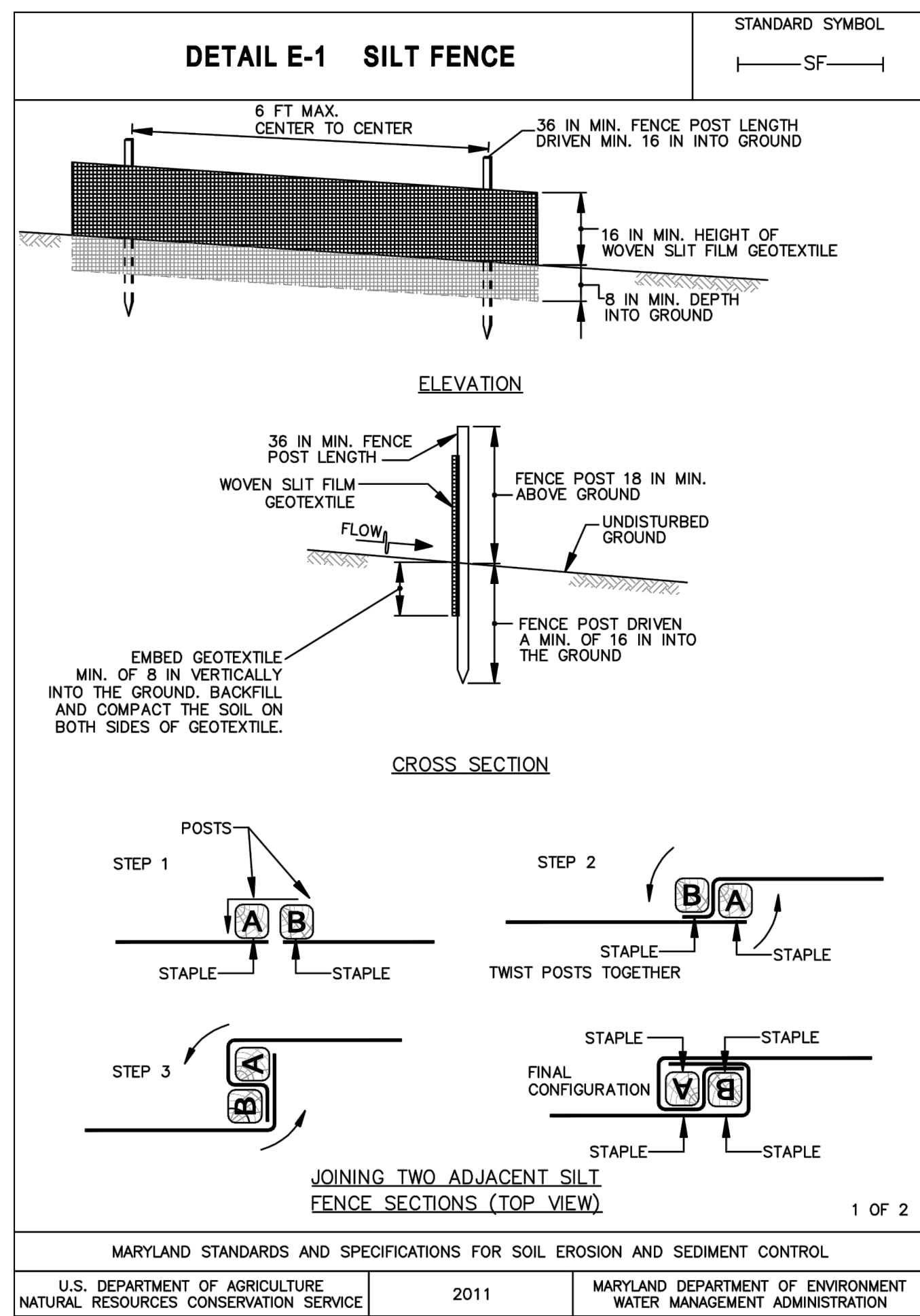
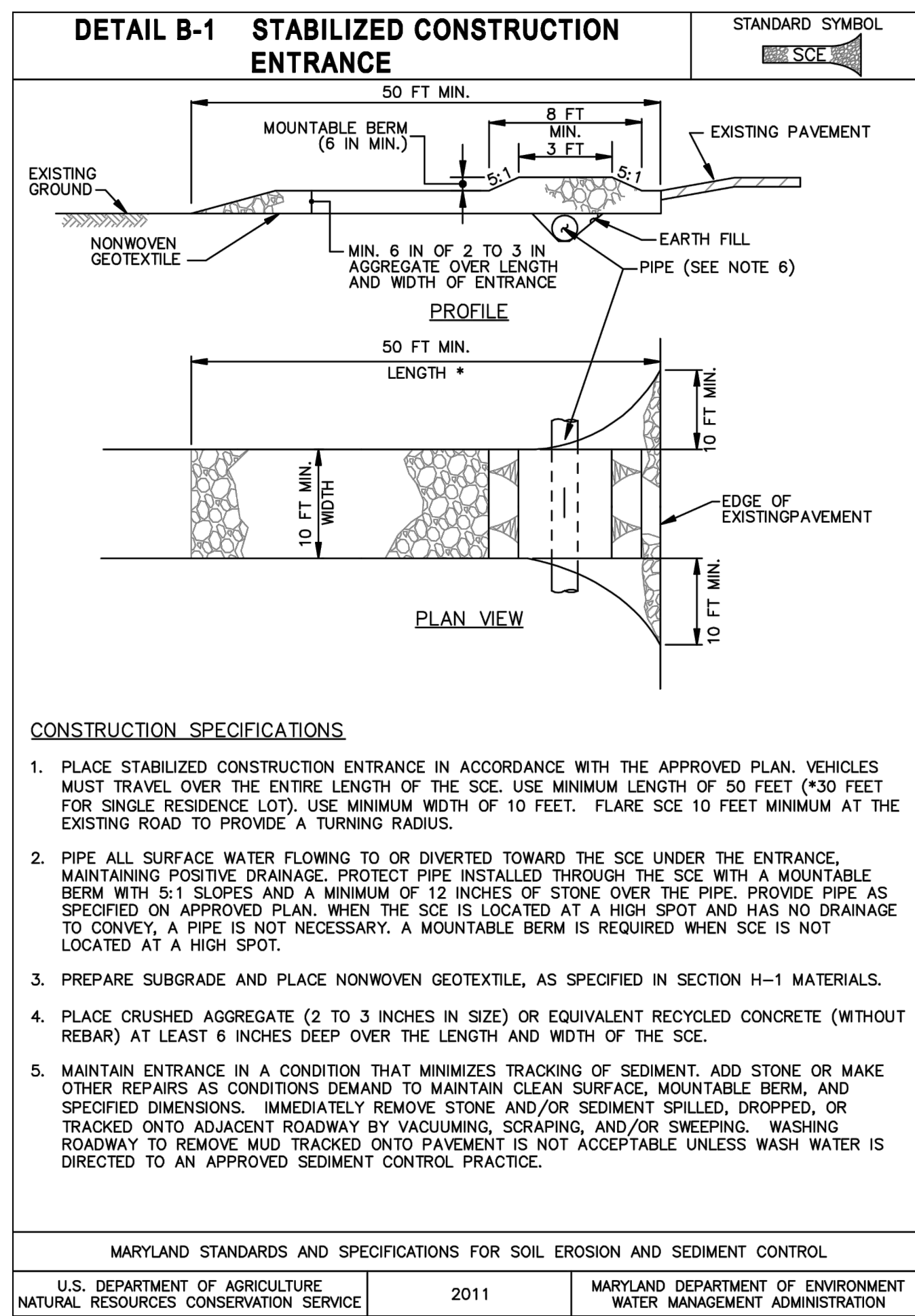


SOILS LEGEND:
ENTIRE SITE: U5B - URBAN LAND-FORT MOTT COMPLEX
0 - 5 PERCENT SLOPES
HSG: A [100% OF SITE]
SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.

OWNERS CERTIFICATION

I, WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT, WILL BE DONE PURSUANT TO THIS PLAN AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF TRAINING AT A DEPARTMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE _____ DATE _____



EROSION & SEDIMENT CONTROL NOTES:

- PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO OBTAIN ME AND WICOMICO SOIL CONSERVATION DISTRICT APPROVAL OF ANY PROPOSED PLAN CHANGES AND SEQUENCE OF CONSTRUCTION, SPECIFICALLY RELATING TO INSTALLATION, INSPECTION, MAINTENANCE AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER, OR WITH THE PERMISSION OF THE WICOMICO SEDIMENT CONTROL DISTRICT.
- WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO AN APPROVED SEDIMENT TRAPPING MEASURE PRIOR TO RELEASE FROM THE SITE.
- ALL TEMPORARY STOCKPILES ARE TO BE LOCATED WITHIN AREAS PROTECTED BY SEDIMENT CONTROL MEASURES, AND ARE TO BE TEMPORARILY STABILIZED.
- ALL SEDIMENT CONTROL DIKES, SWALES, BASINS AND FLOW LINES TO BASINS WILL BE TEMPORARILY SEEDED IMMEDIATELY UPON INSTALLATION TO REDUCE THE CONTRIBUTION TO SEDIMENT LOADING.
- DISPOSAL OF EXCESS EARTH MATERIALS ON STATE OR FEDERAL PROPERTY REQUIRES MDE APPROVAL. OTHERWISE MATERIALS ARE TO BE DISPOSED OF AT A LOCATION APPROVED BY THE LOCAL AUTHORITY.
- TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AS PER THE APPROVED PLAN PRIOR TO GRADING OPERATIONS. LOCATION ADJUSTMENTS ARE TO BE MADE IN THE FIELD AS NECESSARY. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMUM POSSIBLE TIME.
- IF GRADING IS COMPLETED OUT OF A SEEDING SEASON, GRADED AREAS ARE TO BE TEMPORARILY STABILIZED BY MULCH AND MULCH ANCHORING. MULCH MATERIAL SHALL BE UNWEATHERED, UNCHOPPED SMALL GRAIN STRAW SPREAD AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE. MULCH ANCHORING TO BE ACCOMPLISHED BY AN APPROVED METHOD. USE OF A MULCH ANCHORING TOOL IS RECOMMENDED WHERE POSSIBLE.
- IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN SHALL BE IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE APPROVED PLAN, AND ALL OTHER MEASURES NECESSARY TO CONTROL, FILTER, OR PREVENT SEDIMENT FROM LEAVING THE SITE.
- IN CASE WHERE STORMWATER MANAGEMENT STRUCTURES ARE A PART OF SITE DEVELOPMENT, REMOVAL OF SEDIMENT CONTROL STRUCTURES MAY NOT BE ACCOMPLISHED BEFORE THE CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT STRUCTURE IS STABILIZED. ALSO, PROPER DEWATERING OF THE SEDIMENT FROM THE SITE.
- ON SITES WHERE INFILTRATION TECHNIQUES ARE UTILIZED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT ALL RUNOFF FROM ENTERING THE STRUCTURE DURING CONSTRUCTION.
- SEDIMENT CONTROL FOR CONSTRUCTION IN AREAS OUTSIDE OF DESIGNED CONTROLS:
 - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY.
 - TEMPORARY SILT FENCE OR STRAW BALE DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE WORKING DAY.
 - REMOVE ONLY LENGTH OF SIDEWALK THAT CAN BE REPLACED DURING THE SAME WORKING DAY.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, DETAILS OF TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED AS FOLLOWS:
 - WITHIN THREE CALENDAR DAYS ON ALL SURFACES OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
 - WITHIN SEVEN DAYS FOLLOWING FINAL GRADING, ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT WILL BE PERMANENTLY STABILIZED BY SEEDING OR MULCH. PERMANENT MULCH CAN INCLUDE BUT IS NOT LIMITED TO STONE, GRAVEL, BLACKTOP, OR CONCRETE SURFACING.
- THE REQUIREMENTS OF SECTION B-4 (VEGETATIVE STABILIZATION) DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED OR TO INTERIOR AREAS OF A SURFACE MINE SITE WHERE THE STABILIZATION MATERIAL WOULD CONTAMINATE THE RECOVERABLE RESOURCE. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT THE STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- STABILIZATION OF ALL DISTURBED AREAS ARE TO MEET THE REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" - SECTION B-4 VEGETATIVE STABILIZATION.

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					436 lb/acre (10 lb/1000 sf)	2 ton/acre (90 lb/1000 sf)	
1	ANNUAL RYEGRASS	40	2/15 TO 4/30 8/15 TO 11/30	1/2"			

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
8	TALL FESCUE	100	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	TALL FESCUE	60	2/15 TO 4/30	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	40	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	HARD FESCUE PERENNIAL RYEGRASS	40	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)

17. THE OWNER/DEVELOPER OR REPRESENTATIVE IS TO CONTACT THE APPROPRIATE ENFORCEMENT AUTHORITY OR ITS AGENT AT THE FOLLOWING STAGES OF THE PROJECT:

- PRIOR TO THE START OF EARTH DISTURBANCE.
- UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
- PRIOR TO THE REMOVAL OF SEDIMENT CONTROL PRACTICES.

18. CONTRACTOR SHALL CONTACT THE SITE INSPECTOR FOR APPROVAL OF ANY MINOR REVISIONS TO THIS SITE PLAN A MINIMUM OF 5 DAYS PRIOR TO MAKING FIELD CHANGES. ANY MAJOR CHANGE TO THESE PLANS WILL REQUIRE REVISED DRAWINGS BE SUBMITTED AND APPROVED.

19. FOR DEWATERING SMALL TEMPORARY EXCAVATIONS, THE CONTRACTOR MAY OPT TO INSTALL EITHER A TEMPORARY PUMPING PIT AND STILLING BASIN OR USE A SILT BAG DEVICE TO REMOVE SEDIMENTS FROM THE PUMPED WATER.

20. SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS SHALL BE IN ACCORDANCE WITH SECTION B-4.2 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".

21. DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SECTION H-5 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".

22. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL".

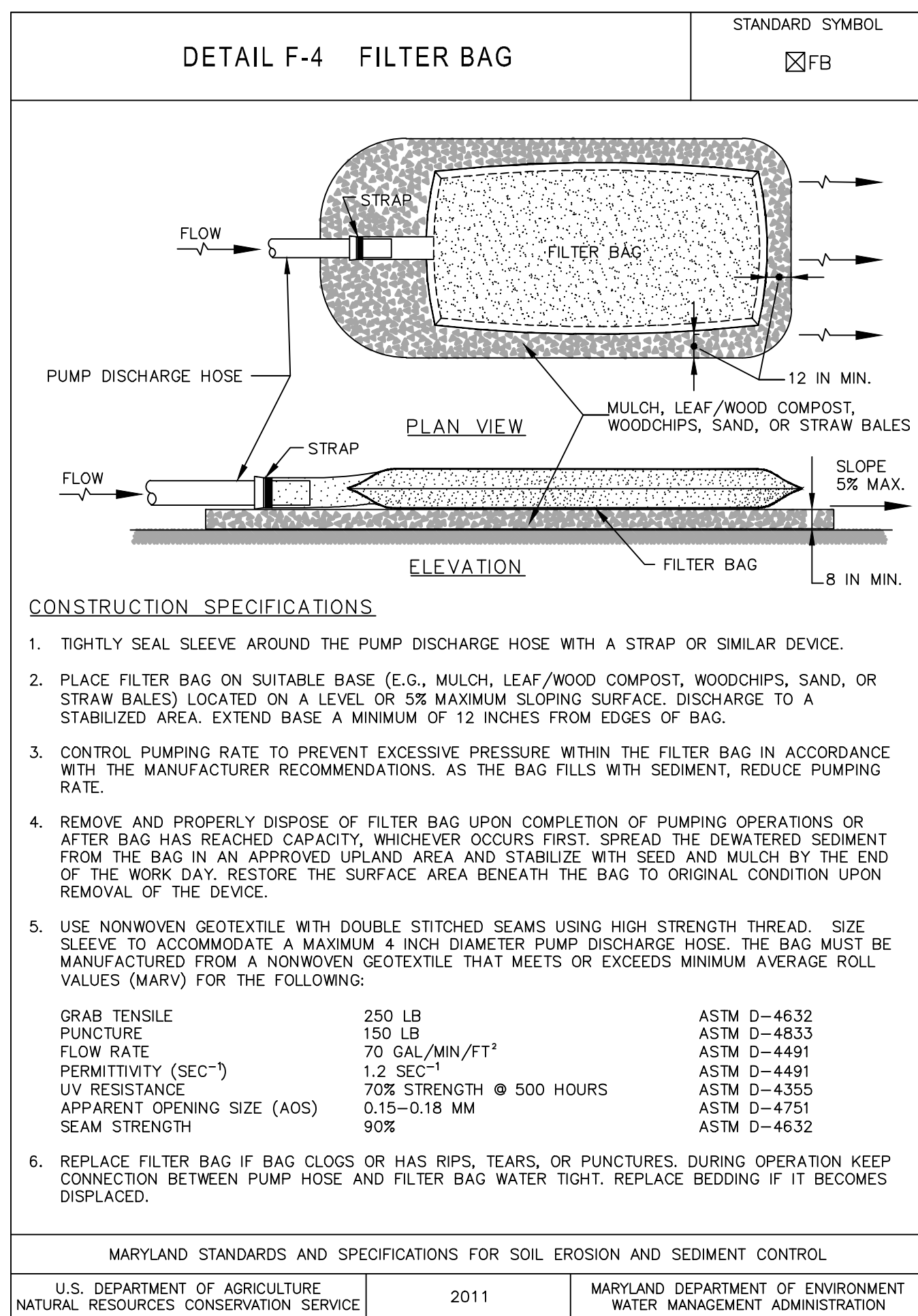
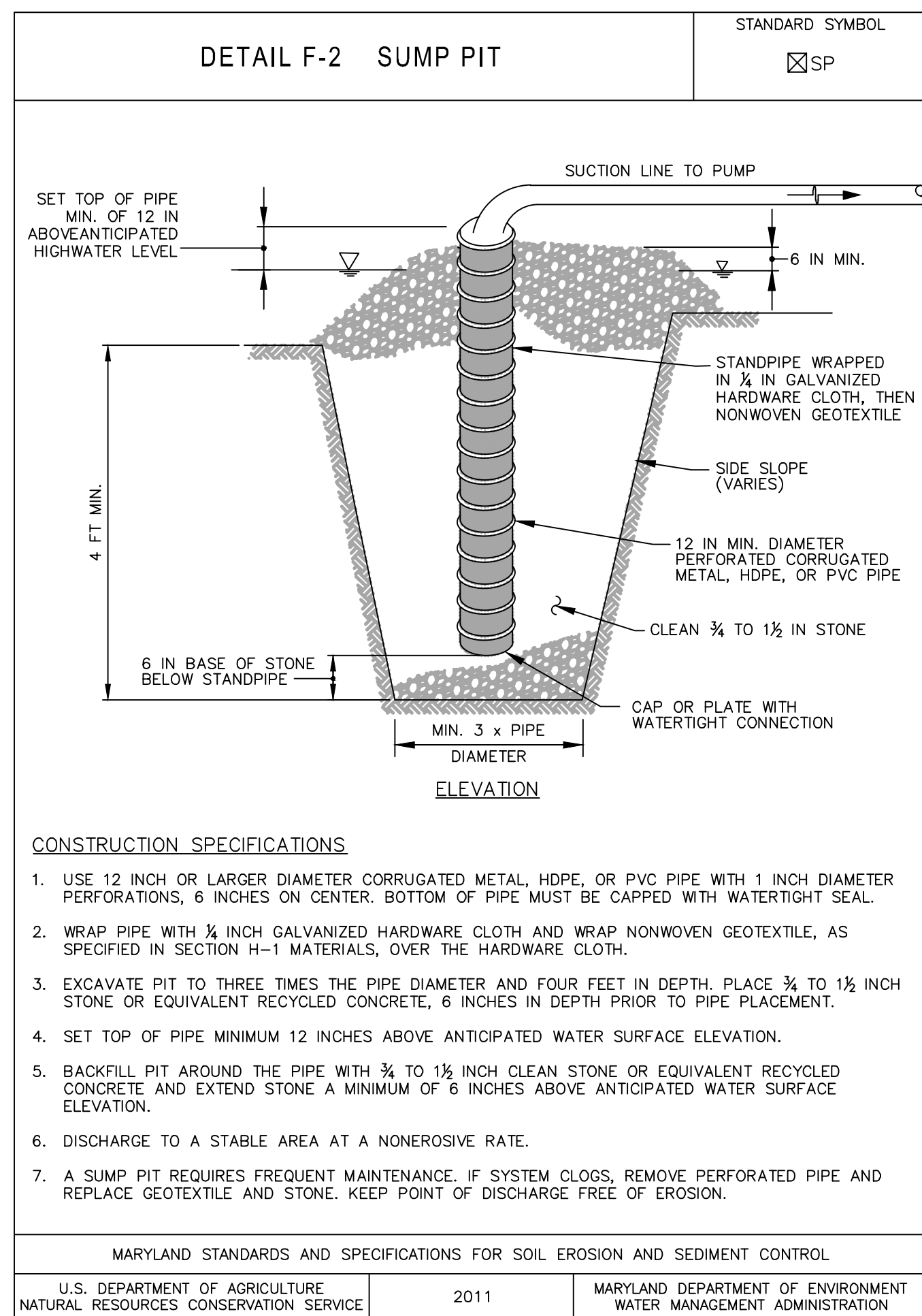
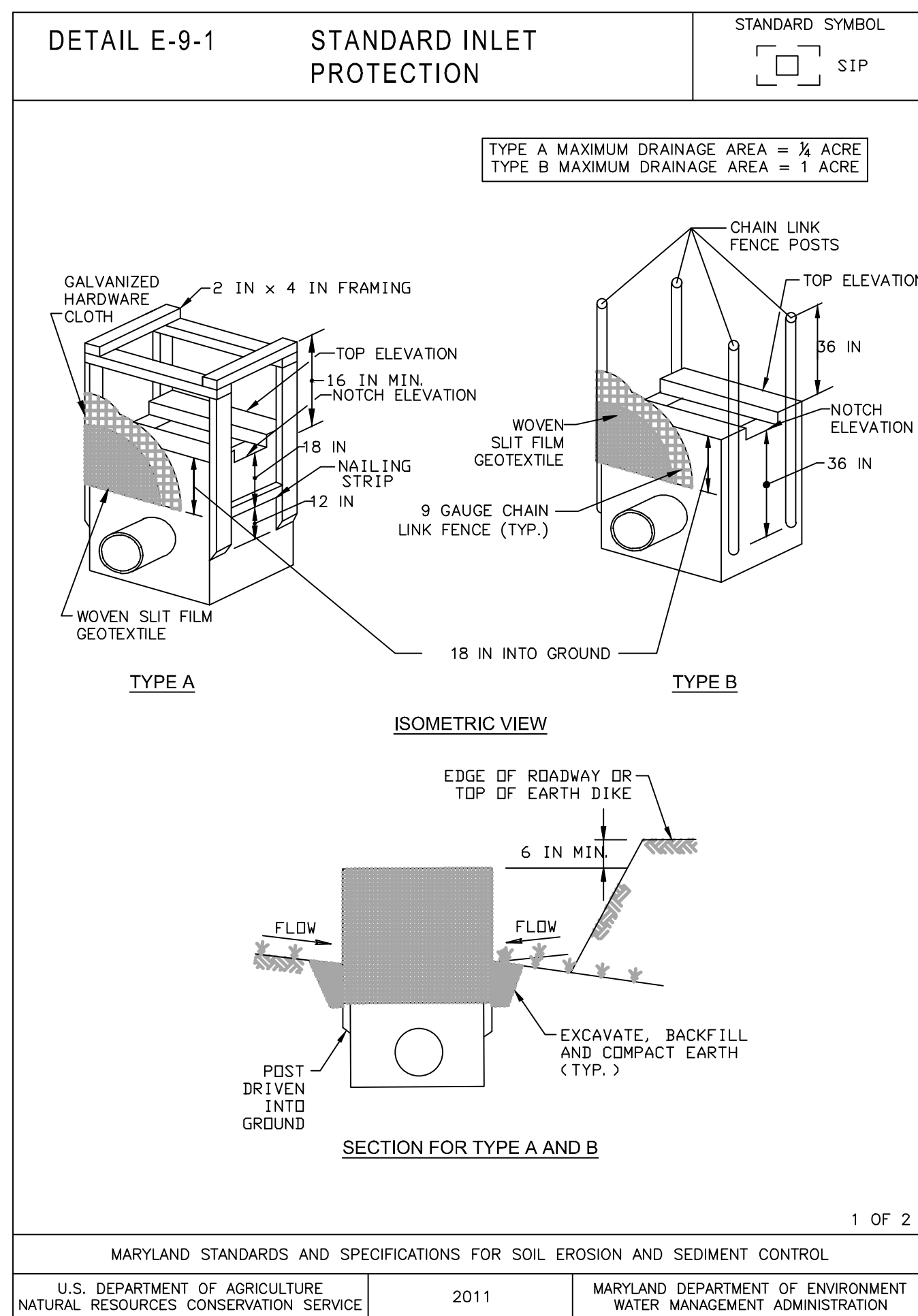
23. APPROVED PLANS REMAIN VALID FOR 2 YEARS FROM THE DATE OF APPROVAL, EXCEPT SURFACE MINES AND LANDFILL PLANS WHICH REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL UNLESS SPECIFICALLY EXTENDED OR RENEWED BY THE APPROVAL AUTHORITY.

24. A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE.

25. AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE), AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF-INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.

26. MODIFICATIONS TO AN APPROVED PLAN MAY BE REQUESTED BY THE OWNER/DEVELOPER OR REQUIRED BY THE APPROVAL OR ENFORCEMENT AUTHORITY. MODIFICATION OF AN APPROVED PLAN MUST BE MADE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL CRITERIA CONTAINED IN THE STANDARD AND/OR AS DIRECTED BY THE ENFORCEMENT AUTHORITY. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



ARCHITECTURE
ENGINEERING

Delaware

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Dover, DE 19904
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LICENSE NUMBER: 21233
EXPIRATION DATE: 02/02/25

PROJECT TITLE

**TIDALHEALTH
COMMUNITY
CLINIC**

805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE

**EROSION &
SEDIMENT
CONTROL NOTES &
DETAILS**



ISSUE BLOCK

DATE DESCRIPTION

0-000

PROJECT NO.: 2020019.18

DATE: 11/01/2023

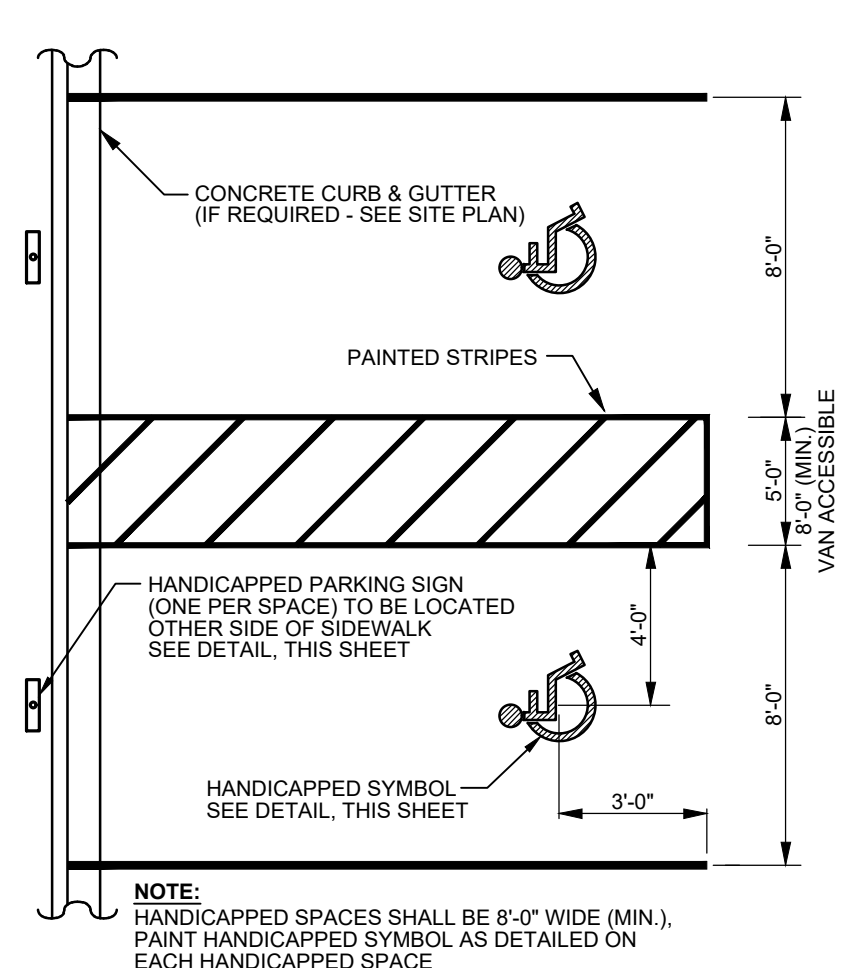
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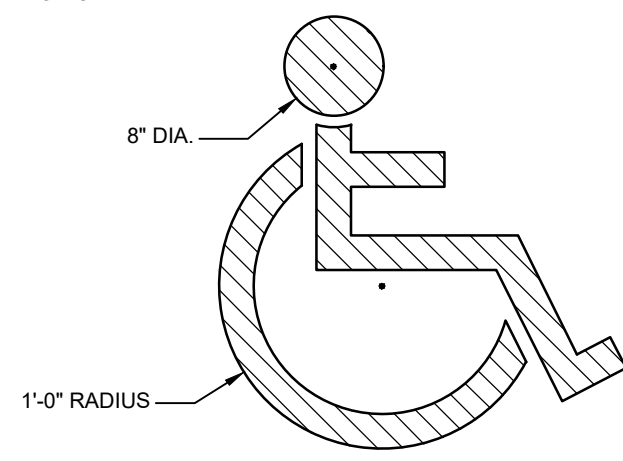
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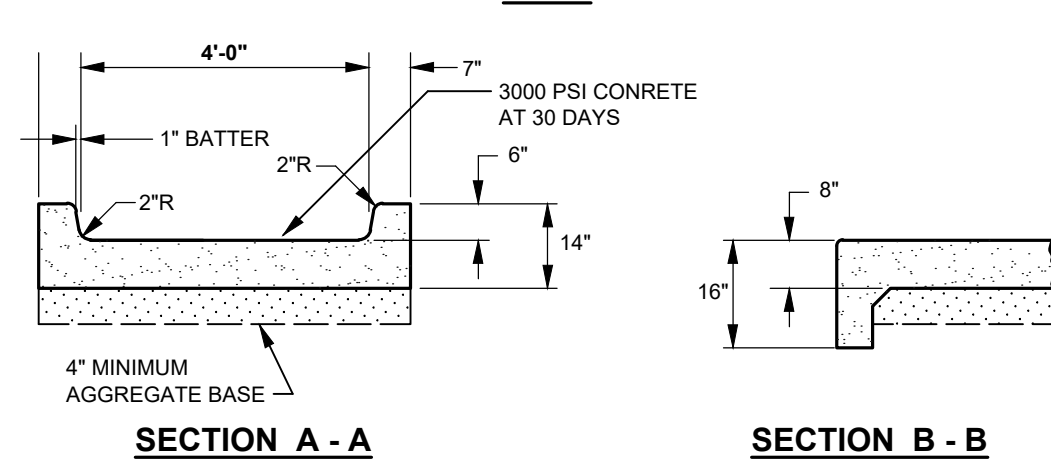
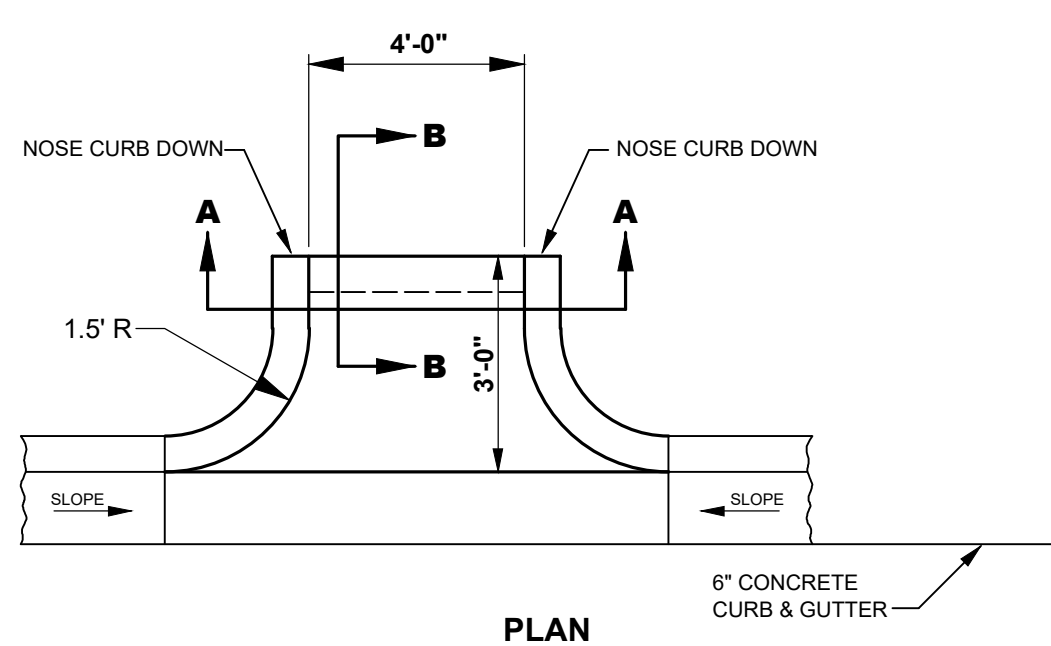


HANDICAPPED PARKING SPACE PLAN
NO SCALE BMG NO. : SW-4B

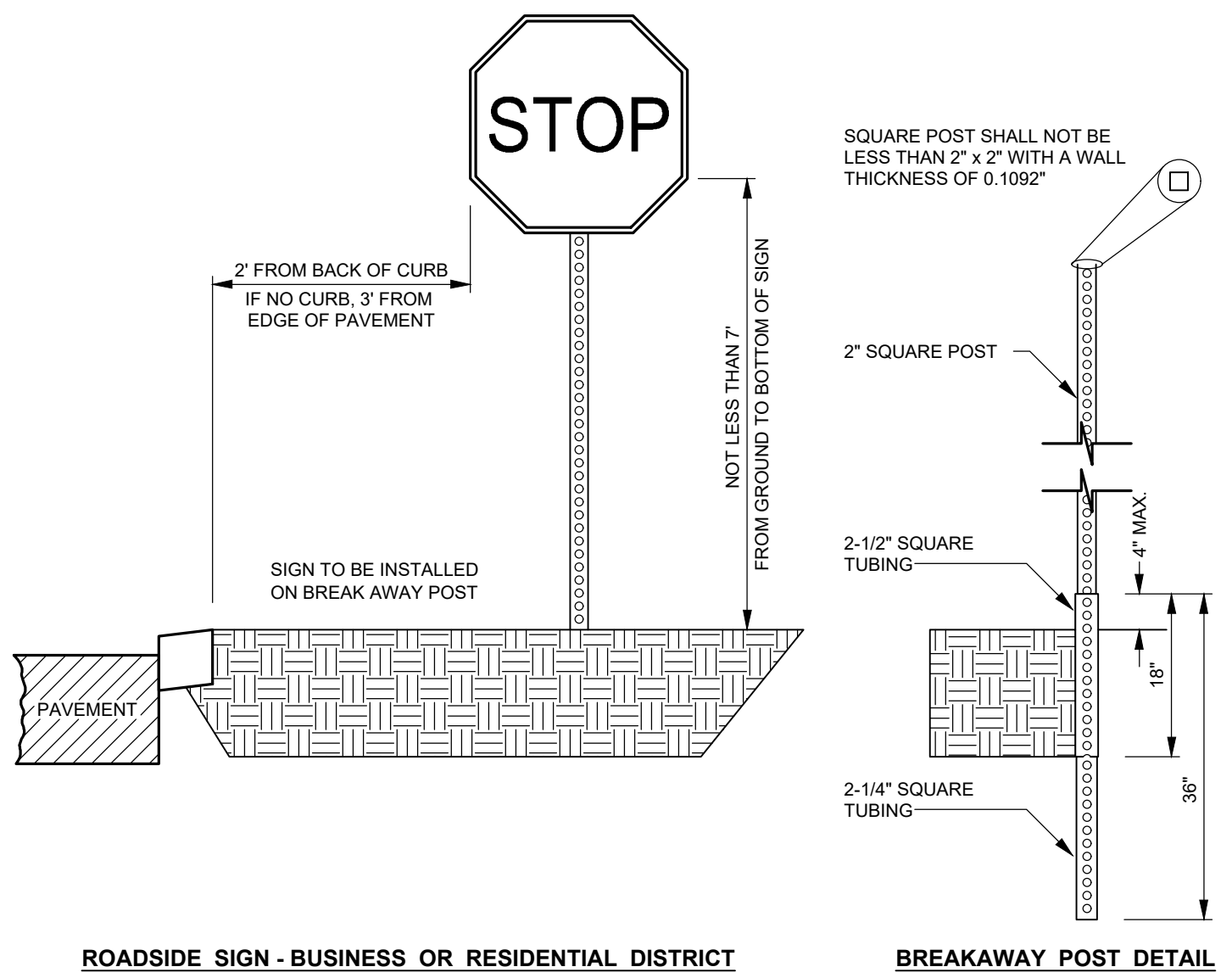


- NOTES :**
1. SYMBOL SHALL BE 3" WIDE (MIN.) AND PAINTED ON EACH HANDICAPPED SPACE.
 2. HANDICAPPED SPACES SHALL BE 8'0" WIDE.

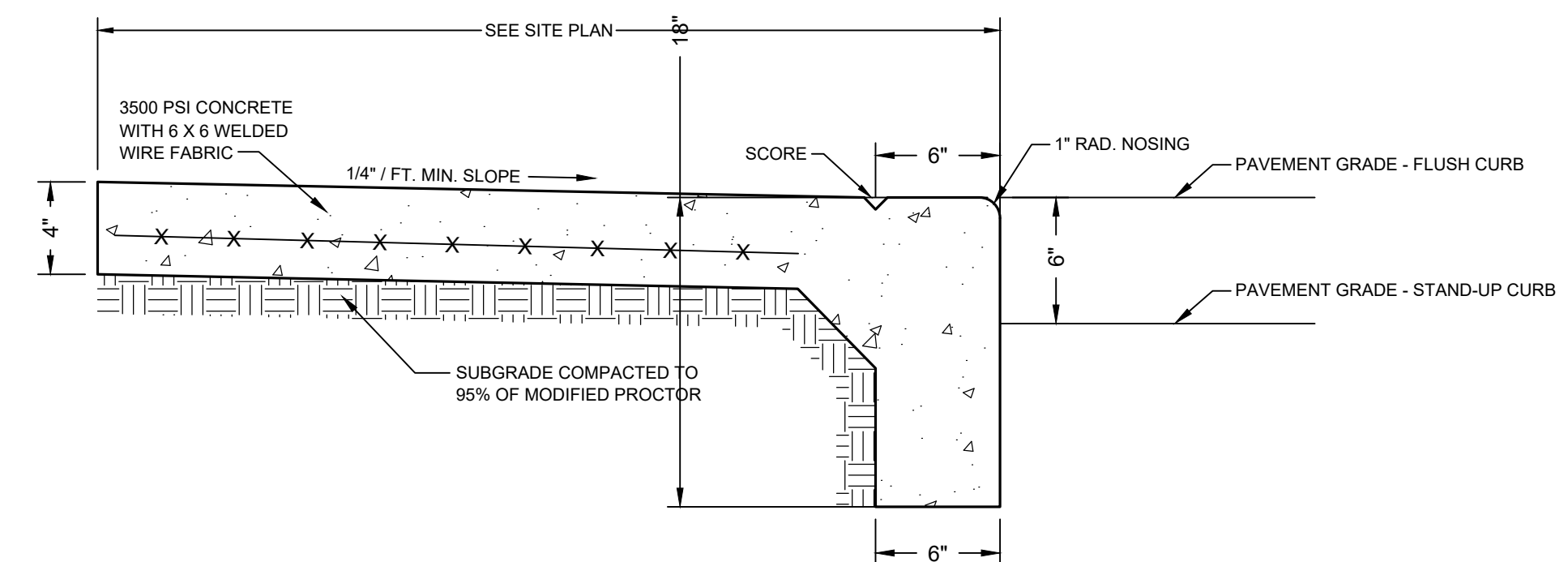
HANDICAPPED SYMBOL DETAIL
NO SCALE BMG NO. : SW-4E



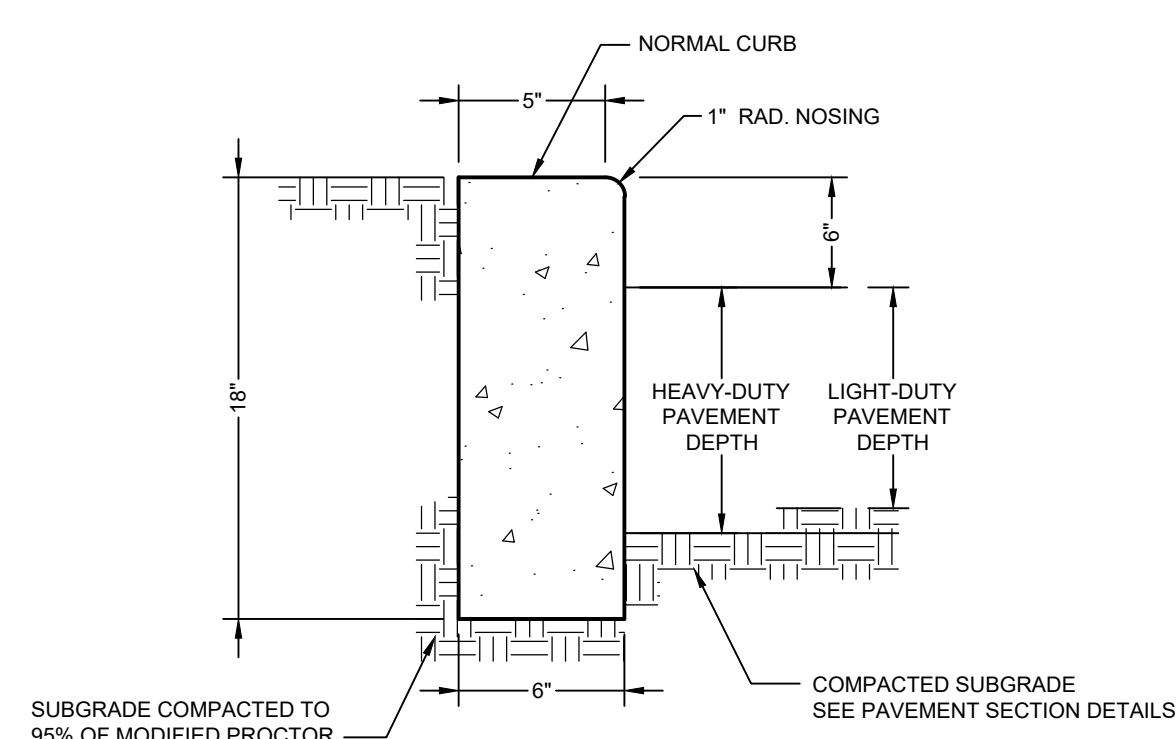
CONCRETE CURB OPENING
NO SCALE BMG NO. : SW-10A



ROADSIDE SIGN - BUSINESS OR RESIDENTIAL DISTRICT
BREAKAWAY POST DETAIL
STOP SIGN AND BREAKAWAY POST DETAIL
NO SCALE BMG NO. : TS-01

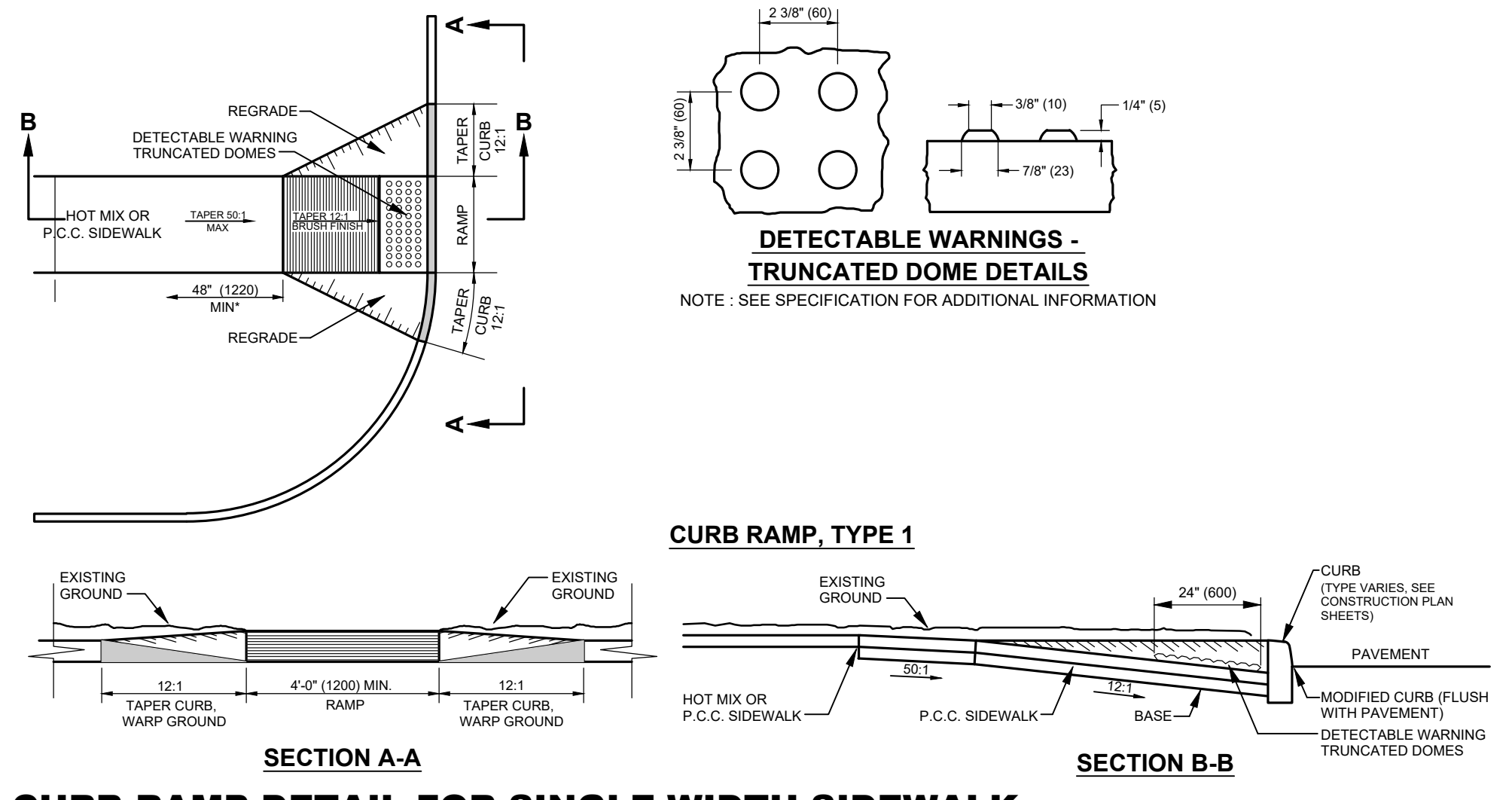


MONOLITHIC CURB & SIDEWALK DETAIL
NO SCALE

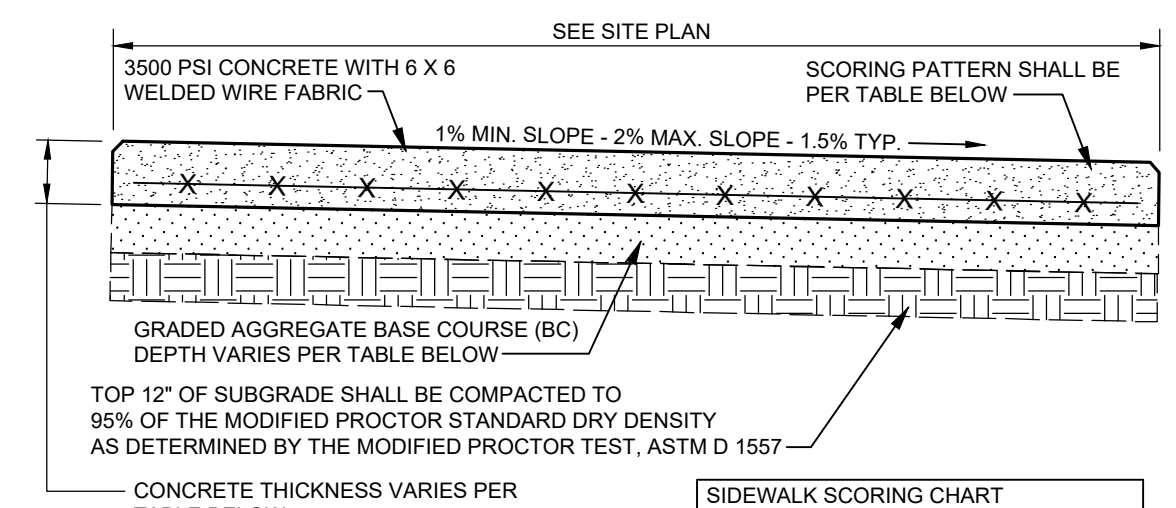


PARKING LOT CONCRETE CURB DETAIL
NO SCALE

HEAVY DUTY PAVEMENT SECTION DETAIL
NO SCALE



CURB RAMP DETAIL FOR SINGLE WIDTH SIDEWALK
NO SCALE

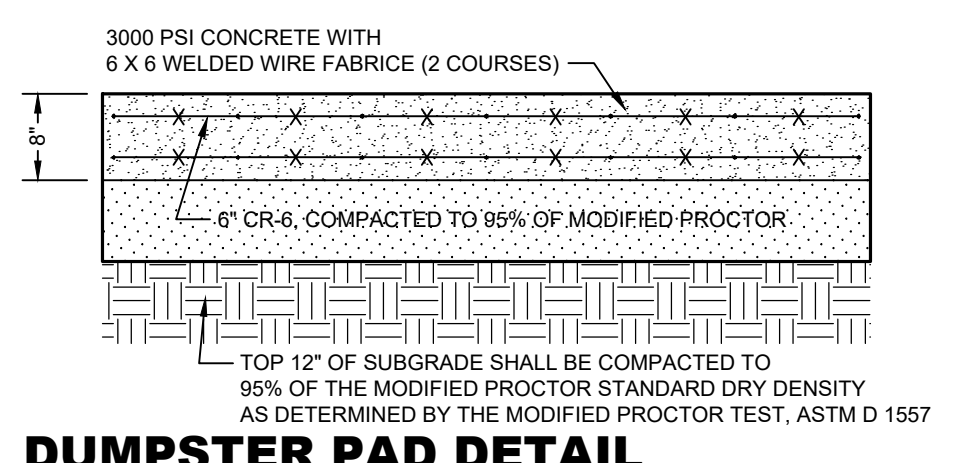


SIDEWALK SECTION DEPTH CHART		SIDEWALK SCORING CHART	
SECTION ID	BC THICKNESS	SIDEWALK WIDTH	SCORING SQUARES
CLASS I	4"	4' X 4'	4' X 4'
CLASS II	7"	4' X 4'	5' X 5'
CLASS III	8"	4' X 4'	6' X 6'
		5'	3.5' X 3.5'
		6'	4' X 4'
		7'	4.5' X 4.5'
		8'	5' X 5'
		9'	5.5' X 5.5'
		10'	
		11'	

FOR ALL SIDEWALK WIDTHS NOT SHOWN IN TABLE, CONTRACTOR SHALL PROVIDE SCORING PATTERN TO ENGINEER FOR APPROVAL PRIOR TO CONCRETE CONSTRUCTION.

- NOTES:**
1. USE PREMOLDED EXPANSION JOINTS AT INTERVALS NO GREATER THAN 20'.
 2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER SPECIFICATIONS.

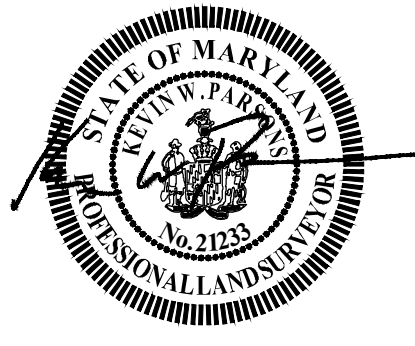
CONCRETE PAVING
NO SCALE



DUMPSTER PAD DETAIL
NO SCALE



ARCHITECTURE ENGINEERING
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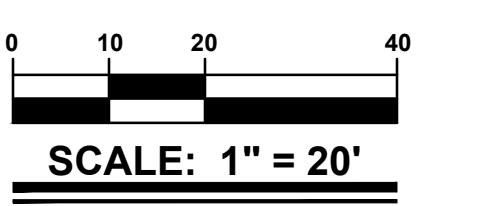
PROJECT TITLE

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WICOMICO COUNTY, MD.

SHEET TITLE

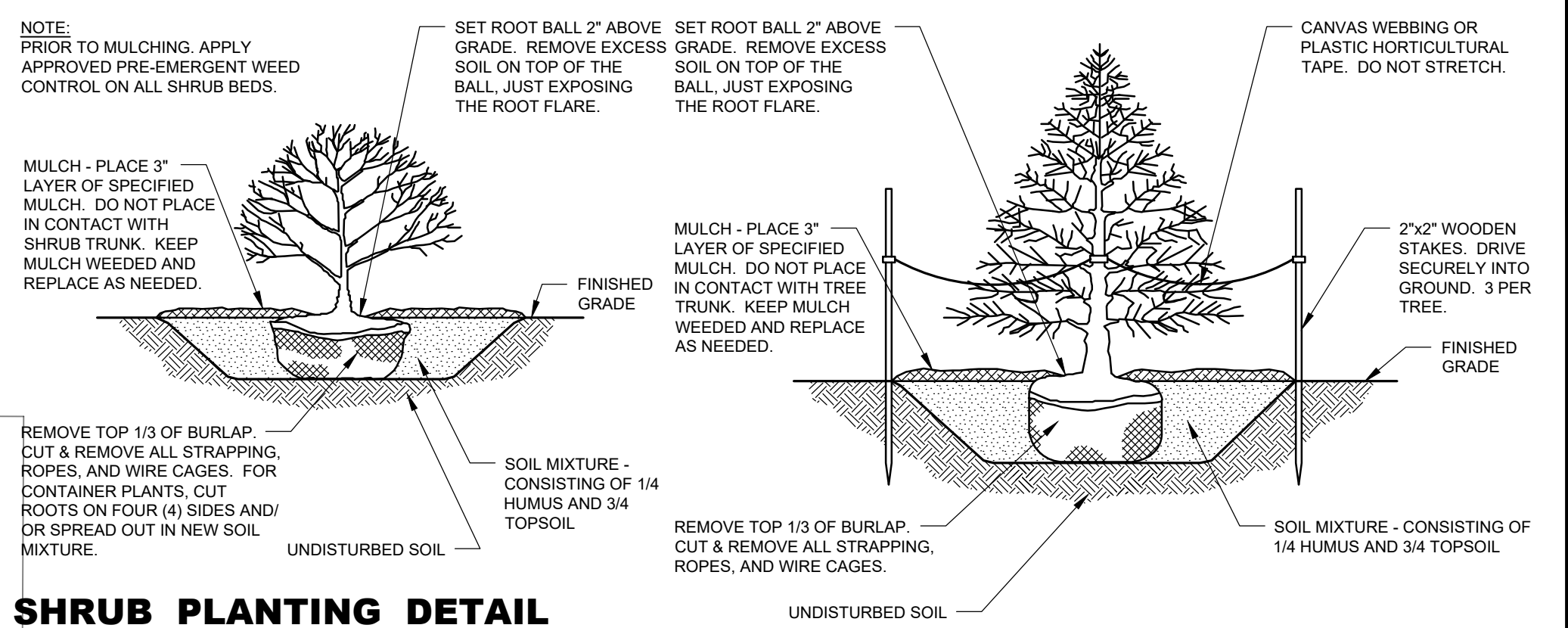
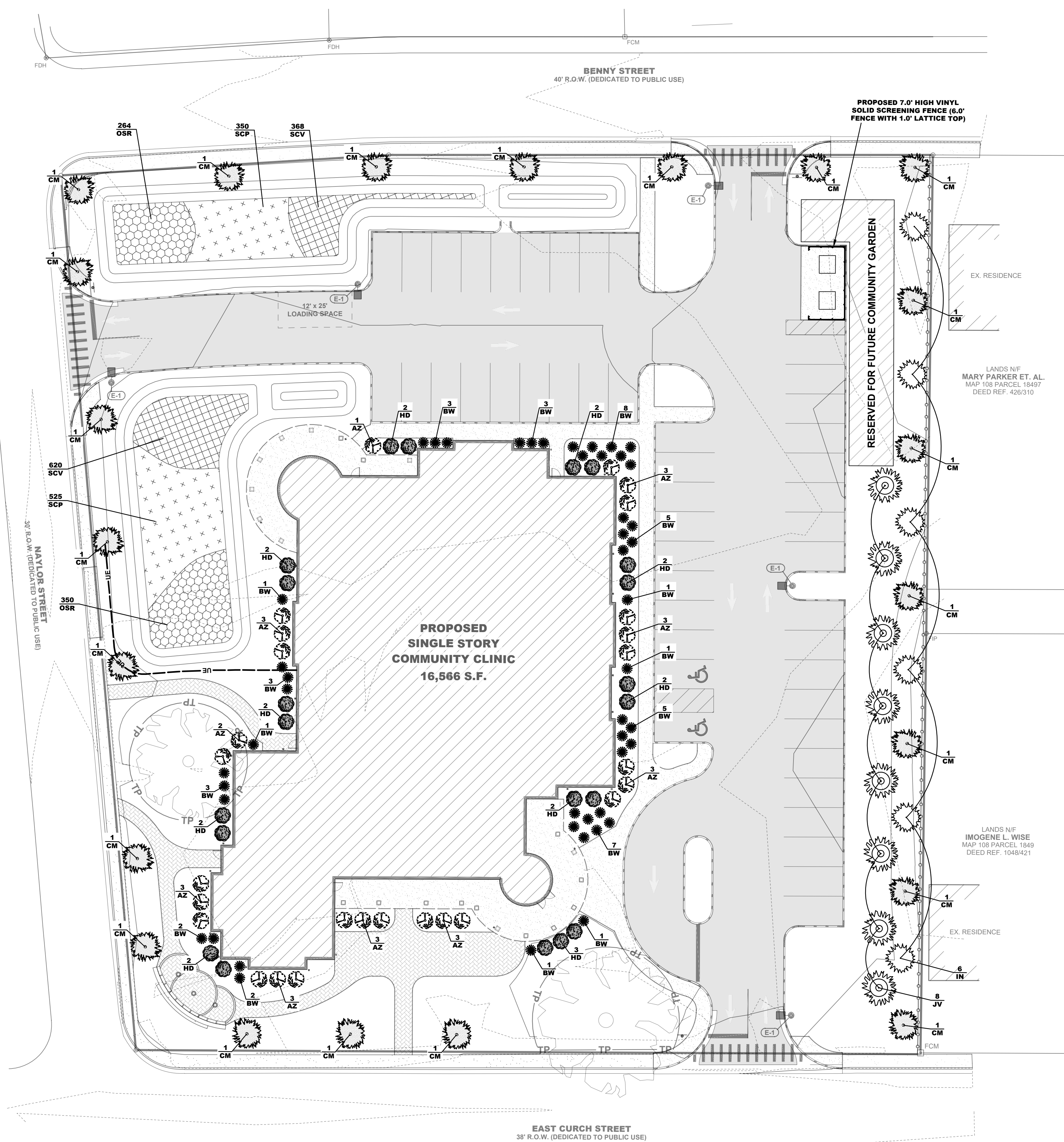
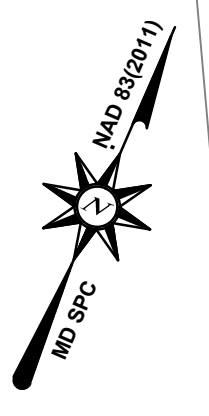
EROSION & SEDIMENT CONTROL NOTES & DETAILS



DATE	DESCRIPTION

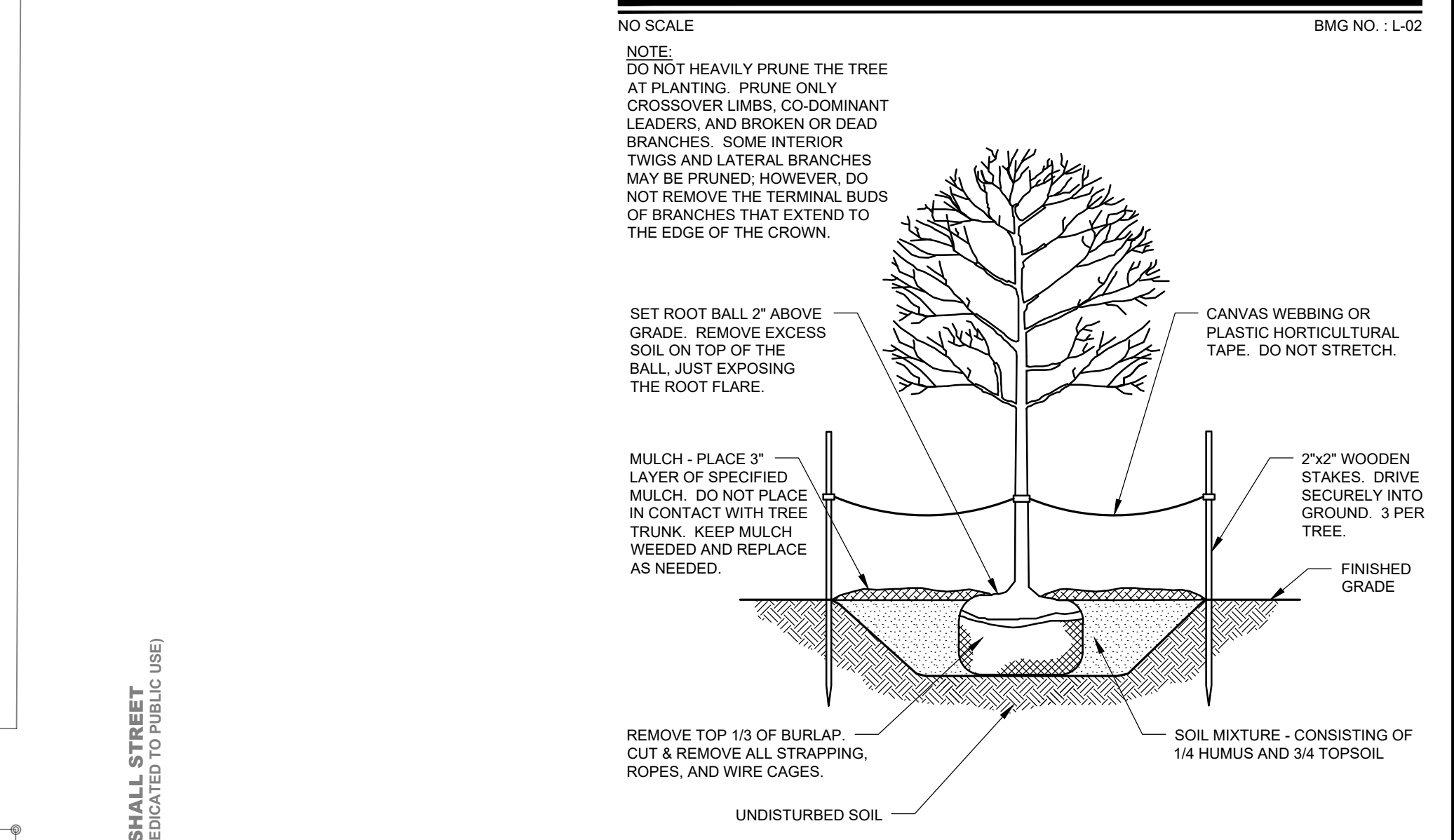
PROJECT NO.: 2020019.18
DATE: 11/01/2023
SCALE: AS SHOWN
DRAWN BY: EMS PROJ. MGR.: KWP

C-901



SHRUB PLANTING DETAIL
NO SCALE BMG NO. : L-03

EVERGREEN TREE PLANTING DETAIL
NO SCALE BMG NO. : L-02



DECIDUOUS TREE PLANTING DETAIL
NO SCALE BMG NO. : L-01

- GENERAL LANDSCAPE NOTES:**
1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK."
 2. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
 3. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.
 4. PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.
 5. UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
 6. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.
 7. MULCH FOR PLANTING BEDS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2" WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/OR SPREAD OUT IN NEW SOIL MIXTURE.
 8. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES.)
 9. LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGINGS UNLESS OTHERWISE INDICATED.
 10. AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
 11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
 12. NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
 13. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET FROM ANY STRUCTURE OR BUILDING.
 14. NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
 15. ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
 16. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
 17. TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
 18. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
 19. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
 20. ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.

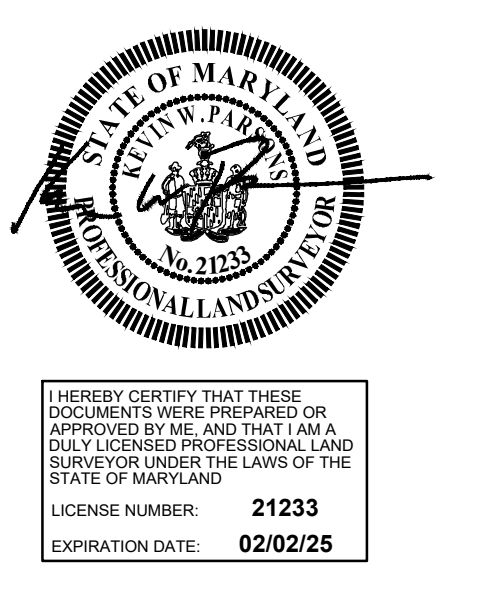
PLANT LIST						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
ORNAMENTAL TREES						
CM	21	LAGERSTROEMIA	GRAPE MYRTLE	10'	CONT.	
TOTAL	21					
EVERGREEN TREES						
IN	6	ILEX x NELLIE STEVENS	NELLIE STEVENS HOLLY	6-8"	B&B	
JV	8	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-8"	B&B	
TOTAL	14					
SHRUBS						
AZ	6	RHODODENDRON	AZALEA	4'-6"	CONT.	
HD	66	HYDRANGEA MACROPHYLLA	HYDRANGEA	3'-5"	CONT.	
BW	27	BUXUS SEMPERVIRENS	BOXWOOD	3'-4"	CONT.	
TOTAL	99					
STORMWATER PLANTINGS						
OSR	614	OSMUNDA REGALIS	ROYAL FERN	1 QT.	CONT.	24" O.C.
SCP	875	SCIRPUS PUNGENS	COMMON THREESQUARE	1 QT.	CONT.	24" O.C.
SCV	988	SCIRPUS VALIDUS	SOFTSTEM BULRUSH	1 QT.	CONT.	18" O.C.
TOTAL	2,477					

BECKER MORGAN GROUP

ARCHITECTURE ENGINEERING
Delaware
309 South Governors Avenue
Dover, DE 19904
302.734.7950
The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713
302.369.3700

Maryland
312 West Main Street, Suite 300
Salisbury, MD 21801
410.546.9100

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
www.beckermorgan.com



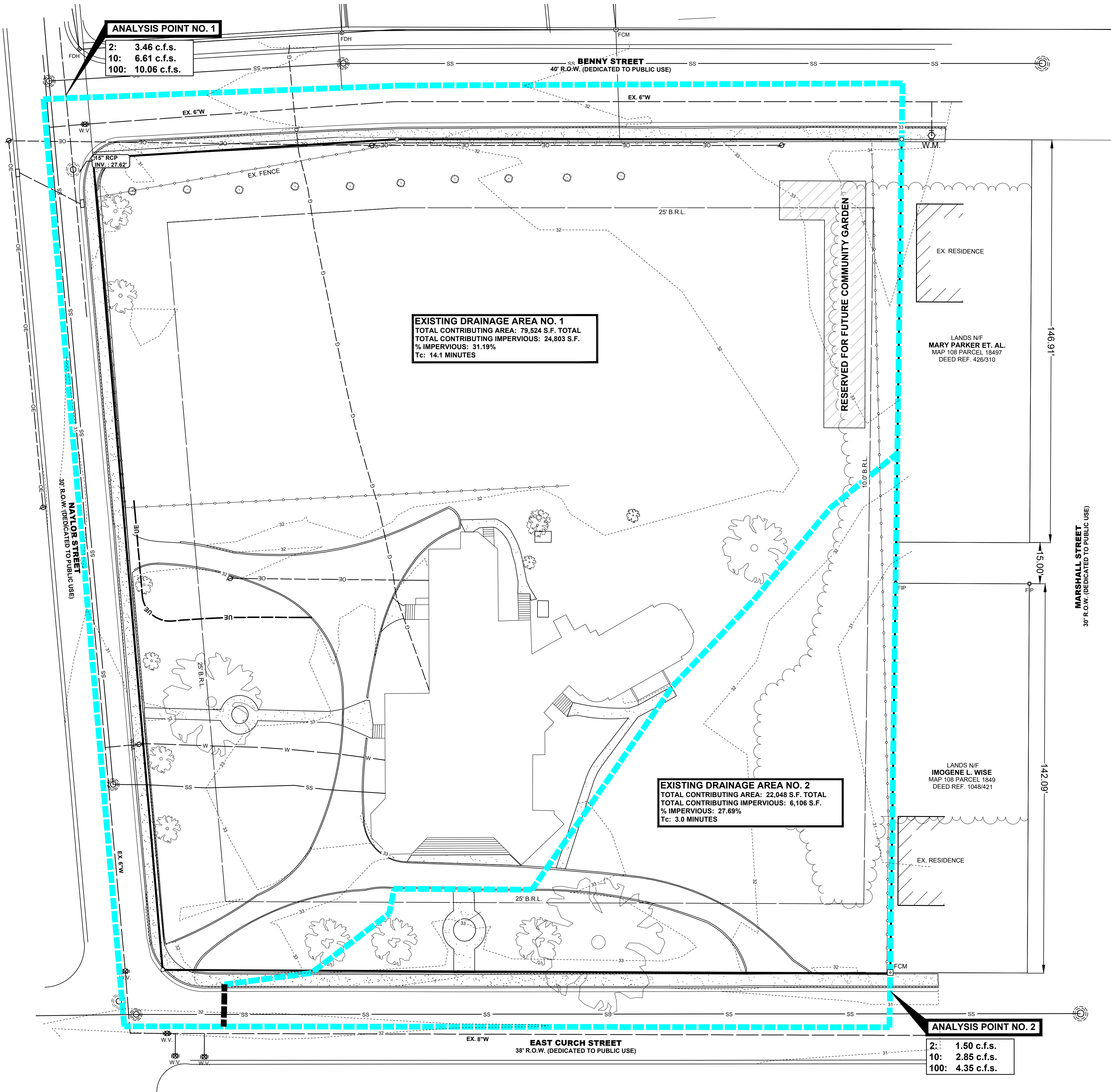
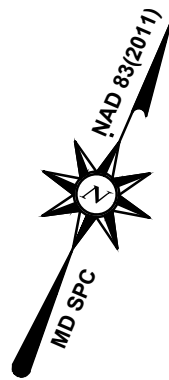
PROJECT TITLE
TIDALHEALTH COMMUNITY CLINIC
805 EAST CHURCH ST.
CITY OF SALISBURY
WICOMICO COUNTY, MD.

SHEET TITLE
LANDSCAPE PLAN

SCALE: 1" = 20'

DATE	DESCRIPTION
11/01/2023	PROJECT NO.: 2020019.18
	DATE: 11/01/2023
	SCALE: 1" = 20'
	DRAWN BY: EMS PROJ. MGR.: KWP
	SHEET

L-101



ANALYSIS POINT NO. 1
 2: 3.46 c.f.s.
 10: 6.61 c.f.s.
 100: 10.06 c.f.s.

EXISTING DRAINAGE AREA NO. 1
 TOTAL CONTRIBUTING AREA: 79,524 S.F. TOTAL
 TOTAL CONTRIBUTING IMPERVIOUS: 24,803 S.F.
 % IMPERVIOUS: 31.19%
 Tc: 14.1 MINUTES

EXISTING DRAINAGE AREA NO. 2
 TOTAL CONTRIBUTING AREA: 22,048 S.F. TOTAL
 TOTAL CONTRIBUTING IMPERVIOUS: 6,106 S.F.
 % IMPERVIOUS: 27.69%
 Tc: 3.0 MINUTES

ANALYSIS POINT NO. 2
 2: 1.50 c.f.s.
 10: 2.85 c.f.s.
 100: 4.35 c.f.s.

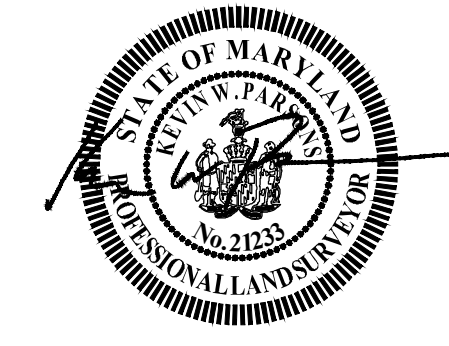


ARCHITECTURE
ENGINEERING

Delaware
 309 South Governors Avenue
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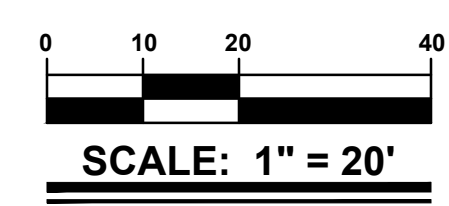
North Carolina
 3333 Jaeckle Drive, Suite 120
 Wilmington, NC 28403
 910.341.7600
 www.beckermorgan.com



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NUMBER: 21233
 EXPIRATION DATE: 02/02/25

PROJECT TITLE
TIDALHEALTH COMMUNITY CLINIC
 805 EAST CHURCH ST.
 CITY OF SALISBURY
 WICOMICO COUNTY, MD.

SHEET TITLE
PRE-DEVELOPED DRAINAGE AREA MAP



ISSUE BLOCK	
NO.	DESCRIPTION

DATE DESCRIPTION
 PROJECT NO.: 2020019.18
 DATE: 11/01/2023
 SCALE: 1" = 20'
 DRAWN BY: EMS PROJ. MGR.: KWP

SWM-1



COMMUNITY CLINIC

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GROUP

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GROUP

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ENGINEERING

ORDINANCE NO. 2821

AN ORDINANCE OF THE CITY OF SALISBURY AMENDING SECTION 17.04.120 OF THE SALISBURY CITY CODE TO INCLUDE A DEFINITION FOR “CLINIC-RESIDENTIAL” AND AMENDING 17.160.030 OF THE SALISBURY CITY CODE TO ADD CLINIC- RESIDENTIAL TO THE CATEGORY OF USES PERMITTED BY SPECIAL EXCEPTION IN THE R-5A ZONING DISTRICT.

WHEREAS, the ongoing application, administration and enforcement of Title 17 (Zoning) of the City of Salisbury Municipal Code (the “**Salisbury City Code**”) demonstrates a need for its periodic review, evaluation and amendment, in order to keep the provisions of Title 17 current, comply with present community standards and values, and promote the public safety, health and welfare of the citizens of the City of Salisbury (the “**City**”);

WHEREAS, the Mayor and Council of the City of Salisbury (the “**Mayor and Council**”) are authorized by MD Code, Local Government, § 5-202 to adopt such ordinances, not contrary to the Constitution of Maryland, public general law or public local law, as the Mayor and Council deem necessary to assure the good government of the municipality, to preserve peace and order, to secure persons and property from damage and destruction, and to protect the health, comfort and convenience of the citizens of the City;

WHEREAS, the Mayor and Council may amend Title 17 (Zoning) of the Salisbury City Code pursuant to the authority granted by MD Code, Land Use, § 4-102, subject to the provisions set forth in Section 17.228.020;

WHEREAS, the uses permitted inherently and by special exception in the R-5A district currently include care facilities and neighborhood places of assembly such as worship centers with daycare facilities, meeting rooms, and schools of general instruction. The inclusion of community clinics, as defined in Section 17.04.120 would provide an additional, but still substantially similar, use option in the R-5A district;

WHEREAS, the Mayor and Council find that the health, safety and general welfare of the citizens of the City will be furthered by amending Section 17.160.030 of the Salisbury City Code to permit community clinics in the R-5A zoning district;

WHEREAS, pursuant to Section 17.228.020 of the Salisbury City Code, any amendment to the Salisbury Zoning Code requires the recommendation of the Salisbury Planning and Zoning Commission (the “**Planning Commission**”) prior to the passage of an ordinance amending Chapter 17;

WHEREAS, a public hearing on the proposed amendment was held by the Planning Commission in accordance with the provisions of Section 17.228.020 of the Salisbury City Code on June 15, 2023;

WHEREAS, at the conclusion of its June 15, 2023 meeting, the Planning Commission recommended, by a vote of 6-0, that the amendments to Sections 17.04.120 and 17.160.030 of the Salisbury City Code set forth herein be approved by the Mayor and Council; and

WHEREAS, the Mayor and Council have determined that the amendments to Sections 17.04.120 and 17.160.030 of the Salisbury City Code shall be adopted as set forth herein.

NOW, THEREFORE, BE IT ENACTED AND ORDAINED BY COUNCIL OF THE CITY OF SALISBURY, MARYLAND, that Title 17 of the Salisbury City Code is hereby amended by adding the bolded and underlined language as follows:

Section 1. Section 17.04.120 of the Salisbury City Code, entitled “Definitions” shall be amended as follows:

17.160.120 – Definitions.

The following definitions have been used or considered in the construction of this title and shall be used in its interpretation:

...

“Clinic – Residential” means a place used for the outpatient care, diagnosis and treatment of sick, ailing, infirmed and injured persons and those who are in need of medical or surgical attention, but who are not provided with board or room nor kept overnight on the premises. Behavioral and mental health counseling, community wellness outreach and education may also be provided. Medication Assisted Treatment (“MAT”) for addiction is not permitted.

...

Section 2. Section 17.160.030 of the Salisbury City Code, entitled “Uses permitted by special exception” shall be amended as follows:

Chapter 17.160 R-5A, R-8A AND R-10A RESIDENTIAL DISTRICTS

17.160.030 Uses permitted by special exception.

Uses permitted by special exception shall be as follows:

- A. Care home, in accordance with chapter 17.220;
- B. Church and other place of worship on a lot size of less than five acres, in accordance with chapter 17.220, excluding bus storage and maintenance, cemetery, day-care center, school of general instruction and gymnasium as accessory uses;
- C. Church and other place of worship on a minimum lot of five (5) acres, in accordance with chapter 17.220, including an activity building with offices and meeting rooms, cemetery, day-care center, school of general instruction and gymnasium as accessory uses;
- D. Day-care facilities for the elderly and handicapped.
- E. Solar Farm.

F. Clinic – Residential in the R-5A district on a minimum lot of one (1) acre, in accordance with a comprehensive site plan, as approved by the Planning Commission, with the following:

- 1. The requirements for “Medical and dental clinic and office” in 17.196.030 shall be used to determine parking space requirements;**
- 2. Screening from adjoining residential uses consisting of a fence six feet in height and a twenty-foot-wide landscaped area shall be included on the comprehensive site plan approved by the Planning Commission; and**
- 3. A sign plan shall be approved by the Planning Commission in accordance with 17.216.120.**

BE IT FURTHER ENACTED AND ORDAINED BY THE COUNCIL OF THE CITY OF SALISBURY, MARYLAND, as follows:

Section 3. It is the intention of the Mayor and Council of the City of Salisbury that each provision of this Ordinance shall be deemed independent of all other provisions herein.

Section 4. It is further the intention of the Mayor and Council of the City of Salisbury that if any section, paragraph, subsection, clause or provision of this Ordinance shall be adjudged invalid, unconstitutional or otherwise unenforceable under applicable Maryland or federal law, such adjudication shall apply only to the section, paragraph, subsection, clause or provision so adjudged and all other provisions of this Ordinance shall remain and shall be deemed valid and enforceable.

Section 5. The recitals set forth hereinabove are incorporated into this section of the Ordinance as if such recitals were specifically set forth at length in this Section 5.

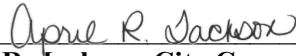
Section 6. This Ordinance shall take effect from and after the date of its final passage.

THIS ORDINANCE was introduced and read at a Meeting of the Mayor and Council of the City of Salisbury held on the 28th day of August, 2023 and thereafter, a statement of the substance of the Ordinance having been published as required by law, in the meantime, was finally passed by the Council of the City of Salisbury on the 25th day of September, 2023.

ATTEST:

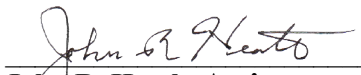


Kimberly R. Nichols, City Clerk



April R. Jackson, City Council President

Approved by me, this 2nd day of October, 2023.



John R. Heath, Acting Mayor

Real Property Data Search ()
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 05 Account Number - 004764

Owner Information

Owner Name: TIDALHEALTH PENINSULA REGIONAL INC **Use:** EXEMPT COMMERCIAL
Principal Residence: NO
Mailing Address: 100 E CARROLL ST **Deed Reference:** /05120/ 00220
 SALISBURY MD 21801-

Location & Structure Information

Premises Address: 805 E CHURCH ST **Legal Description:** L-274 X 300
 SALISBURY 21801-0000 805 E CHURCH ST
 CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0108	0003	1848	10002.23	0000				2023	Plat Ref:

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
			82,200 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
							/

Value Information

	Base Value	Value	Phase-in Assessments	
			As of	As of
Land:	121,800	121,800	01/01/2023	07/01/2024
Improvements	0	0		
Total:	121,800	121,800	329,500	121,800
Preferential Land:	0	0		

Transfer Information

Seller: YARD DESIGNS INC	Date: 06/28/2022	Price: \$450,000
Type: ARMS LENGTH IMPROVED	Deed1: /05120/ 00220	Deed2:
Seller: HE LLC	Date: 05/24/2021	Price: \$200,000
Type: ARMS LENGTH IMPROVED	Deed1: /04863/ 00285	Deed2:
Seller: CALLIS, JOSEPH T L/E &	Date: 06/27/2003	Price: \$145,800
Type: ARMS LENGTH IMPROVED	Deed1: /02087/ 00199	Deed2:

Exemption Information

Partial Exempt Assessments:	Class	07/01/2023	07/01/2024
County:	820	329,500.00	121,800.00
State:	820	329,500.00	121,800.00
Municipal:	820	329,500.00 121,800.00	329,500.00 121,800.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**



Infrastructure and Development Staff Report

February 15, 2024

I. BACKGROUND INFORMATION:

Infrastructure and Development Case No.: 22-008

Project Name: Village at Snowfield

Applicant/Owner: Parker and Associates for Heritage Revival Holdings, LLC

Nature of Request: Final Subdivision Plat/ Comprehensive Development Plan Approval

Location of Property: Snow Hill Rd and Toadvine Rd – Tax Map: 48 Grid: 11 Parcel: 492

Existing Zoning: GC – General Commercial and R-8A - Residential

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a Final Subdivision Plat & Final Comprehensive Development Plan (**Attachment #2**) for 101 single family lots and 94 townhouse lots, including private driveways, to be accessed by public streets and served by City water and sewer facilities.

III. DISCUSSION:

The applicant proposes to develop an existing 42.146-acre agricultural field into a 195-unit residential subdivision. The property is adjacent to the existing Marley Manor residential development and across Snow Hill Road from the existing Summersgate residential development.

IV. APPROVAL HISTORY:

Preliminary Comprehensive Development Plan approval was granted by the Planning Commission at its May 19, 2022 meeting, with minimal conditions. The submission of a development schedule, detailed building elevations, and a landscaping and lighting plan were requested by the Commission for review and approval, and have been included with this Final Approval request.

At the September 1, 2022 meeting, the City Board of Zoning Appeals approved a Special Exception to utilize the entirety of the site as residential for the construction of 195 residential units based on the criteria in Section 17.232.020B of the Zoning code.

V. FINAL SUBDIVISION PLAT/FINAL COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires a Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



City of Salisbury

A. Site Plan (Attachment 2)

1. **Parking/Access:** The townhouse lots are proposed to have two (2) parking spaces in each driveway. The single family lots are proposed to have one (1) parking space in the driveway and two (2) spaces in the garage.
 2. **Refuse Disposal:** Trash collection will be private.
 3. **Density:** A special exception by the Board of Appeals was granted to allow the R-8A residential zoning to apply to the entire parcel per Section 17.08.030.C. Residential use of the entire parcel allows the density calculation to be one unit per 9,415 sq.ft.
 4. **Building Setbacks/Spacing:** The code requirements for lot size and setbacks are as follows:
 - Single family:
 - Lot size – 8,000 sq ft
 - Front setback – 25'
 - Rear setback – 30'
 - Side setback – 10'
 - Townhouse:
 - Interior lot minimum width is 20'
 - Front setback – 25'
 - End lot side setback – 15'
 - Rear – 30'
- All lots within the subdivision meet the minimum lot size and setback requirements.
5. **Open Space:** Multiple stormwater management facilities and multiple bioswales are shown throughout the site. An active recreation area is shown between the townhouse and single - family sections. A Forest Conservation area is located in the southeast corner of the development.

B. Building Elevations/Floor Plans

Proposed building elevations and floor plans are included on Sheet 6 of **Attachment #2**.

C. Sign Plan

None submitted.

D. Landscaping & Lighting Plan

A detailed lighting and landscaping plan was provided by the developer, as found on sheet 5 of Attachment #2. Landscaping includes White Oaks, Crape Myrtles, and Knock-Out Roses planted throughout the property, with denser plantings in the open space areas. Lighting within the development will be residential road ornamental light fixtures per City Standard 600.04. Additional lighting along the multi-



City of Salisbury

use path as well as along Snow Hill Road will be required to meet SHA standards and an approved SHA entrance plan package must be submitted to City staff for verification.

E. Development Schedule

Construction is expected to begin once all approvals have been granted and applicable permits issued. This project will be developed in two phases. Phase 1 consists of the townhome units fronting on Khione Loop North, the large recreational space, and multiple stormwater management areas. Phase 2 includes the single-family buildouts and the remainder of the stormwater features. A specific development schedule was provided by the developer (**Attachment #1**) as follows:

Begin Phase 1 Construction : 03/01/2024
Begin Roundabout Construction : 04/01/2024
Complete Phase 1 Construction : 08/01/2024
Begin Phase 2 Construction: 08/01/2024
Complete Phase 2 Construction: 08/01/2025

F. Community Impact Statement

This requirement was waived by the Planning Commission at Preliminary Comprehensive Development Approval in May 2022.

G. Statement of Intent to Proceed and Financial Capability

This requirement was waived by the Planning Commission at Preliminary Comprehensive Development Approval in May 2022.

H. Fire Service

All comments from the Salisbury Fire Department have been addressed prior to this submittal.

I. Stormwater Management

The Stormwater Management Plan has been reviewed by the Salisbury Department of Infrastructure & Development. All proposed management facilities adequately serve the site with no further comments from City Engineers.

J. Forest Conservation Program

Forest Conservation requirements for this project have been addressed by FCA plans 2004-05 and 2005-27 and through a Long-Term Agreement for both onsite and offsite mitigation per County Staff.

K. Transportation, Streets, and Pedestrians

A traffic analysis of the area has been completed and approved by State Highway Administration (SHA) for the Village at Snowfield and the future development across Snow Hill Rd that is part of the Summersgate expansion. SHA has determined all study intersections and the site accesses have and are projected to have sufficient capacity for all traffic conditions. A proposed roundabout on Snow Hill Road will provide access to Icelyn Way into the development. Future signalization of Robins Avenue will also be required



City of Salisbury

by Maryland Department of Transportation (MDOT).

As required by City staff, a future street extension has been provided where the Cul-de-sac is located in the southwest corner of the development.

An asphalt multi-use path along the entire frontage of the project has been proposed to meet staff requirements for pedestrian and bike connections between Village at Snowfield and Marley Manor.

All other transportation, streets, and pedestrian comments have been satisfied by this submittal.

L. Wicomico County Board of Education

The Planning and Construction division at the Wicomico County Board of Education has been notified of the proposed project and has provided calculations regarding existing and future capacity for schools within this district.

VI. RECOMMENDATION

Staff recommends approval of the Final Subdivision Plat & Final Comprehensive Development Plan for the Village at Snowfield with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval;
2. The final subdivision plat shall comply with all requirements set forth in Ch 17.160 and the final subdivision plat, including the Deed of Easement for Utilities and the Deed of Right-of-Way, shall be recorded prior to construction;
3. The signed City/County Joint Public Works Agreement shall be recorded prior to construction;
4. An approved SHA entrance plan package shall be submitted to the Department of Infrastructure & Development for acceptance;
5. All driveways must be shown on the plan with a minimum 20' depth from sidewalk to dwelling;
6. A detailed sign plan must be submitted for approval by the Planning Commission prior to installation of any signage;
7. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

02/08/2024

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

Attn: Jessica Crenshaw
Ref: Village at Snowfield – Final Comprehensive Development Plan

Dear Jessica,

Attached hereto, please find our proposed Final Comprehensive Development Plan for the Village at Snowfield residential project. It is the intent of this submittal to respectfully seek approval of this plan, in accordance with sections 17.156 and 17.224 of the zoning code.

This comprehensive development plan proposes 101 single family lots and 94 townhouse lots, 195 units in total, all to be accessed by proposed City streets. We are proposing a traffic roundabout at the entrance to Snowhill Road pending approval of SHA and a standard entrance with planted island on Toadvine Road. Single family lots proposed have a minimum of 8,000 square feet, with a minimum lot width of 60 feet (75 feet for corner lots). Each townhouse unit will be on its own lot of at least 2,000 square feet or greater with a minimum width of 20' per City zoning requirements. Areas of open space have been methodically placed throughout the site. All construction and development on this project will be in accordance with the zoning code, as well as the City of Salisbury construction specifications. All sewer, roads, and water will be public entities, while trash collection will be private. Each single-family unit proposes a 1-car driveway and 2-car garage, while each townhouse unit proposes a 2-car driveway, therefore no additional off-street parking will be required.

Below is the requested Development Schedule:

Begin Phase 1 Construction : 03/01/2024
Begin Roundabout Construction : 04/01/2024
Complete Phase 1 Construction : 08/01/2024
Begin Phase 2 Construction: 08/01/2024
Complete Phase 2 Construction: 08/01/2025

Additionally, I would also like to respectfully request waivers of the community impact statement, the letter of financial capability, and of intent to proceed.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

Sincerely,
Brock E. Parker, P.E., R.L.S.

VILLAGE AT SNOWFIELD

FINAL COMPREHENSIVE DEVELOPMENT PLAN

- GENERAL NOTES**
- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED AND BEING DEVELOPED BY: SNOWFIELD LLC, PO BOX 1109, ALLEN, MD 21810, C/O JASON MALONE, 443-260-4775.
 - DEED REF. 1731/465
 - LOT SIZE = 42.146 ACRES
 - THE PRESENT ZONING OF THIS PROPERTY IS: R8-A RESIDENTIAL WITH 500' DEEP FRONT OF PROPERTY BEING GENERAL COMMERCIAL - GC
 - PROPOSED ZONING - R8-A RESIDENTIAL
 - FRONT SETBACK = 25'
 - REAR SETBACK = 30'
 - SIDE SETBACKS = 10' EACH, TWO REQUIRED; TOWN HOMES 15' EACH MIN. LOT SIZE = 60' FRONT WIDTH, CORNER 75' MIN., 8,000 SF. LOT SIZE.
 - THIS PROPERTY IS LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
 - THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1
 - CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
 - THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
 - THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
 - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
 - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
 - CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNERS ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
 - ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
 - PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
 - PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR.
 - VERTICAL DATUM IS BASED ON NAVD83.

SITE DATA

TOTAL SITE = 42.146 ACRES
 SINGLE FAMILY LOTS = 101
 TOWNHOMES = 04
 TOTAL UNITS = 195

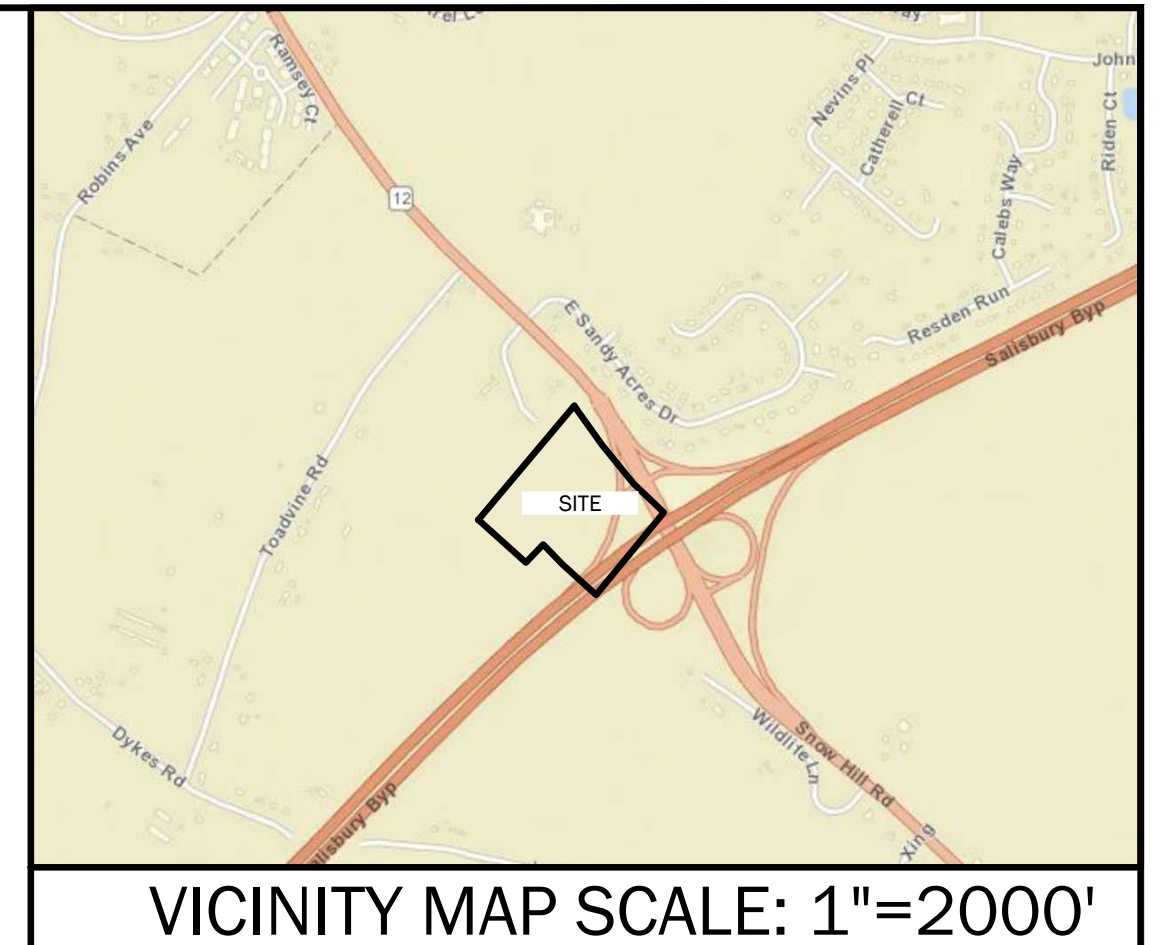
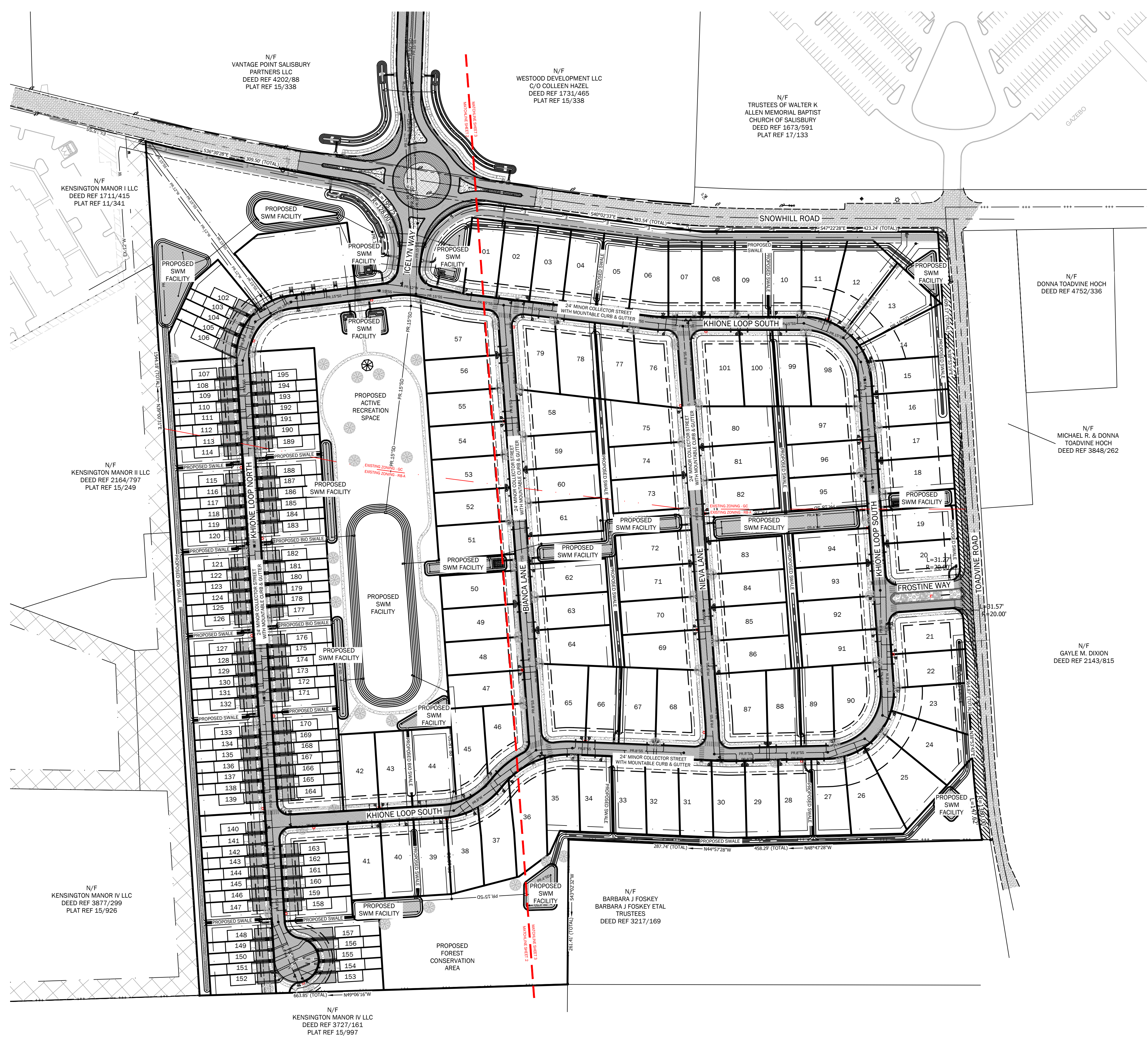
ESTIMATED WATER & SEWER USAGE
 (FROM DESIGN GUIDELINE FOR SEWERAGE FACILITIES)
 195 SINGLE FAMILY RESIDENCES
 250 GPD PER UNIT
 TOTAL PROJECT USAGE = 195 UNITS X 250 GPD/UNIT = 48,750 GPD
 1 EDU = 250 GPD = 48,750/250 = 195 EDUs for project

PARKING

TOWNS = 2 DRIVEWAY EACH
 SINGLE LOTS = 1 DRIVEWAY, 2 GARAGE

SPECIAL ZONING NOTE

60.30% OF SITE IS ZONED R8-A THEREFORE A SPECIAL EXCEPTION IS REQUESTED TO REZONE 100% OF PROPERTY TO BE R8-A



SHEET INDEX

Sheet Number	Sheet Title
1	TITLE SHEET
2	SITE PLAN - NORTH
3	SITE PLAN - SOUTH
4	PHASING PLAN
5	LANDSCAPE & LIGHTING PLAN
6	ELEVATIONS & FLOOR PLANS



SHEET 1 OF 6

GRAPHIC SCALE
 1 inch = 100 feet

REVISIONS

NO.	DATE	DESCRIPTION
01		

TITLE SHEET
VILLAGE AT SNOWFIELD
 Road Name: SNOWHILL ROAD & TOADVINE ROAD
 For: JASON MALONE - SNOWFIELD LLC
 CITY OF SALISBURY, MARYLAND

DATE: 01/30/24
 DRAWN BY: RBA/ABC
 CHECKED BY: JLM
 SCALE: 1" = 100'
 SHEET NO.: 02-008-FR-COMP-FINAL-PL-INDG

OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN. DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL (SETTING OF WATER METER) TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS, SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

JASON MALONE
 SNOWFIELD LLC
 PO BOX 1109
 ALLEN, MD 21810
 443-260-4775
 MALONEHOMES@COMCAST.NET

DATE: _____

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21739, EXPIRATION DATE: JULY 24, 2022 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21193, EXPIRATION DATE: JANUARY 25, 2026.

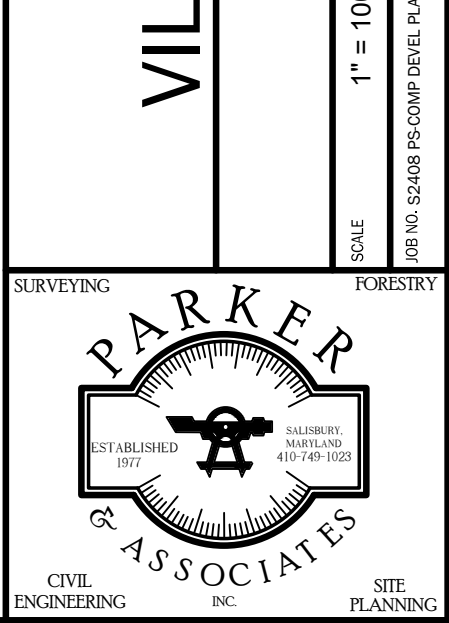
BROCK E. PARKER, P.E., R.L.S.
 528 RIVERSIDE DRIVE
 SALISBURY, MARYLAND 21801
 PHONE: (410) 749-1023 FAX: (410) 749-1012
 EMAIL: BROCK@PARKERANDASSOCIATES.ORG

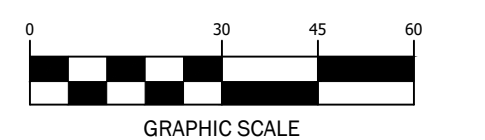
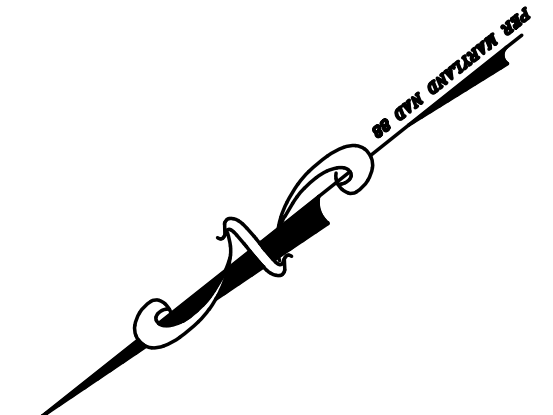
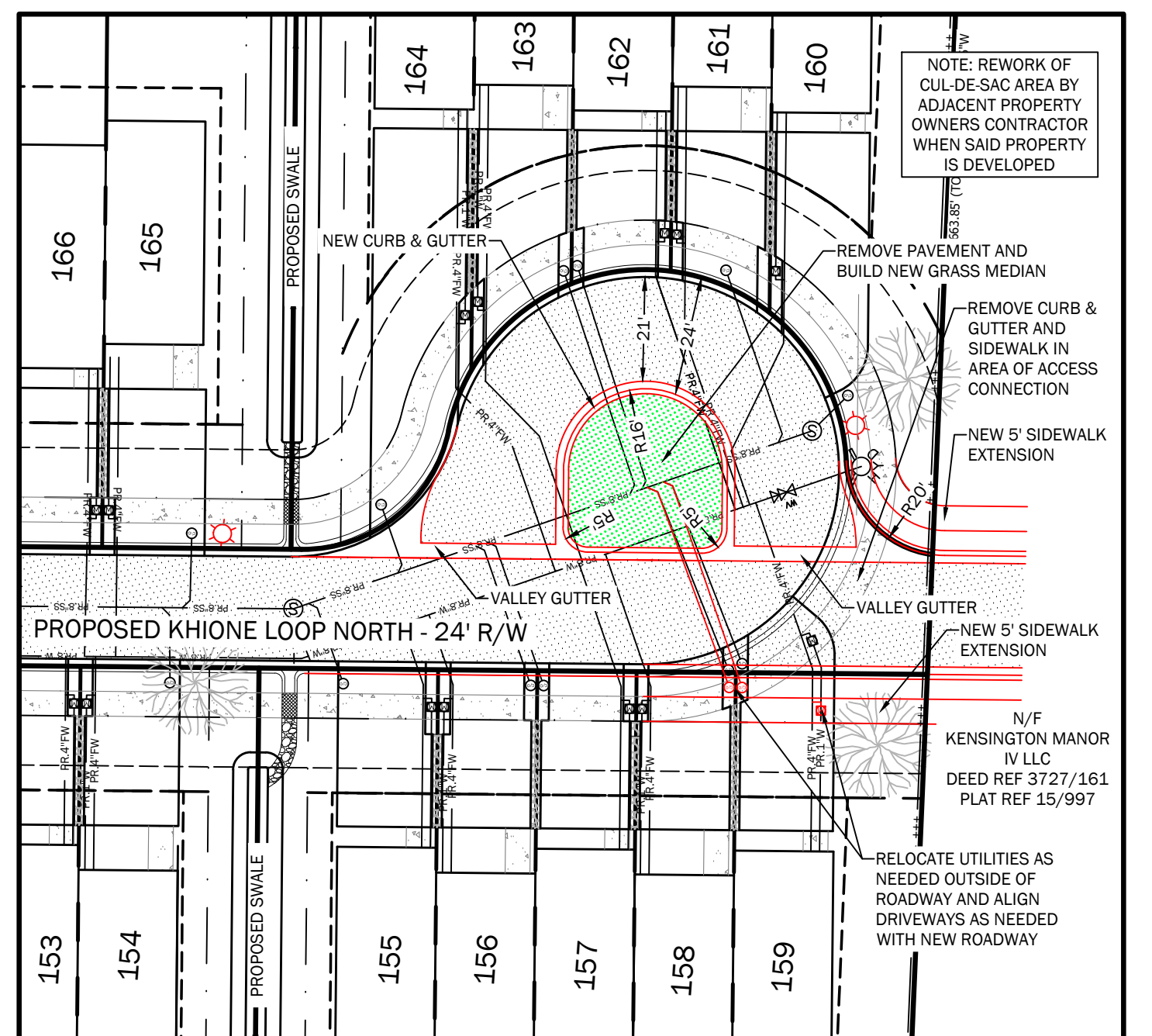
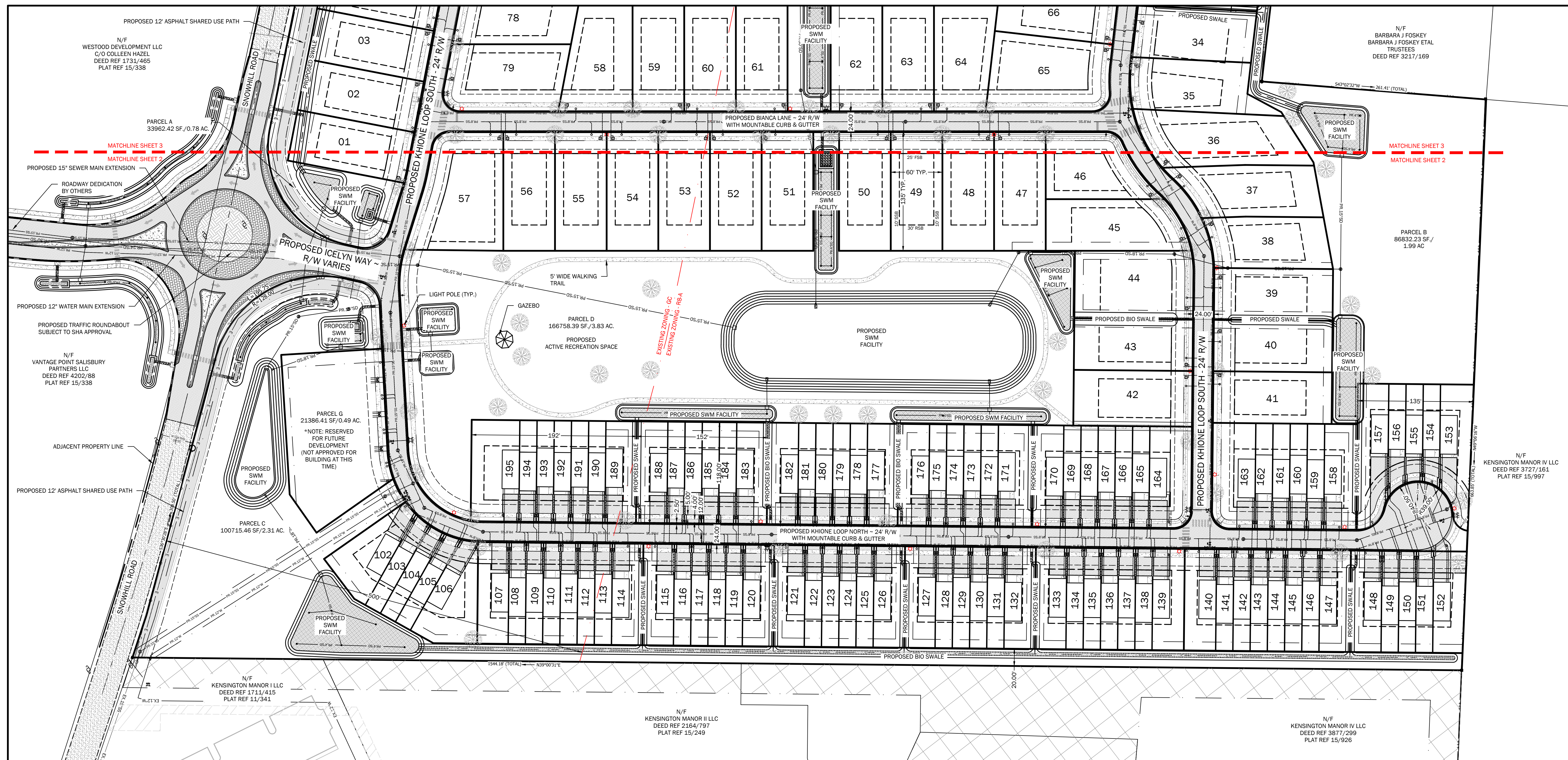
DATE: 02/08/2024

APPROVED: _____
 CITY OF SALISBURY
 DEPARTMENT OF INFRASTRUCTURE
 AND DEVELOPMENT
 CITY PROJECT # 22-008

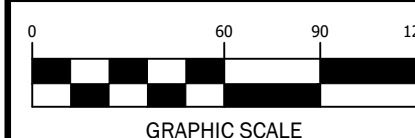
Richard D. Baldwin
 Director

DATE: _____





SHEET 2 OF 6

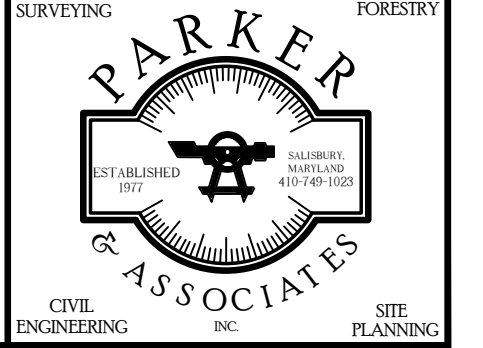


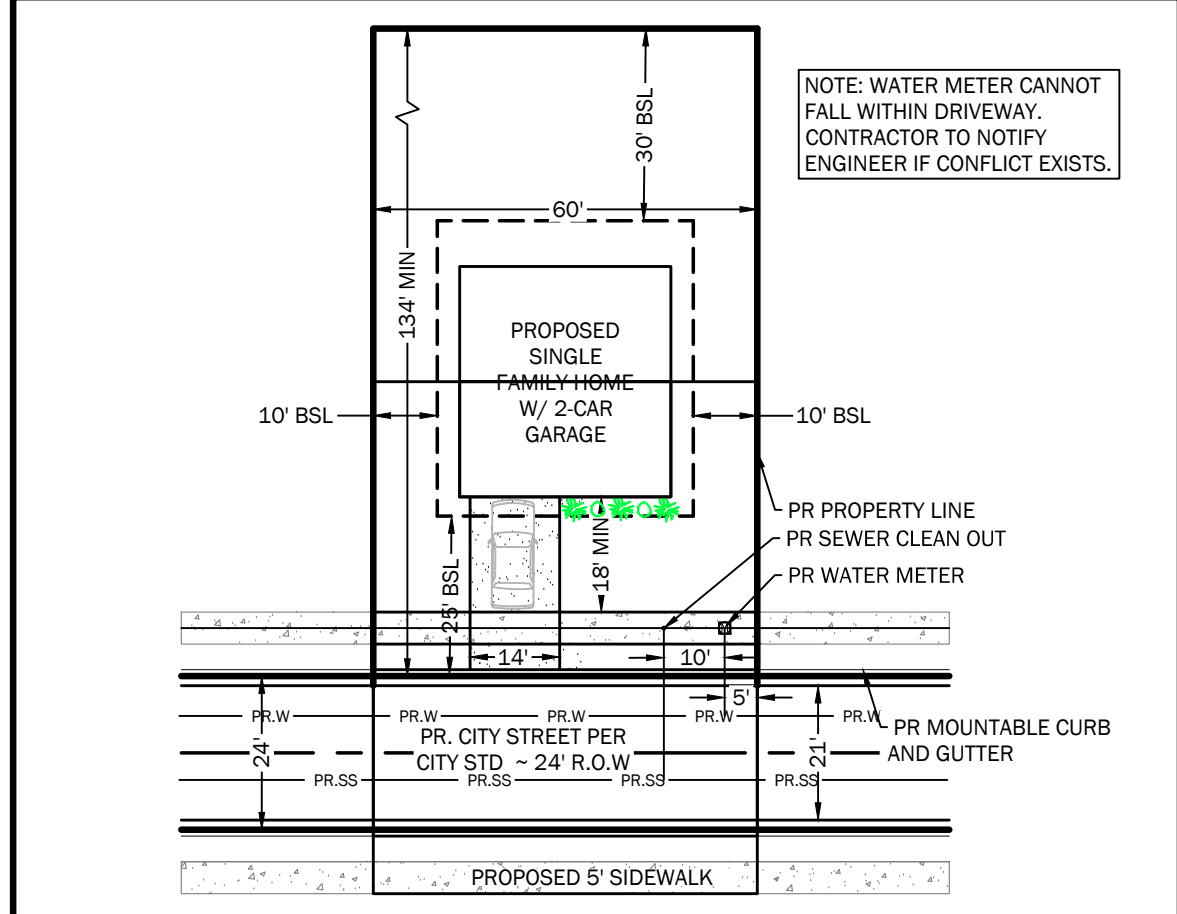
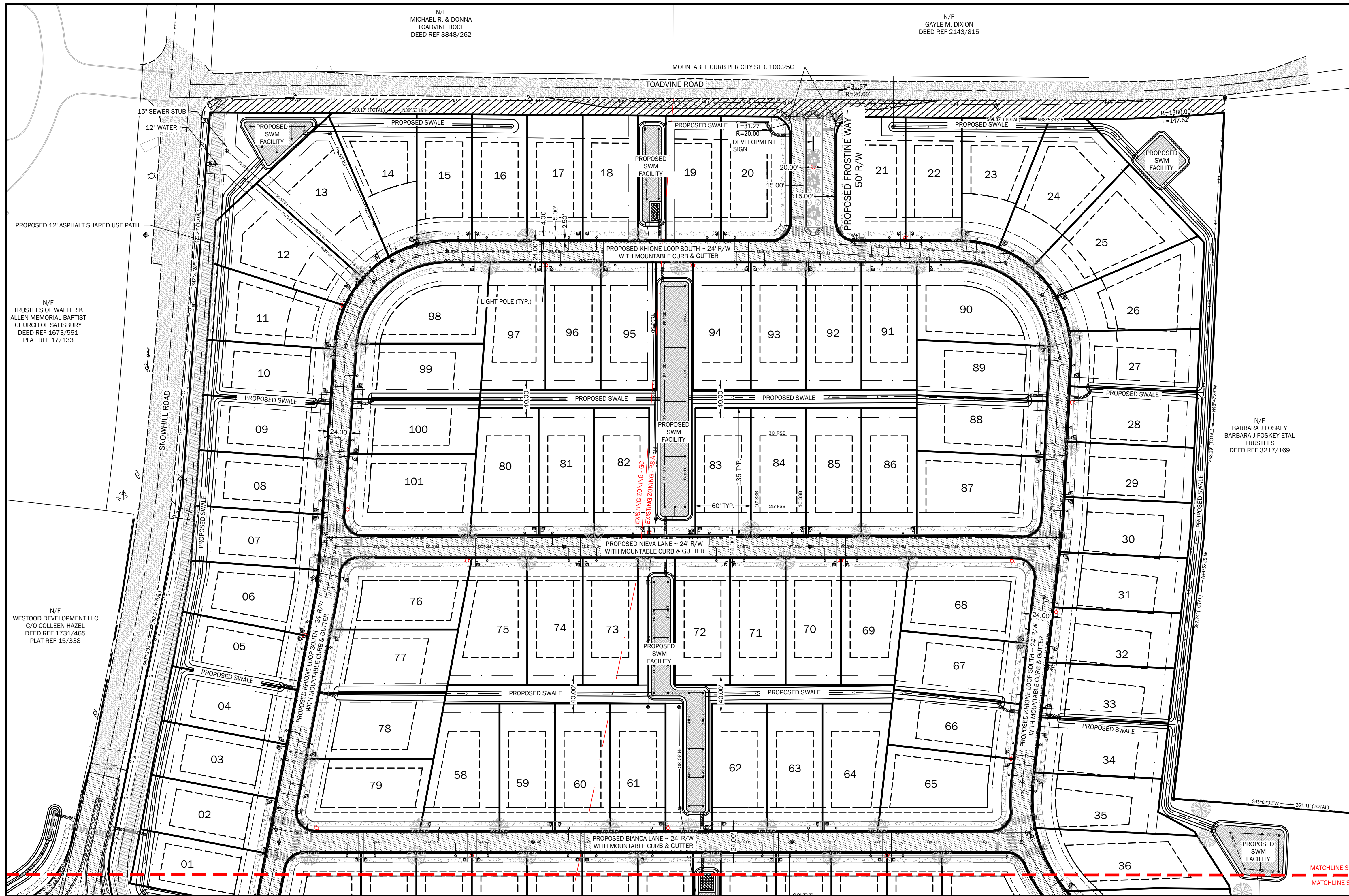
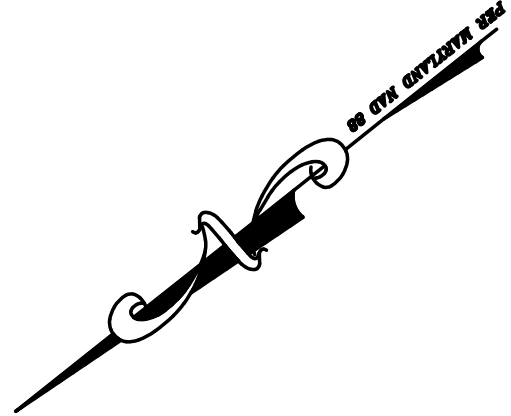
FINAL COMPREHENSIVE DEVELOPMENT PLAN

SITE PLAN
VILLAGE AT SNOWFIELD

Road Name: SNOWHILL ROAD & TOADLINE ROAD
For: JASON MALONE - SNOWFIELD LLC
CITY OF SALISBURY, MARYLAND

NO.	DATE	BY	APP.	DESCRIPTION
01	03/20/24	JM	492	PRELIMINARY
02	03/20/24	JM	492	FINAL



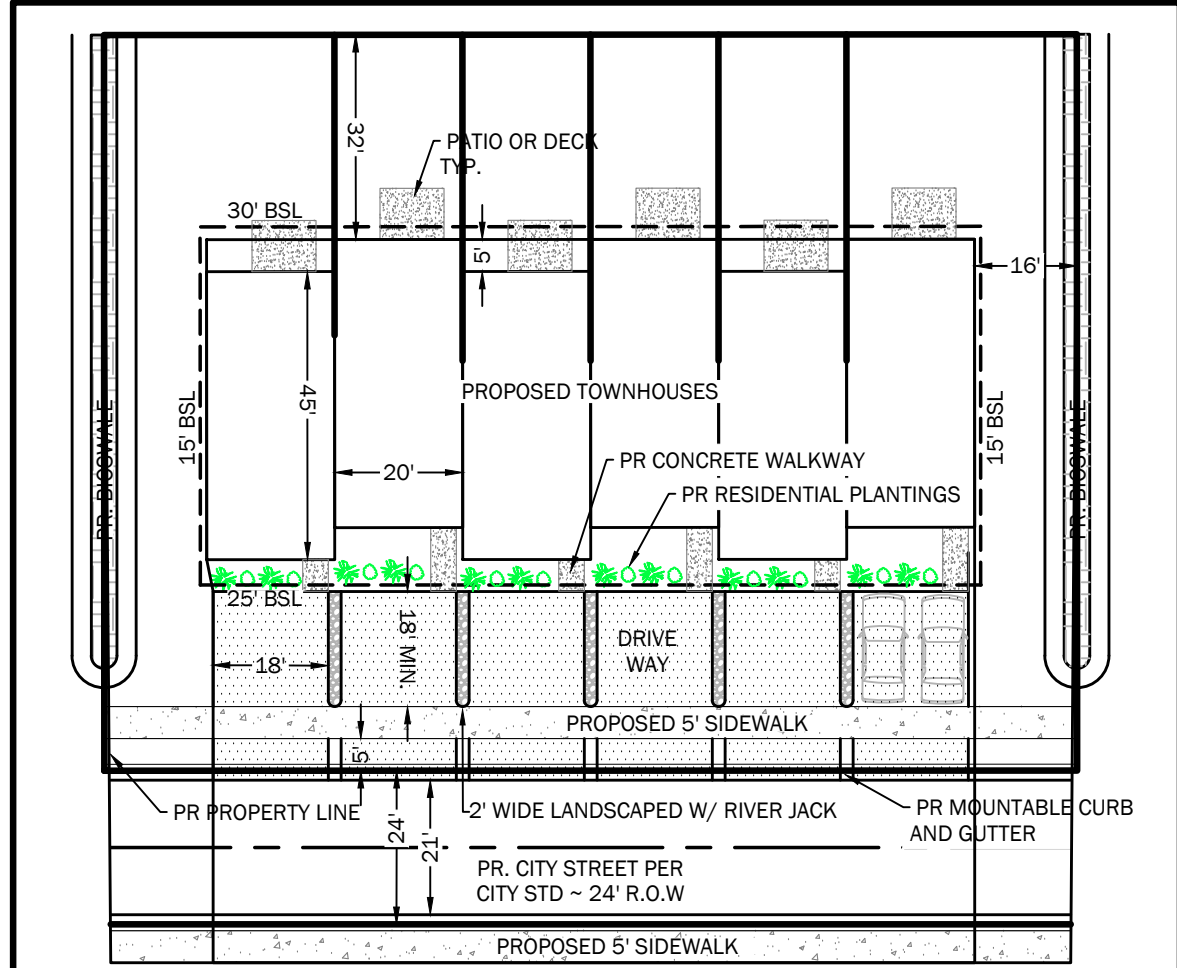


TYPICAL SINGLE FAMILY LOT DETAIL

MINIMUM LOT SIZE = 8,000 SF
1" = 30'

DEVELOPMENT STANDARDS
RESIDENTIAL DISTRICTS R-8A 17.160.060

MINIMUM LOT SIZE = 8,000 SF
MINIMUM LOT INTERIOR WIDTH = 60'
MINIMUM CORNER LOT WIDTH = 75'
SETBACKS:
FRONT: 25'
REAR: 30'
SIDE: 10' (TWO REQUIRED)
HEIGHT LIMITATION = 40'

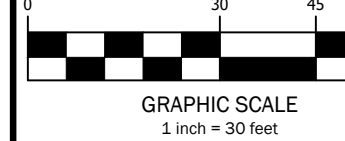


TYPICAL TOWNHOUSE UNIT DETAIL

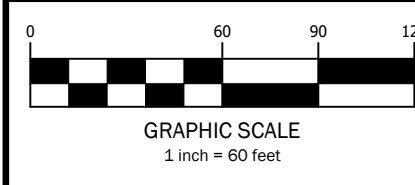
MINIMUM LOT SIZE = 2,000 SF
MINIMUM LOT INTERIOR WIDTH = 20'
MAXIMUM UNITS PER ROW = 8
SETBACKS:
FRONT: 25'
REAR: 30'
SIDE: 15'

TOWNHOUSE DEVELOPMENT STANDARDS
PER 17.224.030

MINIMUM LOT SIZE = 2,000 SF
MINIMUM LOT INTERIOR WIDTH = 20'
MAXIMUM UNITS PER ROW = 8
SETBACKS:
FRONT: 25'
REAR: 30'
SIDE: 15'
HEIGHT LIMITATION = 35' / 3.5 STORIES
MAXIMUM ALLOWABLE DENSITY = 8 UNITS/ACRE

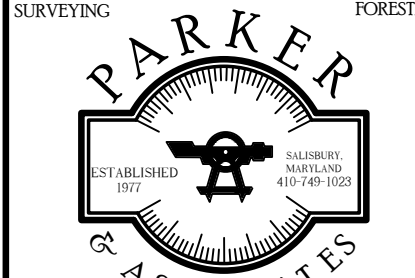


SHEET 3 OF 6

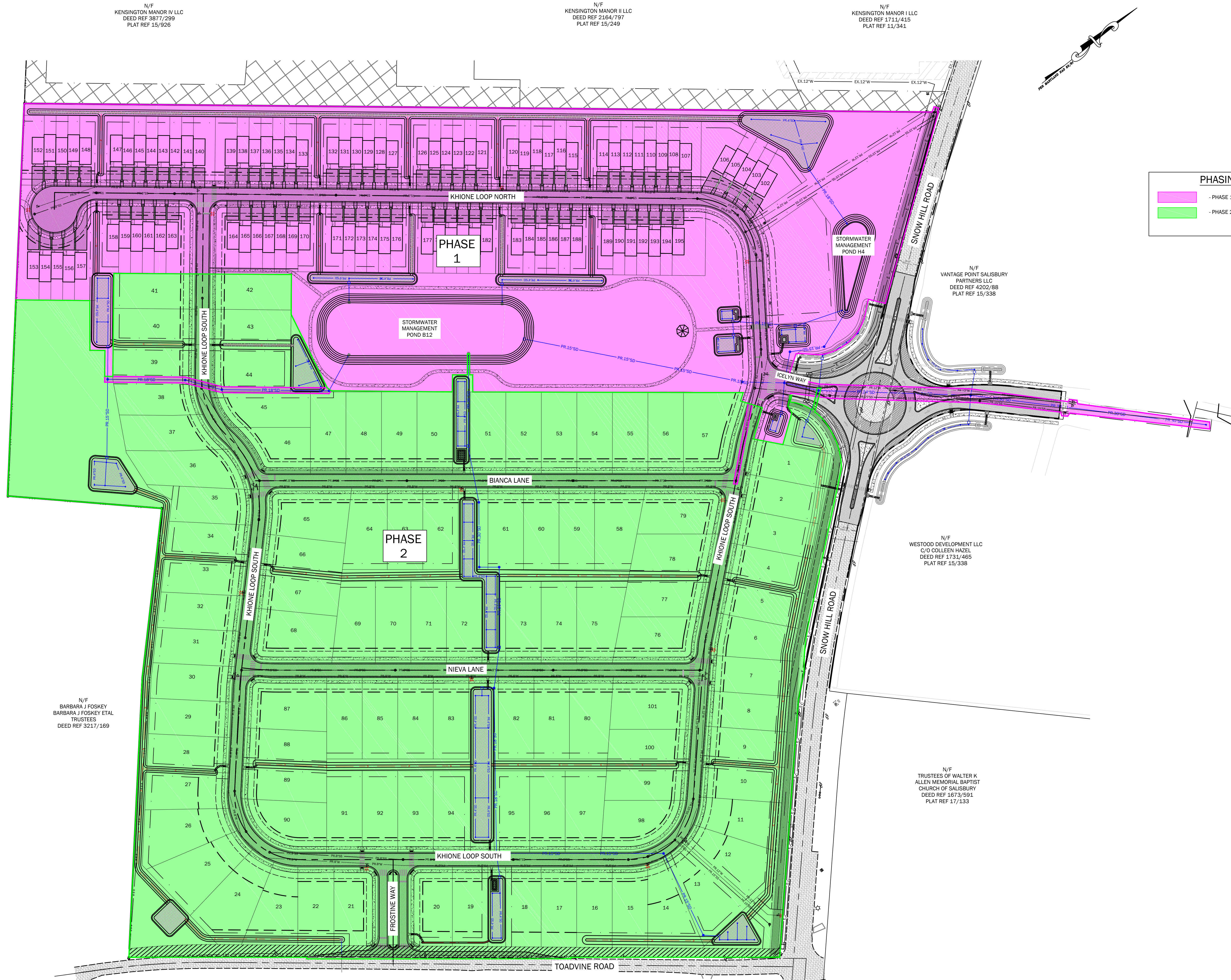


REVISIONS table with columns for DATE, DESCRIPTION, and DRAWN BY.

Project information including: SITE PLAN VILLAGE AT SNOWFIELD, Road Name: SNOWHILL ROAD & TOADVINE ROAD, For: JASON MALONE - SNOWFIELD LLC, CITY OF SALISBURY, MARYLAND. Includes a title block with drawing number 492 and date 01/30/24.



FINAL COMPREHENSIVE DEVELOPMENT PLAN

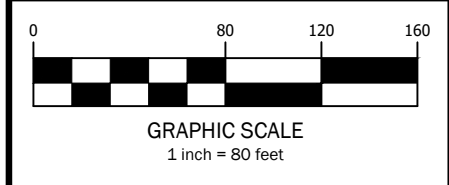


PHASING LEGEND

- PHASE 1: 102 TOWN HOME LOTS
- PHASE 2: 101 SINGLE FAMILY LOTS



SHEET 4 OF 6



REVISIONS	DATE	BY	CHK.

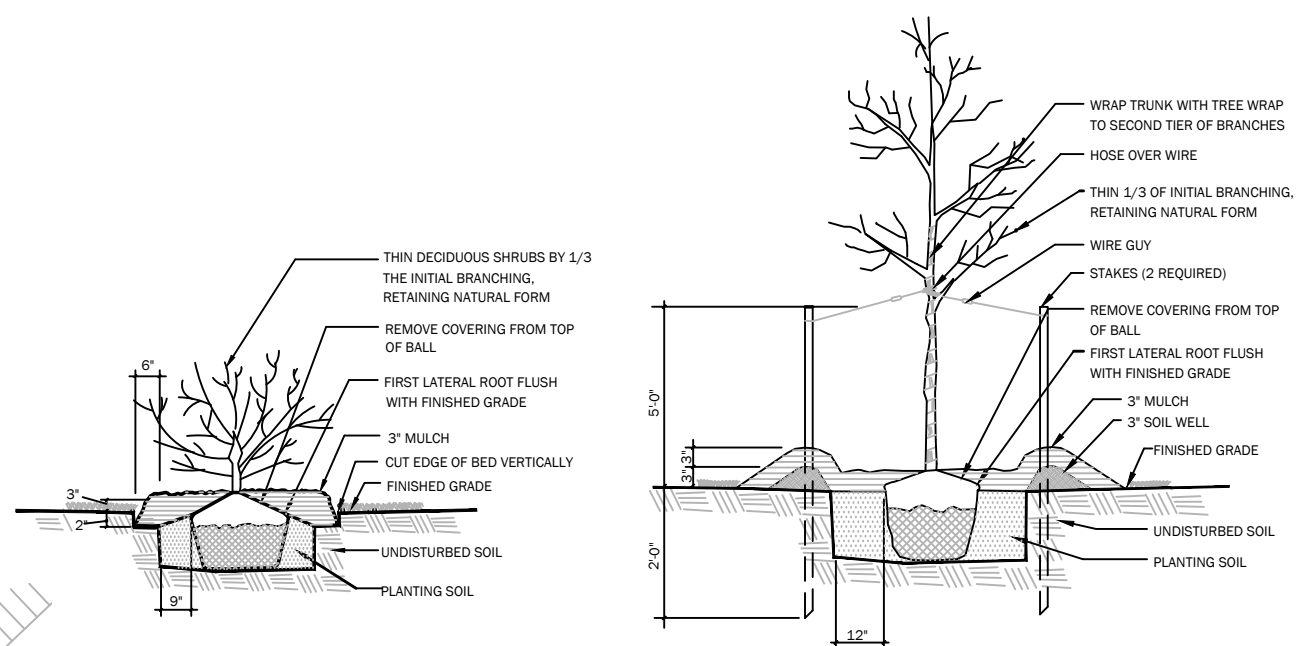
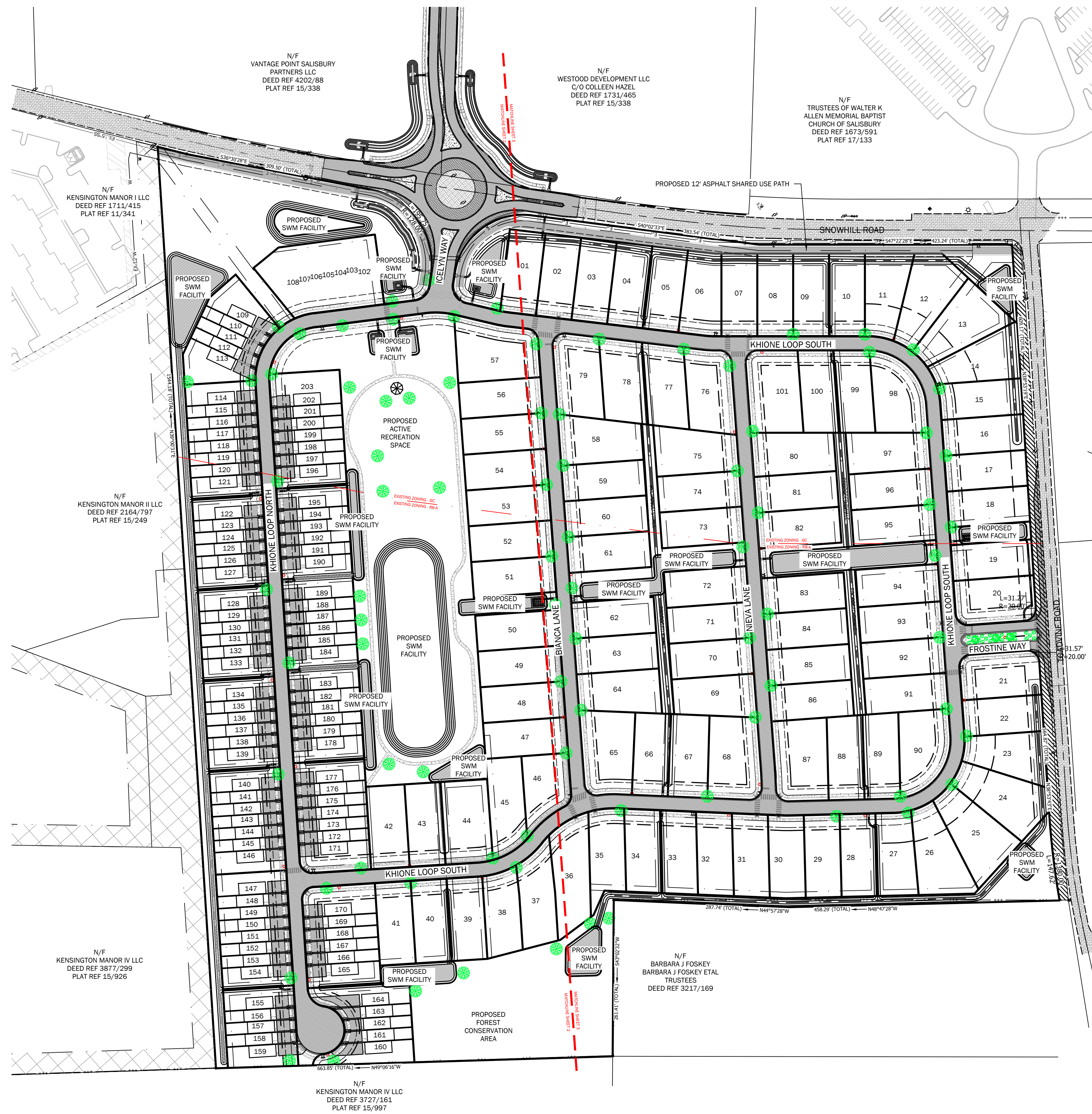
PHASING PLAN
VILLAGE AT SNOWFIELD
 Road Name: SNOWHILL ROAD & TOADVINE ROAD
 For: JASON MALONE - SNOWFIELD LLC.
 CITY OF SALISBURY, MARYLAND

SCALE	DATE	DATE	DATE	DATE
1" = 80'	01/30/24	04/08	04/08	11
DATE NO. 52408.PE.COMP.PHASING PLAN.DWG	DRAWNMAN	PROJECT	NO.	PH-1
		RBA/NBC	492	

PARKER & ASSOCIATES
 CIVIL ENGINEERING & ARCHITECTURE
 1000 W. MARKET STREET, SUITE 200
 SALISBURY, MD 21801
 TEL: 410.427.1000
 FAX: 410.427.1001
 WWW.PARKER-AND-ASSOCIATES.COM

FINAL COMPREHENSIVE DEVELOPMENT PLAN

Feb 08, 2024 1:07 pm



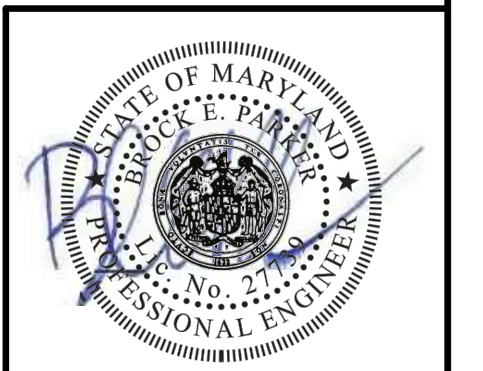
LANDSCAPE LEGEND:

	QUERCUS ALBA - WHITE OAK - 84 TOTAL
	LAGERSTROEMIA INDICA - CRAPE MYRTLE - 3 TOTAL
	ROSA KNOCK OUT - ROSE BUSH - 16 TOTAL

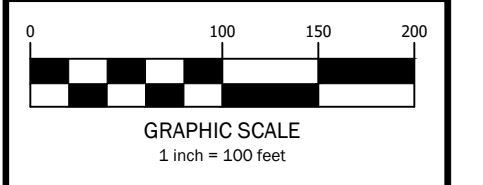
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR SHALL CONTACT 'MISS UTILITY' AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.

LIGHTING LEGEND:

	RESIDENTIAL ROAD ORNAMENTAL LIGHT FIXTURE PER CITY STD. 600.04
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SHEET 5 OF 6



REVISIONS	DATE	BY	CHK

LANDSCAPE & LIGHTING PLAN
VILLAGE AT SNOWFIELD

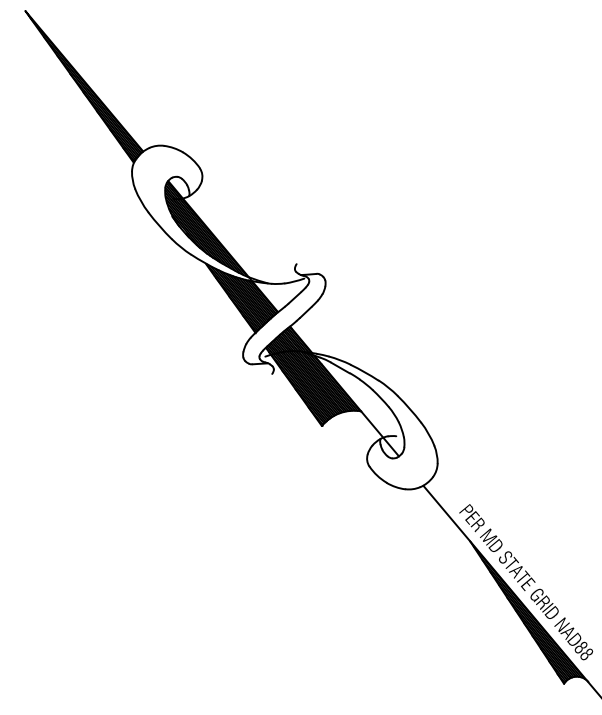
Road Name: SNOWHILL ROAD & TOADVINE ROAD
For: JASON MALONE - SNOWFIELD LLC.
CITY OF SALISBURY, MARYLAND

SCALE: 1" = 100'
JOB NO. 2408 PS-COMP LEVEL PLANNING

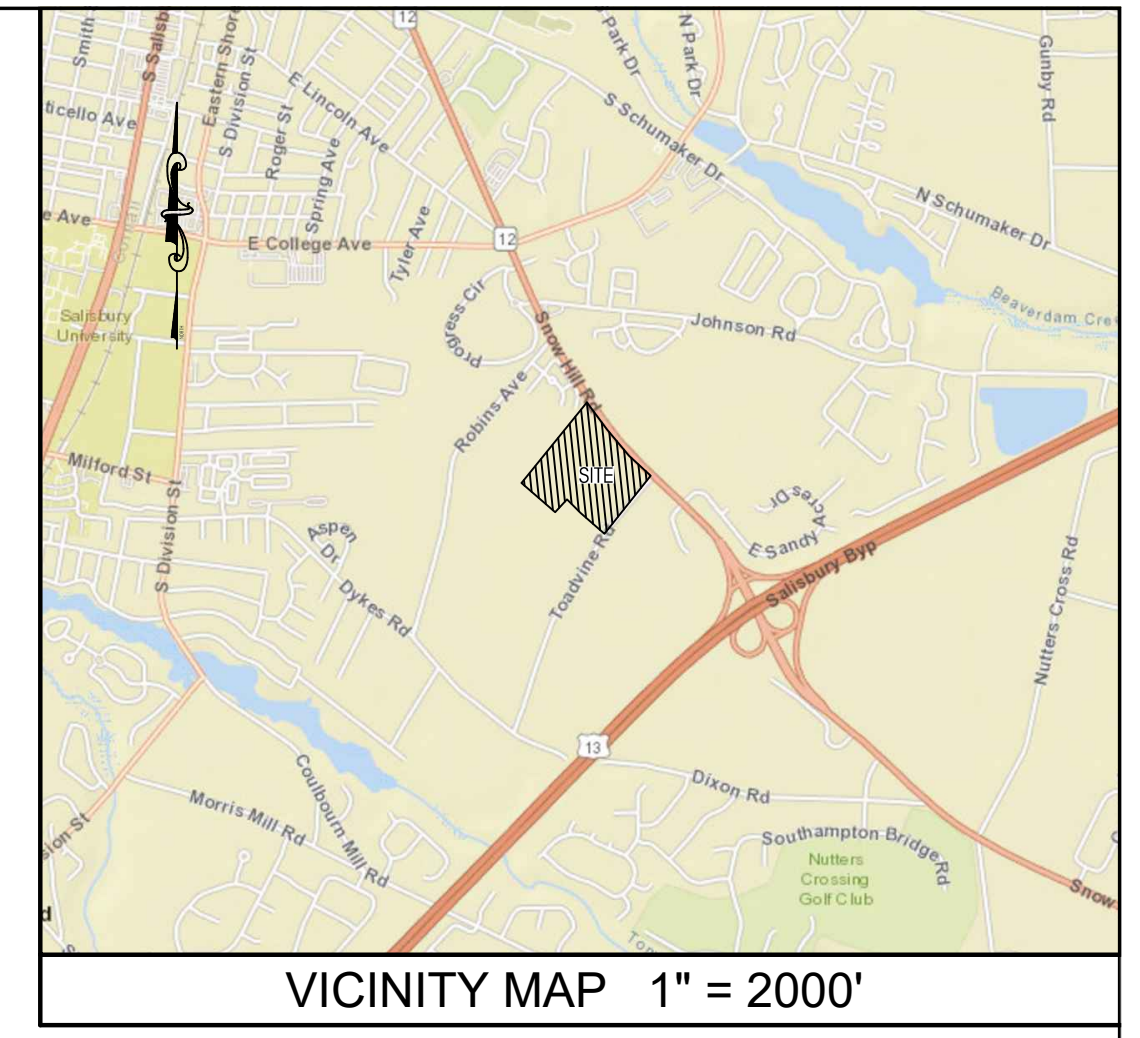
DATE	01/30/24	TRK MAP	48	GRID	11
DRAWNMAN	RBA/NBC	PINCEL	492		



Feb 08, 2024 1:07pm



SHEET	DESCRIPTION
1	TITLE SHEET
2	PLAN VIEW
3	PLAN VIEW/TABLES
4	PLAN VIEW/TABLES
5	PLAN VIEW/TABLES



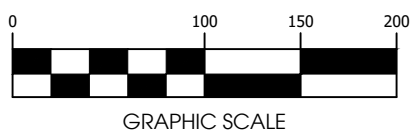
VICINITY MAP 1" = 2000'

GENERAL NOTES

- THE PROPERTIES SHOWN HEREON ARE CURRENTLY OWNED BY: SNOWFIELD LLC, ALLEN, MD 21810.
- DEED REFERENCE: 5127/355.
- THE PRESENT ZONING OF THIS PROPERTY IS: R8-A RESIDENTIAL.
- TOTAL AREA OF PROPERTY = 1,835,893.00 SQ. FT./42.15± ACRES.
- TOTAL NUMBER OF PROPOSED LOTS = 156 (SINGLE FAMILY = 101, TOWNHOUSES = 54).
- TOTAL AREA OF PROPOSED LOTS = 27.59± ACRES.
- TOTAL AREA OF PROPOSED ROAD: 3.70± ACRES.
- TOTAL NUMBER OF PROPOSED PARCELS = 8. TOTAL AREA = 10.40± ACRES.
- A STRIP ALONG TOADVINE ROAD IS HEREBY DEDICATED TO WICOMICO COUNTY FOR ROAD AND UTILITY PURPOSES. TOTAL AREA OF THIS DEDICATION = 19,875.90 SQUARE FEET/0.46± ACRES.
- THIS PROPERTY IS LOCATED ON CITY PROPERTY MAP NUMBER 206 AND 225.
- THIS PROPERTY IS LOCATED WITHIN G.P.R. MANAGEMENT ZONE A.
- THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY MAP #24045C0254E (PANEL 254 OF 375), DATED 08/17/15, AS BEING IN FLOOD ZONE X. AREA OF MINIMAL FLOODING.
- THIS SUBDIVISION PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHT-OF-WAYS THAT MIGHT BE REVEALED BY A THROUGH TITLE SEARCH.
- ALL FUTURE CONSTRUCTION SHALL CONFORM TO THE CITY OF SALISBURY CODE IN EFFECT AT THE TIME OF CONSTRUCTION.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT-OF-WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT.
- WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS SUBDIVISION SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS. PER CITY CODE SECTION 13.28.060 ITEM B.6: "IF A STORMWATER MANAGEMENT PLAN INVOLVES DIRECTION OF SOME OR ALL RUNOFF OFF OF THE SITE, IT IS THE RESPONSIBILITY OF THE DEVELOPER TO OBTAIN FROM ADJACENT PROPERTY OWNERS ANY EASEMENTS OR OTHER NECESSARY PROPERTY INTERESTS CONCERNING FLOWAGE OF WATER. APPROVAL OF A STORMWATER MANAGEMENT PLAN DOES NOT CREATE OR AFFECT ANY RIGHT TO DIRECT RUNOFF ONTO ADJACENT PROPERTY WITHOUT THAT PROPERTY OWNERS PERMISSION."
- OWNER/DEVELOPER, AND SUBSEQUENT OWNERS, THEIR SUCCESSORS AND ASSIGNS, SHALL NOT MODIFY THE INDIVIDUAL LOT GRADING PLANS AND/OR THE IMPROVEMENTS CONSTRUCTION PLAN, AS APPROVED BY THE SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT, WITH CONSTRUCTION, GRADING, OR LANDSCAPING.
- ALL NON-CITY UTILITIES, SUCH AS BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENT UNLESS WRITTEN CONSENT IS OBTAINED FROM THE CITY OF SALISBURY. NO CONSTRUCTION OF ANY STRUCTURAL IMPROVEMENTS, PLANT TREES, SHRUBS OR PLACE ANY LANDSCAPING OTHER THAN GRASS IN OR ON THE EASEMENT AREA, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENT HEREBY CONVEYED PERMITTED, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE THE CITY OF SALISBURY RIGHT IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- FINAL PLANNING COMMISSION APPROVAL WAS RECEIVED ON 09/01/2023.
- APPROVAL FROM THE BOARD OF APPEALS REGARDING THE SPECIAL EXCEPTION FOR ZONING WAS RECEIVED ON 09/01/2023.
- THE FOREST CONSERVATION LONG TERM AGREEMENT WAS RECORDED ON 12/2/2005 WITH A DEED REFERENCE OF 2515/525.

LEGEND

○	= IRON PIPE FOUND
●	= STONE FOUND
⊙	= IRON ROD W/CAP PLACED
□	= CONCRETE MONUMENT PLACED
■	= CONCRETE MONUMENT FOUND
⊕	= EXISTING UTILITY POLE
—	= EXISTING EDGE OF PAVING
---	= EXISTING CORPORATE LIMIT LINE
- - -	= EXISTING BUILDING SETBACK LINE
- · - · -	= EXISTING BUILDING SETBACK LINE
- · - · -	= EXISTING BUILDING SETBACK LINE
▨	= DRAINAGE AND MAINTENANCE EASEMENT
▨	= DEDICATION TO WICOMICO COUNTY FOR ROAD AND UTILITY PURPOSES



WICOMICO COUNTY FOREST CONSERVATION ACT

THIS SUBDIVISION IS BOUND BY THE AGREEMENTS AS SET FORTH IN FCA# 2005-27 ON FILE IN THE PLANNING OFFICE.

PLANNING DIRECTOR _____ DATE _____

WICOMICO COUNTY

COUNTY EXECUTIVE _____ DATE _____

APPROVED: City Project # 22-008
 CITY OF SALISBURY
 DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT

RICHARD D. BALDWIN _____ DATE _____
 DIRECTOR

THIS SUBDIVISION IS APPROVED IN ACCORDANCE WITH THE WICOMICO COUNTY COMPREHENSIVE WATER AND SEWERAGE PLAN AND WILL BE PROVIDED COMMUNITY WATER AND SEWER PROVIDED BY: THE CITY OF SALISBURY

WICOMICO COUNTY HEALTH DEPARTMENT _____ DATE _____

COMMUNITY WATER AND SEWER WILL BE AVAILABLE TO ALL LOTS OFFERED FOR SALE.

SNOWFIELD LLC _____ DATE _____
 C/O

OWNER'S CERTIFICATION

WE CERTIFY THAT THE REQUIREMENTS OF "REAL PROPERTY SECTION 3-108 OF THE ANNOTATED CODE OF MARYLAND, LATEST EDITION, AS FAR AS IT CONCERNS THE MAKING OF THIS PLAT AND THE SETTING OF THE MONUMENTS HAVE BEEN COMPLIED WITH TO THE BEST OF MY KNOWLEDGE.

[Signature] _____ DATE 02/08/2024
 BROCK E. PARKER
 REGISTERED PROFESSIONAL LAND SURVEYOR
 LIC. #21193 RENEWAL DATE 01/25/2026

OWNER/REPRESENTATIVE: (SIGN & PRINT) _____ DATE _____
 SNOWFIELD LLC
 C/O
 PO BOX 1109
 ALLEN, MD 21810



SHEET 1 OF 5

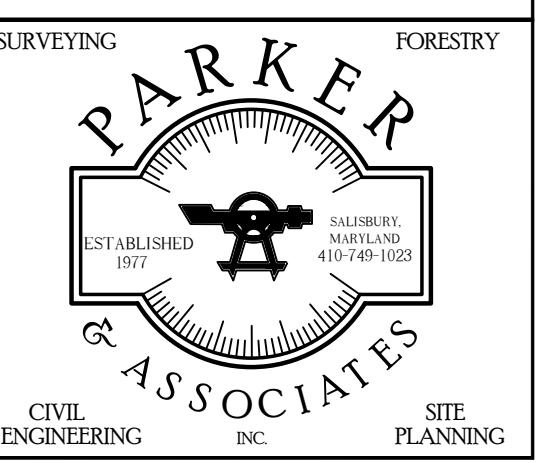
DATE	BY
12/01/2023	EDR
12/27/2023	EDR
12/28/2023	EDR
02/08/2024	EDR

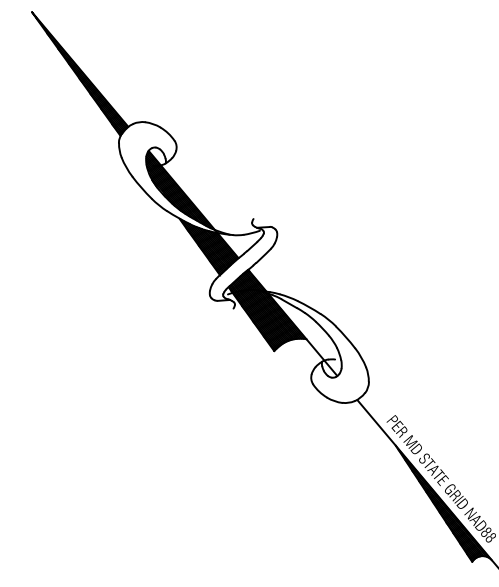
SUBDIVISION PLAT OF THE VILLAGE AT SNOWFIELD FOR: SNOWFIELD LLC

LOCATION: CITY OF SALISBURY, SALISBURY ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

SCALE: 1" = 100' DATE: 09/01/2023 TAX MAP: 48

DWG: S2408-PS-FINAL SUB JOB NO.: S2408 DRAWN BY: EDR PARCEL: 492





N/F
KENSINGTON MANOR I LLC
DEED REF 1711/415
PLAT REF 11/341
PARCEL 491, LOT 1

N/F
KENSINGTON MANOR II LLC
DEED REF 2164/797
PLAT REF 15/249
PARCEL 491, LOT 2A

N/F
VANTAGE POINT SALISBURY
PARTNERS I LLC
DEED REF 4202/88
PLAT REF 15/338
PARCEL 415

N/F
WESTWOOD DEVELOPMENT LLC
DEED REF 1731/465
PLAT REF 15/338
PARCEL 285

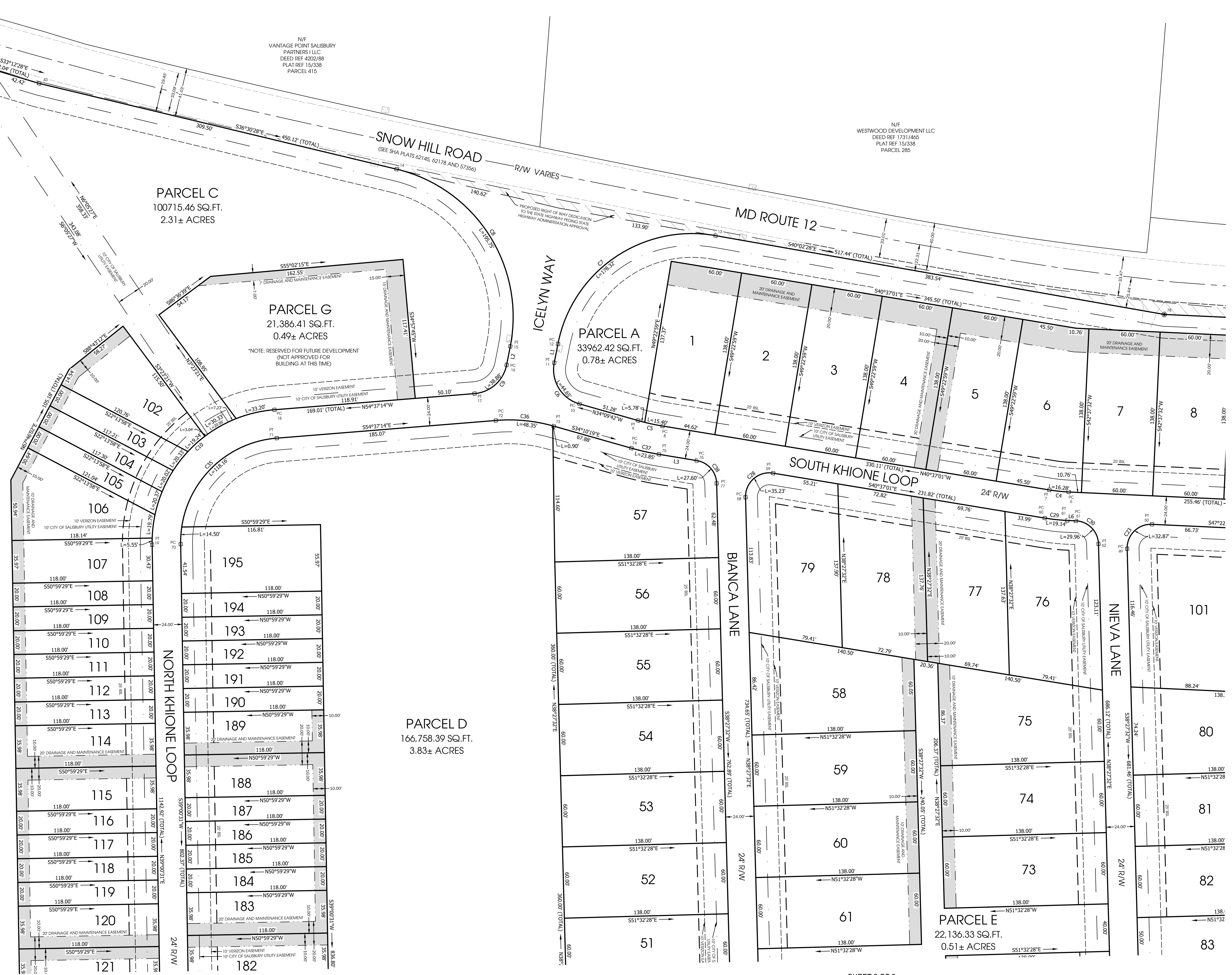
PARCEL C
100715.46 SQ.FT.
2.31± ACRES

PARCEL G
21,386.41 SQ.FT.
0.49± ACRES
*NOTE: RESERVED FOR FUTURE DEVELOPMENT
(NOT APPROVED FOR
BUILDING AT THIS TIME)

PARCEL A
33962.42 SQ.FT.
0.78± ACRES

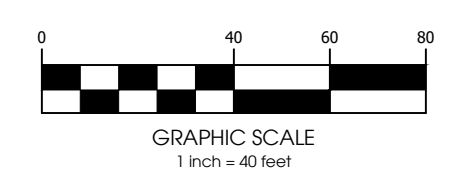
PARCEL D
166,758.39 SQ.FT.
3.83± ACRES

PARCEL E
22,136.33 SQ.FT.
0.51± ACRES

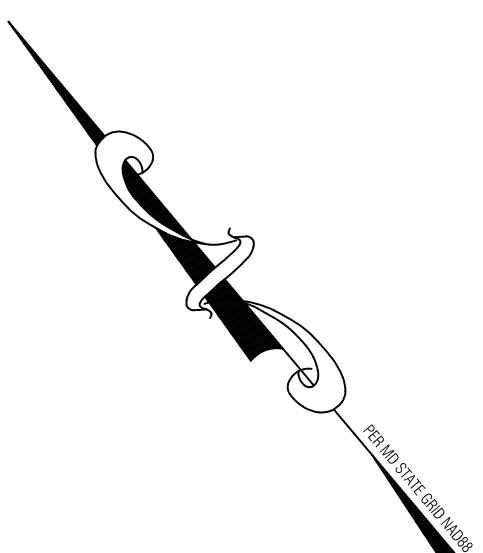


SEE SHEET 4 OF 5

SEE SHEET 3 OF 5



REVISIONS		SUBDIVISION PLAT OF THE VILLAGE AT SNOWFIELD FOR: SNOWFIELD LLC			
DATE	BY	LOCATION	DATE	TAX MAP	
12/01/2023	EDR	CITY OF SALISBURY	09/01/2023	48	
12/27/2023	EDR	SALISBURY ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND			
12/28/2023	EDR				
02/08/2024	EDR				
DWG: S2408-PS-FINAL SUB	JOB NO: S2408	DRAWN BY: EDR	PARCEL: 492		



N/F
WESTWOOD DEVELOPMENT LLC
DEED REF 1731/465
PLAT REF 15/336
PARCEL 285

N/F
TRUSTEES OF WALTER K
ALLEN MEMORIAL BAPTIST
CHURCH OF SALISBURY
DEED REF 1673/591
PLAT REF 17/133
PARCEL 286



PARCEL E
22,136.33 SQ. FT.
0.51± ACRES

PARCEL F
21,890.01 SQ. FT.
0.50± ACRES

N/F
MICHAEL R AND
DONNA TOADVINE HOCH
DEED REF 3848/262
PARCEL 479

N/F
GAYLE M DIXON
DEED REF 2143/815
PARCEL 488

LOT #	SQUARE FOOT	ACRE
1	8276.77	0.19
2	8280.00	0.19
3	8280.00	0.19
4	8280.00	0.19
5	8280.00	0.19
6	8886.12	0.20
7	8280.00	0.19
8	8280.00	0.19
9	8280.00	0.19
10	8280.00	0.19
11	9283.06	0.21
12	10915.85	0.25
13	11073.50	0.25
14	9570.90	0.22
15	8255.90	0.19
16	8180.46	0.19
17	8153.46	0.19
18	8126.45	0.19
19	8085.94	0.19
20	9899.26	0.23
21	9825.93	0.23
22	8101.54	0.19
23	9301.00	0.21
24	11469.28	0.26
25	11523.02	0.26
26	10769.23	0.25
27	8920.20	0.20

LOT #	SQUARE FOOT	ACRE
28	8280.00	0.19
29	8280.00	0.19
30	8289.48	0.19
31	8298.57	0.19
32	8298.57	0.19
33	8298.57	0.19
34	8298.57	0.19
35	8763.67	0.20
36	11104.42	0.25
37	9347.74	0.21
38	8215.00	0.19
39	8280.28	0.19
40	8280.00	0.19
41	8280.00	0.19
42	8929.98	0.21
43	8280.00	0.19
44	10881.56	0.25
45	9426.37	0.22
46	8234.13	0.19
47	8280.00	0.19
48	8280.00	0.19
49	8280.00	0.19
50	8280.00	0.19
51	8280.00	0.19
52	8280.00	0.19
53	8280.00	0.19
54	8280.00	0.19

LOT #	SQUARE FOOT	ACRE
55	8280.00	0.19
56	8280.00	0.19
57	12977.62	0.30
58	10106.07	0.23
59	8280.00	0.19
60	8280.00	0.19
61	8280.00	0.19
62	8280.00	0.19
63	8280.00	0.19
64	9367.79	0.22
65	11906.25	0.27
66	8268.88	0.19
67	9004.09	0.21
68	11799.36	0.27
69	9093.28	0.21
70	8280.00	0.19
71	8280.00	0.19
72	8280.00	0.19
73	8280.00	0.19
74	8280.00	0.19
75	10099.20	0.23
76	10736.18	0.25
77	9432.17	0.22
78	9855.05	0.23
79	10630.07	0.24
80	9553.86	0.22
81	8280.00	0.19

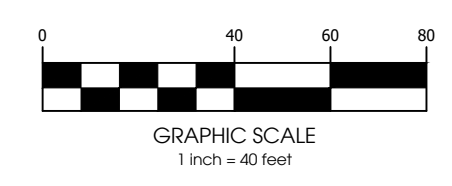
LOT #	SQUARE FOOT	ACRE
82	8280.00	0.19
83	8280.00	0.19
84	8280.00	0.19
85	8280.00	0.19
86	8280.00	0.19
87	12047.69	0.28
88	8395.36	0.19
89	8565.39	0.20
90	10480.45	0.24
91	8280.00	0.19
92	8280.00	0.19
93	8280.00	0.19
94	8661.59	0.20
95	8280.00	0.19
96	8280.00	0.19
97	8970.69	0.21
98	10396.92	0.24
99	8274.82	0.19
100	8275.99	0.19
101	12040.16	0.28
102	5373.89	0.12
103	2372.78	0.05
104	2338.49	0.05
105	2376.44	0.05
106	6083.19	0.14
107	4247.57	0.10
108	2359.31	0.05

LOT #	SQUARE FOOT	ACRE
109	2359.31	0.05
110	2359.31	0.05
111	2359.31	0.05
112	2359.31	0.05
113	2359.31	0.05
114	4247.31	0.10
115	4245.96	0.10
116	2360.66	0.05
117	2359.31	0.05
118	2359.31	0.05
119	2359.31	0.05
120	4247.31	0.10
121	4247.31	0.10
122	2359.31	0.05
123	2359.31	0.05
124	2359.31	0.05
125	2359.31	0.05
126	4247.31	0.10
127	4247.31	0.10
128	2359.31	0.05
129	2359.31	0.05
130	2359.31	0.05
131	2359.31	0.05
132	4247.31	0.10
133	4246.62	0.10
134	2360.00	0.05
135	2359.31	0.05

LOT #	SQUARE FOOT	ACRE
136	2359.31	0.05
137	2359.31	0.05
138	2360.00	0.05
139	4364.62	0.10
140	4365.31	0.10
141	2359.31	0.05
142	2359.31	0.05
143	2359.31	0.05
144	2359.31	0.05
145	2359.31	0.05
146	2359.31	0.05
147	4247.31	0.10
148	4261.48	0.10
149	2359.31	0.05
150	2359.31	0.05
151	2359.31	0.05
152	4326.49	0.10
153	5438.49	0.12
154	2324.38	0.05
155	2274.61	0.05
156	2455.41	0.06
157	5801.16	0.13
158	4673.15	0.11
159	2453.48	0.06
160	2453.48	0.06
161	2453.48	0.06
162	2453.48	0.06

LOT #	SQUARE FOOT	ACRE
163	6048.94	0.14
164	5695.47	0.13
165	2359.31	0.05
166	2359.31	0.05
167	2359.31	0.05
168	2359.31	0.05
169	2359.31	0.05
170	4247.31	0.10
171	4718.62	0.11
172	2359.31	0.05
173	2359.31	0.05
174	2359.31	0.05
175	2359.31	0.05
176	4247.31	0.10
177	4247.31	0.10
178	2359.31	0.05
179	2359.31	0.05
180	2359.31	0.05
181	2359.31	0.05
182	4247.31	0.10
183	4247.31	0.10
184	2359.31	0.05
185	2359.31	0.05
186	2359.31	0.05
187	2359.31	0.05
188	4247.31	0.10
189	4247.31	0.10

LOT #	SQUARE FOOT	ACRE
190	2359.31	0.05
191	2359.31	0.05
192	2359.31	0.05
193	2359.31	0.05
194	2359.31	0.05
195	6600.91	0.15



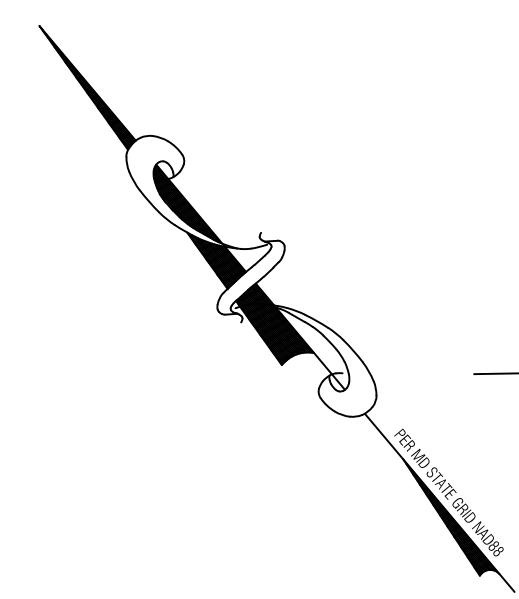
REVISIONS

DATE	BY
12/01/2023	EDR
12/27/2023	EDR
12/28/2023	EDR
02/08/2024	EDR

SUBDIVISION PLAT
OF
THE VILLAGE AT SNOWFIELD
FOR: SNOWFIELD LLC

LOCATION	CITY OF SALISBURY SALISBURY ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND		
SCALE	1" = 40'	DATE	09/01/2023
TAX MAP	48	PARCEL	492
DWG. S2408-PS-FINAL SUB	JOB NO. S2408	DRAWN BY	EDR





SEE SHEET 2 OF 5

PARCEL D
166,758.39 SQ.FT.
3.83± ACRES

PARCEL B
86,832.23 SQ.FT.
1.99± ACRES

PARCEL E
22,136.33 SQ.FT.
0.51± ACRES

N/F
KENSINGTON MANOR II LLC
DEED REF 2164797
PLAT REF 15/249
PARCEL 491, LOT 2A

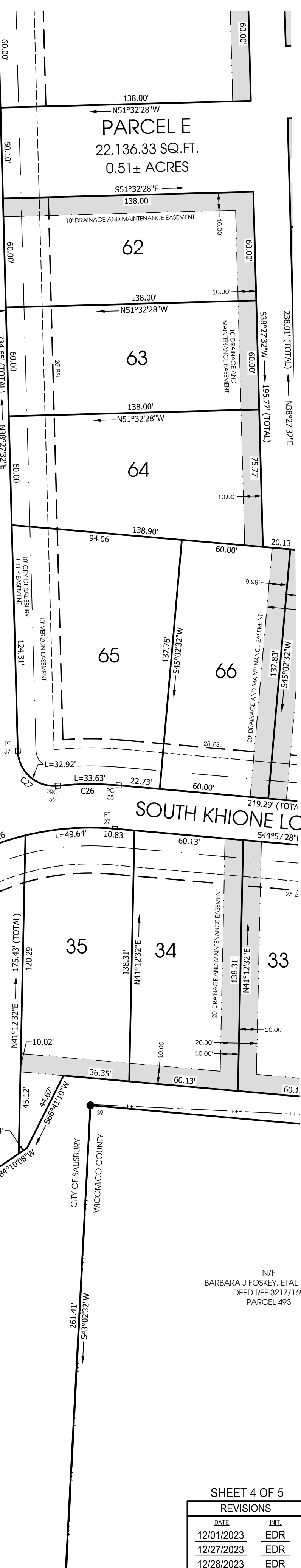
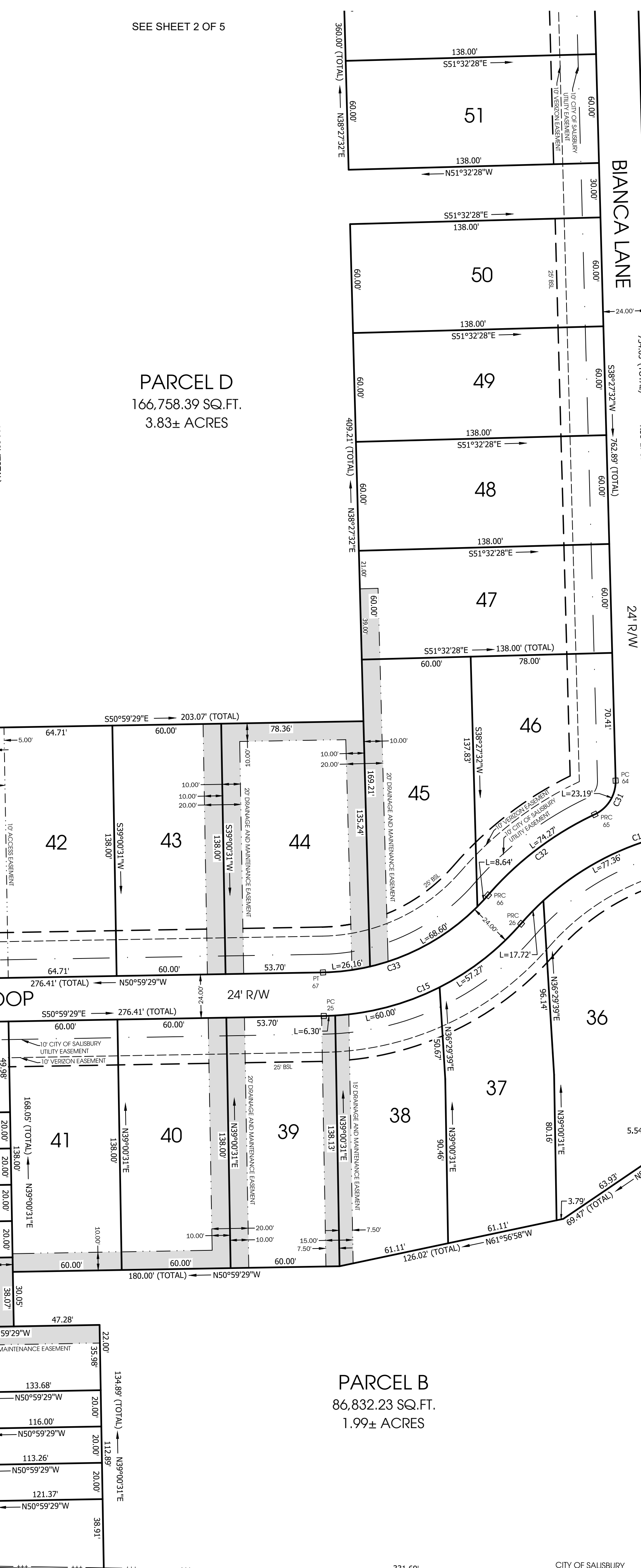
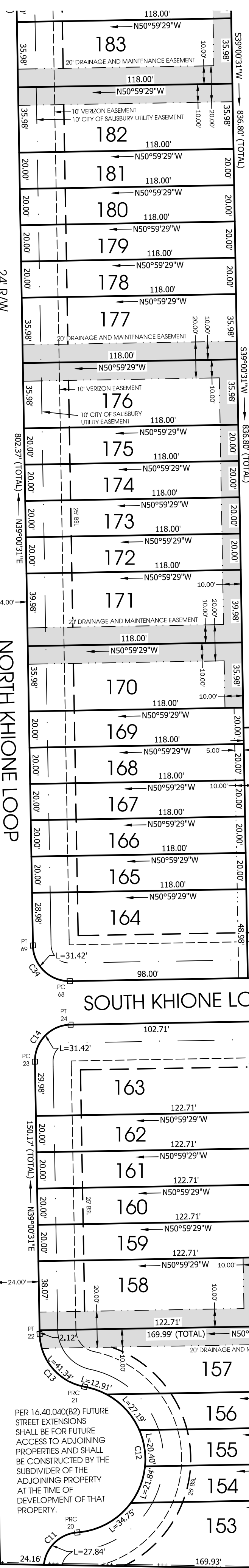
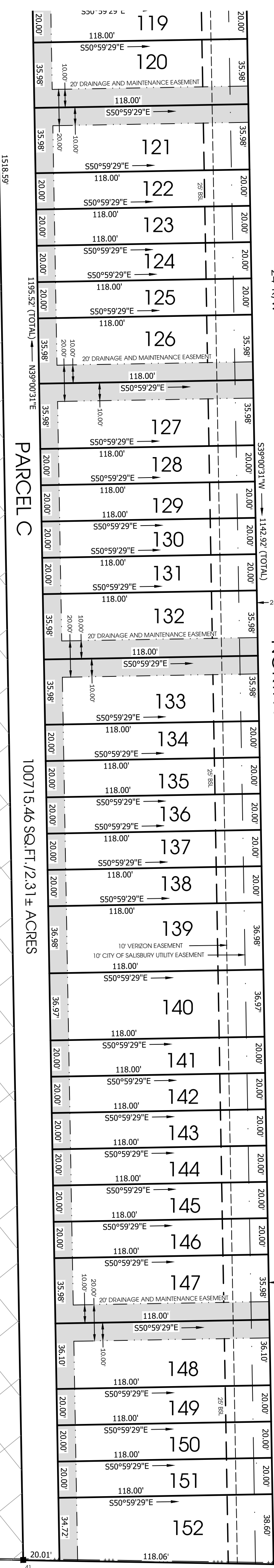
N/F
KENSINGTON MANOR I LLC
DEED REF 1711415
PLAT REF 11/341
PARCEL 491, P/O LOT 1

EXISTING FOREST
CONSERVATION
EASEMENT

N/F
KENSINGTON MANOR IV LLC
DEED REF 3877299
PLAT REF 15/526
PARCEL 491, LOT 3B

N/F
KENSINGTON MANOR VI LLC
DEED REF 3727161
PLAT REF 15/997
PARCEL 494

N/F
BARBARA J FOSKEY, ETAL TRUSTEES
DEED REF 3217169
PARCEL 493

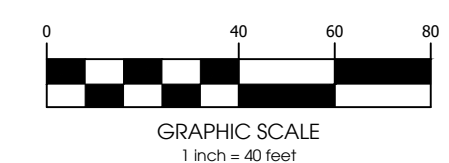


POINT #	NORTHING	EASTING
1	247389.3058	1720682.3182
2	247447.8487	1720608.6112
3	247475.9489	1720605.3892
4	247751.7953	1720824.4846
5	247917.4407	1720811.5709
6	248090.4386	1720623.6059
7	248102.1407	1720612.3068
8	248352.7239	1720397.4032
9	248369.5435	1720384.5487
10	248411.9723	1720355.7555
11	248452.1706	1720361.7465
12	248462.3485	1720374.3670
13	248446.8172	1720534.5988
14	248662.3589	1720364.8075
15	248486.5710	1720342.2766
16	248476.5496	1720329.8501
17	248475.4419	1720293.6477
18	248573.2953	1720155.8506
19	248552.4750	1720003.9741
20	247650.4210	1719328.4126
21	247709.3203	1719383.0884

POINT #	NORTHING	EASTING
22	247747.4676	1719382.7745
23	247864.1567	1719477.2970
24	247867.1089	1719505.4268
25	247693.1243	1719720.2129
26	247662.2230	1719836.1280
27	247619.2794	1719968.7373
28	247424.3464	1720163.3829
29	247414.6524	1720173.7329
30	247301.1850	1720303.3050
31	247317.0888	1720479.2120
32	247405.4740	1720549.4134
33	247408.6960	1720577.5135
34	247350.5730	1720650.6918
35	247322.3557	1720653.8201
36	247125.3028	1720494.8825
37	247005.6708	1720408.5239
38	247307.5957	1720063.7463
39	247511.2054	1719860.4367
40	247320.1903	1719882.0487
41	247754.7636	1719180.2037
42	248954.6716	1720152.1733

POINT #	NORTHING	EASTING
43	248911.1300	1720180.6746
44	247332.0156	1720460.4187
45	247319.2405	1720319.1163
46	247434.9068	1720187.0332
47	247463.3772	1720185.3839
48	247488.5940	1720206.7765
49	248022.2147	1720630.6133
50	248024.4915	1720659.8185
51	247899.7815	1720795.3181
52	247766.7222	1720805.6913
53	247481.8658	1720169.7340
54	247481.0607	1720140.6683
55	247636.2374	1719985.7204
56	247657.6415	1719959.8464
57	247686.6308	1719955.4143
58	248261.9036	1720412.3339
59	248262.4845	1720443.1766
60	248086.5418	1720594.0674
61	248068.5823	1720612.1039
62	248040.9061	1720614.8101
63	247503.5208	1720187.9832

POINT #	NORTHING	EASTING
64	247689.1205	1719926.7425
65	247682.2309	1719905.9432
66	247685.9173	1719832.3096
67	247711.7735	1719735.3194
68	247885.7581	1719520.5333
69	247913.8879	1719517.5811
70	248537.3685	1720022.6233
71	248553.7272	1720141.9548
72	248446.5740	1720292.8480
73	248411.5692	1720327.1226
74	248355.4073	1720365.2498
75	248336.4713	1720379.7245
76	248311.9622	1720400.7438
77	248286.5032	1720401.2233
78	248153.1906	1720781.5512
79	247866.5714	1721092.7699
80	247392.4107	1720710.3246
81	248072.7796	1720607.3527



SHEET 4 OF 5

DATE	BY
12/01/2023	EDR
12/27/2023	EDR
12/28/2023	EDR
02/08/2024	EDR

**SUBDIVISION PLAT
OF
THE VILLAGE AT SNOWFIELD
FOR: SNOWFIELD LLC**

LOCATION: CITY OF SALISBURY
SALISBURY ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

SCALE: 1" = 40'

DATE: 09/01/2023

TAX MAP: 48

DRAWN BY: EDR

PARCEL: 492

SURVEYING FORESTRY

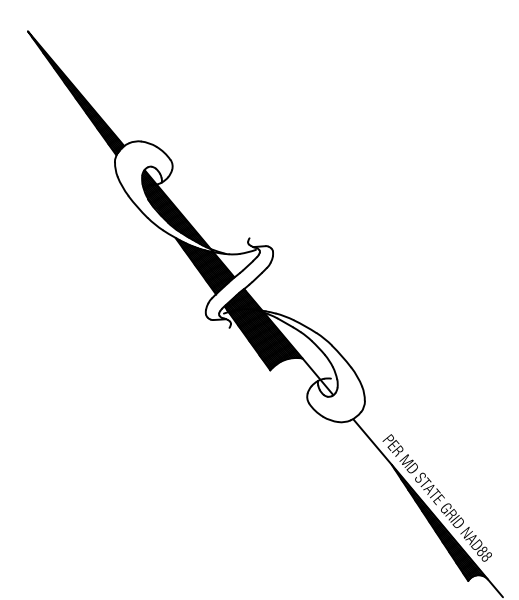
PARKER

ESTABLISHED 1977

ASSOCIATES

CIVIL ENGINEERING INC.

SITE PLANNING



LINE #	DIRECTION	LENGTH
L1	S51°06'56\"W	16.21
L2	S51°06'56\"W	15.96
L3	N40°37'01\"W	32.29
L6	N47°22'28\"W	7.14
L7	N42°37'32\"E	22.23
L8	N47°22'28\"W	36.11

CURVE	LENGTH	RADIUS	CHORD	TANGENT	DELTA
C1	31.27	20.00	28.18	19.85	89°34'13\"
C2	31.42	20.00	28.28	20.00	90°00'00\"
C3	182.77	122.00	166.15	113.44	85°50'00\"
C4	16.28	138.00	16.27	8.15	6°45'27\"
C5	21.18	188.00	21.17	10.60	6°27'18\"
C6	44.65	30.00	40.64	27.62	85°16'38\"
C7	178.32	115.00	160.98	112.70	88°50'31\"
C8	195.75	128.00	177.23	122.80	87°37'23\"
C9	38.88	30.00	36.22	22.72	74°15'51\"
C10	168.83	112.00	153.30	105.12	86°22'15\"
C11	27.84	20.00	25.64	16.71	79°44'49\"
C12	117.09	40.50	80.37	321.58	165°38'38\"
C13	41.34	30.00	38.15	24.71	78°57'37\"
C14	31.42	20.00	28.28	20.00	90°00'00\"
C15	123.57	147.00	119.96	65.70	48°09'48\"
C16	144.72	153.00	139.39	78.29	54°11'49\"
C17	197.49	122.00	176.62	128.00	92°45'00\"
C18	31.42	20.00	28.28	20.00	90°00'00\"
C19	31.57	20.00	28.39	20.15	90°25'47\"
C20	158.64	98.00	141.88	102.82	92°45'00\"

CURVE	LENGTH	RADIUS	CHORD	TANGENT	DELTA
C21	31.75	20.00	28.52	20.33	90°57'04\"
C22	33.07	512.00	33.07	16.54	3°42'04\"
C23	32.87	20.00	29.29	21.51	94°10'00\"
C24	146.81	98.00	133.46	91.12	85°50'00\"
C25	32.55	20.00	29.08	21.17	93°15'29\"
C26	33.63	177.00	33.58	16.87	10°53'11\"
C27	32.92	20.00	29.33	21.56	94°18'11\"
C28	35.23	20.00	30.85	24.23	100°55'27\"
C31	23.19	20.00	21.91	13.09	66°25'40\"
C32	74.27	177.00	73.73	37.69	24°02'29\"
C35	132.66	88.00	120.45	82.60	86°22'15\"
C37	23.85	212.00	23.83	11.94	6°26'42\"
C38	27.60	20.00	25.46	16.51	79°04'33\"
C39	14.18	212.00	14.18	7.09	3°50'00\"
C40	28.32	488.00	28.32	14.17	3°19'31\"

N/F
GAYLE M DIXON
DEED REF 2143/815
PARCEL 488

N/F
BARBARA J FOSKEY, ETAL TRUSTEES
DEED REF 3217/169
PARCEL 493

SHEET 5 OF 5

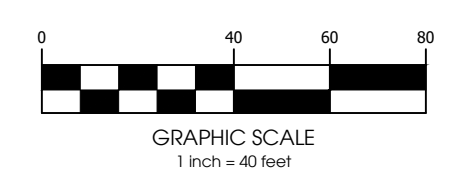
DATE	BY
12/01/2023	EDR
12/27/2023	EDR
12/28/2023	EDR
01/03/2024	EDR
02/08/2024	EDR

**SUBDIVISION PLAT
OF
THE VILLAGE AT SNOWFIELD
FOR: SNOWFIELD LLC**

LOCATION: CITY OF SALISBURY
SALISBURY ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

SCALE: 1" = 40'	DATE: 09/01/2023	TAX MAP: 48
DRAWN BY: EDR	PARCEL: 492	

SURVEYING
PARKER
ESTABLISHED 1977
ASSOCIATES
CIVIL ENGINEERING INC. FORESTRY SITE PLANNING





Infrastructure and Development Staff Report February 15, 2024

I. BACKGROUND INFORMATION:

Project Name: 1313-1315 S. Salisbury Blvd.
Applicant/Owner: Fisher Architecture for Piraeus Realty Corp.
Case No.: 202400134
Nature of Request: Final Comprehensive Development Plan
Location of Property: 1313-1315 S. Salisbury Blvd.
Existing Zoning: General Commercial

II. SUMMARY OF REQUEST:

Fisher Architecture, on behalf of the owner, has submitted a Final Comprehensive Development Plan for a small neighborhood shopping center located in the former Parties Etc. building. **(Attachments 1 & 2)**

III. DISCUSSION:

The applicants propose to construct a 12,233 sq. ft. building with an additional 1,078 sq. ft. patio area, for a total building area of 13,311 sq. ft. The total acreage of the parcel being developed is 1.95 acres.

IV. APPROVAL HISTORY:

The Planning Commission granted Preliminary Comprehensive Development Plan approval on August 10, 2023.

V. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:

A. Site Plan

1. **Parking/Streets/Lighting:** The Zoning Code requires parking to be provided at one (1) space per 250 sq. ft. of building area (including the outdoor seating area), equating to 54



City of Salisbury

required spaces, whereas 55 spaces are proposed, including three (3) van accessible space. A two-bay drive thru lane with vehicle stacking is provided at the rear of the site, and is compliant with Zoning Code standards. Parking for at least five (5) bicycles will also be provided, which meets code requirements. Additional landscaping is required for the increased parking, and is reflected in the landscaping plan. Site lighting per City standards is also proposed, and is compliant. Access will be from US Route 13. Plans were submitted to the State Highway Administration for comments in July, and were accepted as submitted. **(Attachments 3 - 5)**

2. **Refuse Disposal:** Code requires refuse disposal areas to be screened on three (3) sides. A twin dumpster enclosure is proposed for the east side of the property.
3. **Building Setbacks/Spacing:** The building meets all setback requirements.
4. **Height:** The building will be approximately 25 ft. tall, and is compliant with code standards. **(Attachments 6 - 8)**

B. Building Elevations

Building elevations and floor plans indicate that the building will be similar in appearance to the existing shopping center located to the north at 1305 S. Salisbury Blvd., which is also under the same ownership. **(Attachments 6 - 8)**

C. Sign Plan

A freestanding monument sign is proposed to be located at the southeast entrance to the site, and will complement the building's materials and colors of wood-look fiber cement. Individual channel letters and numbers will be located at the top of the sign to identify the address and shopping center name. A cabinet sign with several individual panels will be provided to identify tenants of the shopping center. The cabinets total 40 sq. ft. in area, while the overall sign is 117 sq. ft. in area. The sign will be 19 ft. 2 inches tall, set back 17 ft. 8 inches from the curb, and is compliant with all Zoning Code standards. Tenant panel colors were not identified on the proposed sign, but it is expected that the applicant desires unlimited colors, as has been requested in the past. Detailed information was not provided for the building signage, and will require Planning Commission approval prior to installation of such signs. **(Attachment 9)**

D. Landscaping Plan

The proposed landscaping plan is a significant improvement to the current landscaping. The ends of parking rows are provided with landscaping including trees, and intermediate islands (which are not required) are also provided with landscaping and trees. Additional



City of Salisbury

landscaping is also provided in the drive-thru aisle area. Plants include seven (7) London Plane or similar deciduous trees and four (4) Crape Myrtle for shade and color, as well as 35 Phlox and 29 Knock Out Roses or similar shrubs for additional visual appeal. The increased landscaping satisfies the Zoning Code's requirement for additional landscaping for the one (1) increased parking space. **(Attachment 5)**

E. Development Schedule

Construction is expected to begin once all approvals have been granted.

F. Community Impact Statement/Statement of Intent to Proceed and Financial Capability

The applicant was granted waivers from all during the Preliminary Comprehensive Development Plan approval.

G. Fire Service

The project is subject to further review by the Salisbury Fire Department.

H. Stormwater Management

The Stormwater Management Plan is subject to further review by the Salisbury Department of Infrastructure & Development.

I. Traffic

An existing access point will be closed along Rt. 13 as part of this project. Plans will be submitted to the Maryland State Highway Administration for their comments and review, and were accepted as submitted. Future access to the City's Rails to Trails project has been provided at the southeast corner of the property. In addition, the City requires a minimum 24 ft. wide easement from the edge of the railroad right-of-way at the rear of the property for future surface transportation use. The final approved plan shall reflect this required easement.

VI. PLANNING COMMENTS

The proposed shopping center will be a welcomed improvement and rehabilitation of an existing property. The proposed development will offer an attractive building that will complement its sister shopping center at 1305 S. Salisbury Blvd. However, building signage will need Planning Commission approval prior to installation.



VII. RECOMMENDATION

Staff recommends approval of the Final Comprehensive Development Plan for 1313-1315 S. Salisbury Blvd., with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Provide a detailed Sign Plan for approval by the Planning Commission prior to the installation of any building signs;
3. Provide a minimum 24 ft. wide easement at the rear of the property for future surface transportation on the final site plan;
4. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and the Salisbury Fire Department.



2/6/2024

City of Salisbury Maryland
Department of Infrastructure and Development
125 N. Division Street, Room 202
Salisbury, MD 21801

Re: *Architectural narrative of the proposed scope of work for the new commercial building at 1313-1315 S. Salisbury Boulevard.*

To whom it may concern,

Our team is respectfully submitting for the planning commission's review a comprehensive development plan for a new commercial six-tenant building, located at 1313-1315 S. Salisbury Boulevard. At this location currently is a commercial building, storage outbuildings, and two separated parking/storage areas with multiple drive entrances. The proposed development will be a complete re-facing of the existing commercial building (the former Parties Etc. storefront) to incorporate new EIFS, stone veneer and fibercement siding. The existing building interior layout will be reconfigured to create three tenant suites including a drive-thru lane on the north side of the northernmost tenant. There will be a 4,950 SF addition on the southern side of the building to add an addition three tenant suites. The addition will feature the same EIFS, stone veneer and fibercement siding. Each tenant suite will have glass storefront with main entrance doors, and a rear exit door to the back parking lot. There will be metal awnings and tower features on the building corners for a modern look and enhanced night appearance with internal lighting. The stone veneer accent is used to highlight these cupolas and define the building corners. The two southernmost tenant suites will share access to a 1,078 SF covered rear patio in hopes of attracting a restaurant or café tenant. The total building area will be 12,233 SF.

The proposed building would require 49 parking spaces under the shopping center use type; we are proposing a parking layout with 55 spaces including 3 accessible parking spaces. Based upon the busy location along S. Salisbury Boulevard and potential for restaurant uses, we feel the additional parking is warranted. The drive-thru lane is provided in a double-stack configuration to further aid in site circulation and allow plenty of room for drive-thru vehicles beyond the parking areas.

542 Riverside Drive
Salisbury, MD 21801
(410) 742-0238 (office)
(888) 879-7149 (fax)
Fisherarchitecture.com

The individual wall signs will be determined by the future tenants. A pylon sign for the shopping center will be provided in the parking island near the south entrance. The sign body will utilize the same wood-look fibercement siding as the building façade in a modern geometric profile.

Upon your review of our submittal please do not hesitate to reach out to discuss this in greater detail. We are very excited about the redevelopment of 1313-1315 S. Salisbury Boulevard and are looking forward to this project becoming a reality.

Sincerely,

A handwritten signature in black ink that reads "Lauren White". The signature is written in a cursive, flowing style.

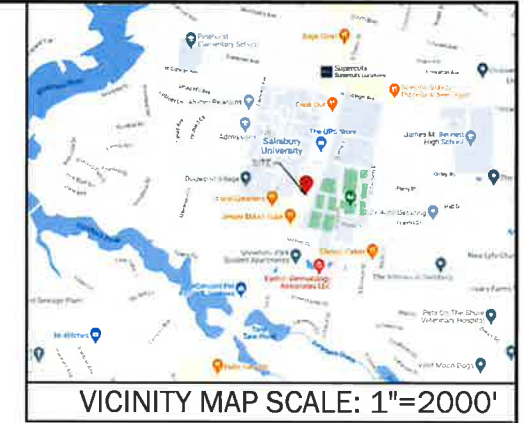
Lauren White, AIA
Studio Director



© All EagleView Technol

1315 SOUTH SALISBURY BLVD

CITY OF SALISBURY PROJECT # 23-018 FINAL COMPREHENSIVE DEVELOPMENT PLAN



GENERAL NOTES

1 THE PROPERTIES SHOWN HEREON ARE CURRENTLY OWNED BY
PIRAEUS REALTY GROUP
C/O CHRISTOS ADAMPOLOUS
100 EAST MAIN STREET SUITE 601
SALISBURY MD 21801
410-742-4142
cta@piraeusrealty.com

2 THE PROPERTIES SHOWN HEREON ARE CURRENTLY BEING DEVELOPED BY
PIRAEUS REALTY GROUP
C/O CHRISTOS ADAMPOLOUS
100 EAST MAIN STREET SUITE 601
SALISBURY MD 21801
410-742-4142
cta@piraeusrealty.com

3 PARCEL 3277 (LOT 12)
DEED REF 5241/76
AREA 26 500 SF

4 PARCEL 3124 (LOT 11)
DEED REF 5240/266
AREA 25 900 SF

5 PRESENT ZONING OF THESE PROPERTIES GENERAL COMMERCIAL (GC)
PROPOSED ZONING GENERAL COMMERCIAL (GC)
FRONT MINIMUM SETBACK 25'
REAR MINIMUM SETBACK 15'
SIDE SETBACKS TWO REQUIRED TOTALING NOT LESS THAN 20'
MINIMUM LOT SIZE 10 000 SF
MAXIMUM BUILDING HEIGHT 50'

6 THESE PROPERTIES ARE LOCATED WITHIN G P R MANAGEMENT ZONE A
THE CURRENT WICOMCO COUNTY WATERSEWER PLAN SERVICE CATEGORY W 3/5 1
CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF
THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO
COMMENCING ANY CONSTRUCTION IF ANY LOCATIONS OR ELEVATIONS OF
BENCHMARKS EXISTING FACILITIES OR STRUCTURES DIFFER FROM THAT SHOWN
HERE ON CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023
THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT
AND IS SUBJECT TO ANY ENCUMBRANCES RESTRICTIONS EASEMENTS AND/OR
RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH
THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER PUBLIC WATER AND
PRIVATE TRASH COLLECTION

7 ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE
INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE IT IS THE
CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE IN GRADES ELEVATIONS AND
SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE IF CONDITIONS DIFFER
THAN THOSE SHOWN ON THE PLANS CONTRACTOR SHALL NOTIFY ENGINEER
IMMEDIATELY

8 PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE
PUBLIC RIGHT OF WAY AND DR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH
THEIR PROPERTY THE MAINTENANCE OF ALL LANDSCAPE MEDANS OR ISLANDS
LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF
THE LOT OWNERS THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED
LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF
THE PROPERTY OWNERS

9 CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY
THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION SIDEWALKS
DRAINAGE OR OTHER SUCH PUBLIC USE WHICH MAY BE DETERMINED BY THE
DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT
OWNERS OR THE OWNER'S ASSOCIATION NO STRUCTURAL IMPROVEMENTS TREE OR
SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPES OTHER THAN GRASS
CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS INCLUDING IN
THE AIR RIGHTS OVER THE EASEMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF
THE CITY OF SALISBURY

10 ALL NON-CITY UTILITIES SUCH AS BUT NOT LIMITED TO ELECTRIC TELEPHONE GAS
AND C A T V SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY
EASEMENTS PERPENDICULAR CROSSINGS WILL BE ALLOWED
PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR
EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS
11 PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR
VERTICAL DATUM IS BASED ON NAVD83

LAND USE SUMMARY

TOTAL AREA OF PROJECT	= 52 400 SF
EXISTING IMPERVIOUS AREA	= 52 400 SF
PROPOSED	
BUILDING	= 12 188 SF
OUTDOOR PATIO	= 1 078 SF
PAVING	= 29 101 SF
CONCRETE	= 3 246 SF
PROPOSED LIMIT OF DISTURBANCE	= 39 091 SF
EXISTING AREA OF IMPERVIOUS WITHIN LOD	= 32 908 SF
PROPOSED AREA OF IMPERVIOUS WITHIN LOD	= 6 183 SF
IMPERVIOUS REDUCTION WITHIN LOD	= 89 %
PROPOSED SITE IMPERVIOUS	

PARKING TABULATION

SHOPPING CENTER UNDER 30 000 SF 1 PARKING SPACE PER 250 SF
MIN 3 HANDICAP ACCESSIBLE SPACES REQUIRED FOR 31-75 SPACES

12 188 / 250	= 49 SPACES MAX
TOTAL SPACES PROVIDED	= 64 SPACES
(OF WHICH 3 ARE HANDICAP ACCESSIBLE)	

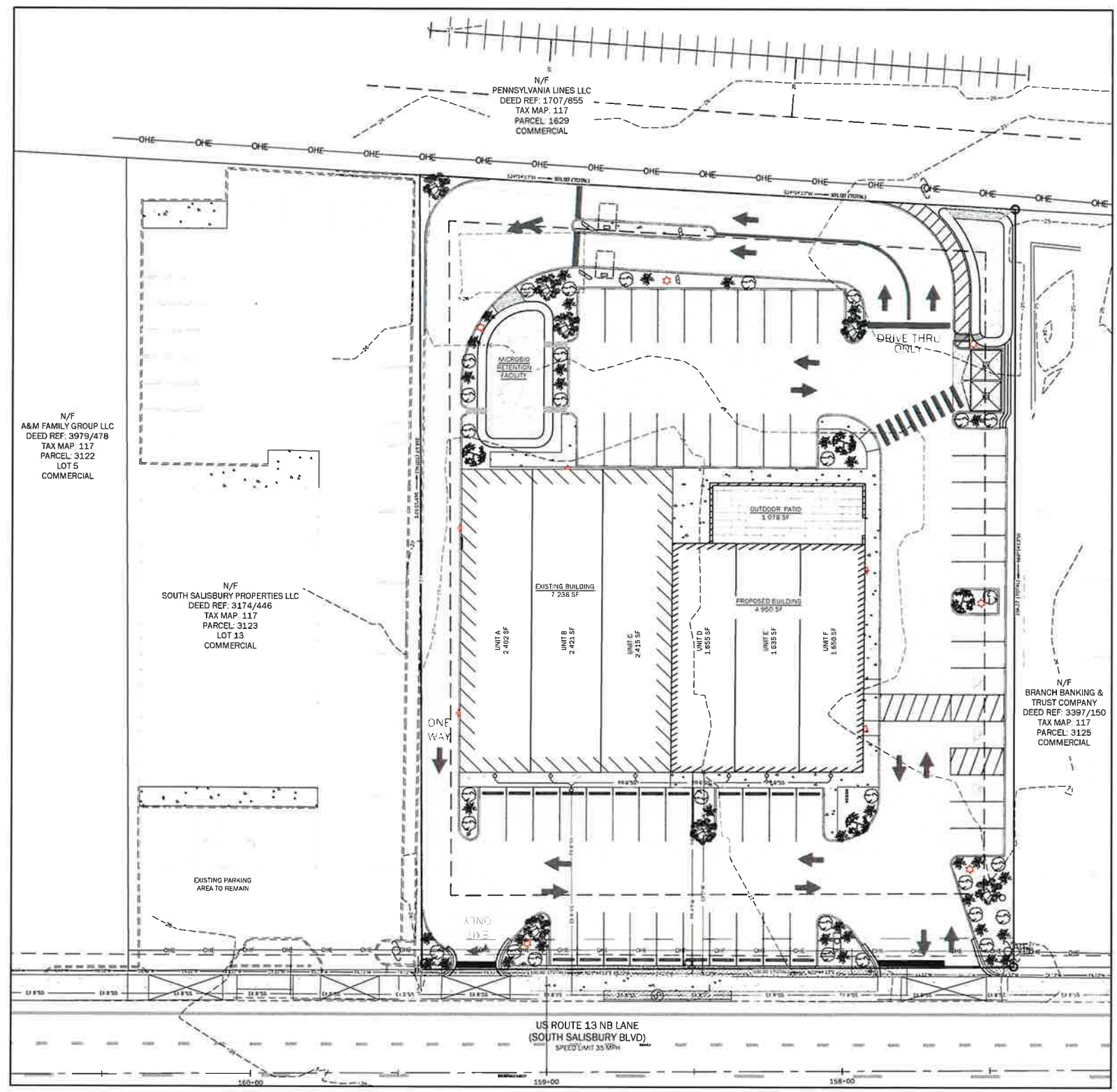
ESTIMATED WATER & SEWER USAGE

CALCULATIONS BASED ON SHOPPING CENTER USE
GROSS AREA X 0.18 = GPD 1 EDU = 250 GPD

PROJECT USAGE	12 188 X 0.18	= 2 194 GPD
	2 194 / 250	= 9 EDU

LEGEND:

	WATER METER
	BIKE RACK
	SITE LIGHTING
	DUMPSTER
	EXISTING SEWER MANHOLE
	TELEPHONE/COMMUNICATIONS PEDESTAL
	EXISTING UTILITY POLE
	ACCESSIBLE PARKING AND ACCESS WAY
	PROPERTY LINE
	BUILDING SETBACK
	EXISTING CURB
	PROPOSED CURB
	EDGE OF PAVEMENT
	PROPOSED PARKING STRIPE
	EXISTING PARKING STRIPING
	SIDEWALK/CONCRETE
	ASPHALT/PAVEMENT
	EXISTING ROADWAY
	PROPOSED BUILDING FOOTPRINT
	EXISTING BUILDING FOOTPRINT



SHEET INDEX

Sheet Number	Sheet Title
SHEET 1 OF 3	TITLE SHEET
SHEET 2 OF 3	SITE PLAN
SHEET 3 OF 3	LANDSCAPE & LIGHTING PLAN



SHEET 1 OF 3



REVISIONS	DATE	BY	APP. CDP TITLE

FINAL COMPREHENSIVE DEVELOPMENT PLAN

TITLE SHEET
1315 S. SALISBURY BOULEVARD



OWNER'S CERTIFICATION

HEREBY CERTIFY THAT THIS IMPROVEMENT CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN. DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL (SETTING OF WATER METER) TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

DATE: _____

PIRAEUS REALTY GROUP
C/O CHRISTOS ADAMPOLOUS
100 EAST MAIN STREET SUITE 601
SALISBURY MD 21801
410-742-4142
cta@piraeusrealty.com

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE IMPROVEMENTS WERE PREPARED BY ME AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21193 EXPIRATION DATE JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21193 EXPIRATION DATE JANUARY 25, 2024.

Brock E. Parker
BROCK E. PARKER P.E., R.L.S.
528 RIVERSIDE DRIVE
SALISBURY, MARYLAND 21801
PHONE (410) 749-1023 FAX (410) 749-1012
EMAIL: BROCK@PARKERANDASSOCIATES.ORG

DATE: 12/05/2023

APPROVED
CITY OF SALISBURY
DEPARTMENT OF INFRASTRUCTURE
AND DEVELOPMENT

Richard D. Baldwin
Director

CITY PROJECT # 23-018

DATE: _____

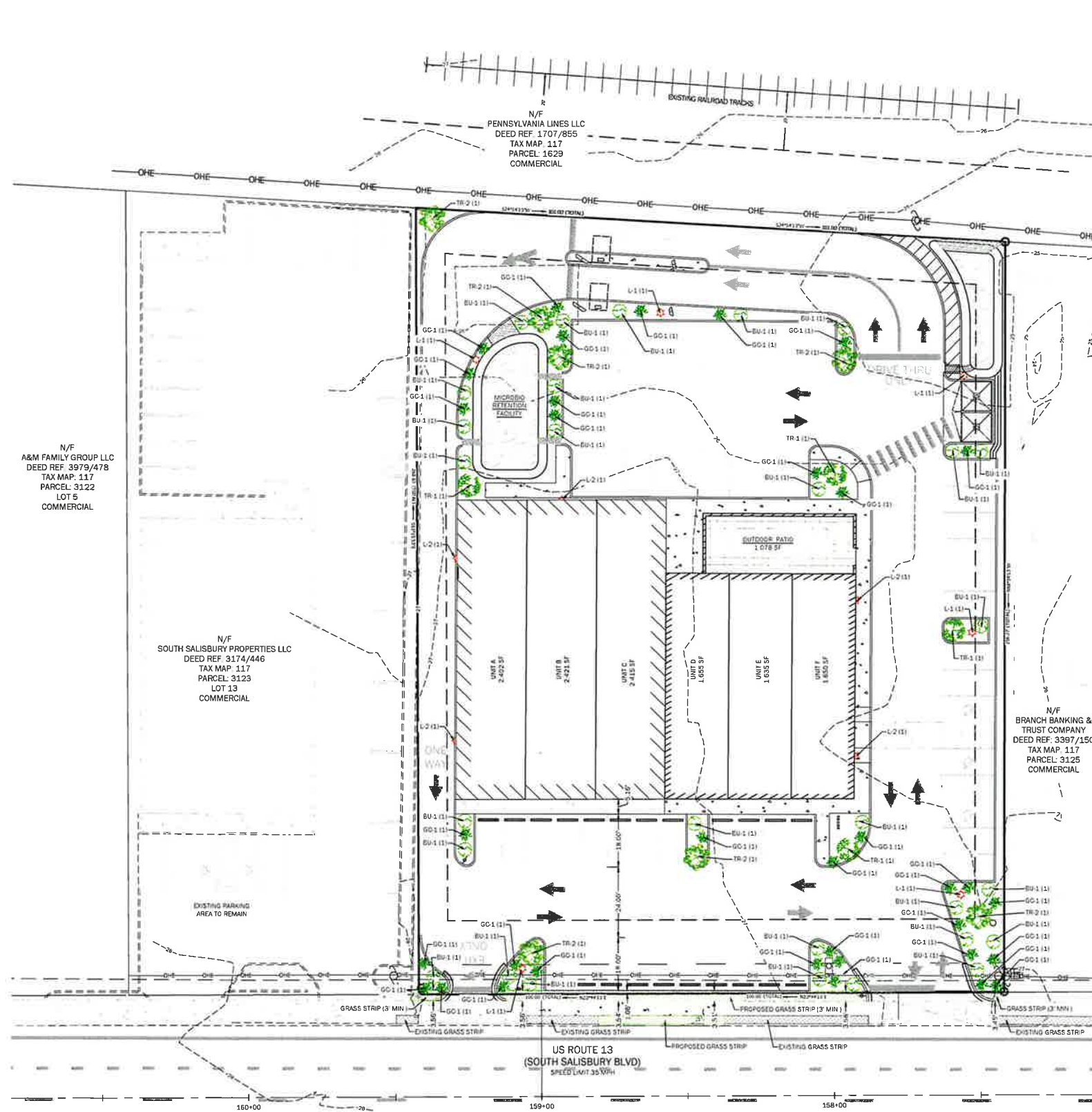
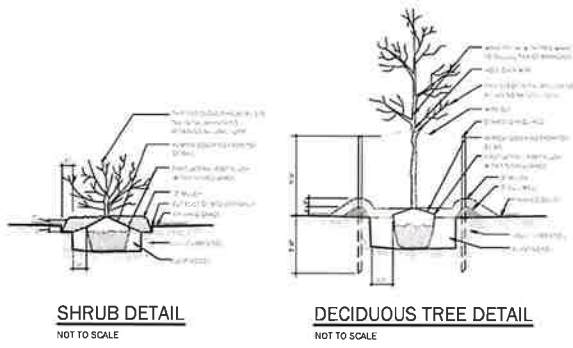
LIGHTING LEGEND

L-1		- PROPOSED STANDING LIGHTPOLE FOR SITE LIGHTING
L-2		- PROPOSED BUILDING WALLMOUNT LIGHT PACK FOR SITE LIGHTING

LANDSCAPE LEGEND

GC-1		- PHLOX PANICULATA (GARDEN PHLOX) - OR SIMILAR PERENNIAL GROUND COVER - 1 GALLON PLANTING LOCATION
BU-1		- ROSA 'KNOCK OUT' (KNOCK OUT ROSE) - OR SIMILAR FLOWERING SHRUB - 1 GALLON PLANTING LOCATION
TR-1		- LAGERSTRÆMIA X 'NATCHEZ' (NATCHEZ CRAPE MYRTLE) - OR SIMILAR FLOWERING ORNAMENTAL TREE - 4 TO 6" PLANTING LOCATION
TR-2		- PLATANUS X ACERIFOLIA (LONDON PLANE) - OR SIMILAR DECIDUOUS SHADE TREE SPECIES - PLANTING LOCATION

- LANDSCAPE NOTES:**
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - CONTRACTOR SHALL CONTACT MISS UTILITY AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
 - ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
 - THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.



SHEET 3 OF 3

GRAPHIC SCALE
1 inch = 20 feet

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 12/04/2023
SCALE: 1" = 20'
DRAWN BY: EAL, NBC, JUS
CHECKED BY: CDP, Lp, Lp
PROJECT NO.: 2017-10-001 REV 04/2023

3277.3124

LANDSCAPE & LIGHTING PLAN
1315 S. SALISBURY BOULEVARD

FOR: PIRAEUS REALTY GROUP
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND
Road Name: US RT 13

PARKER & ASSOCIATES
ENGINEERING & PLANNING

DATE: 04/2023 @ 24pm

- GENERAL NOTES**
1. ALL TENANT SEPARATION WALLS SHALL BE 1 HOUR RATED WALLS SHALL BE CONSTRUCTED AS WALL TYPE I.
 2. PROVIDE EXTERIOR REMOTE LAMP HEADS AT ALL LOCATIONS OF EXIT. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 3. PER IECC 2018, SECTION C405.21: OCCUPANT SENSOR CONTROLS SHALL BE INSTALLED TO CONTROL LIGHTS IN EMPLOYEE BREAK ROOMS, PRIVATE OFFICES, RESTROOMS, STORAGE ROOMS, JANITORIAL CLOSETS, OTHER SPACES 300 S.F. OR LESS THAT ARE ENCLOSED BY FLOOR-TO-CEILING HEIGHT PARTITIONS. G.C. TO REFER TO IECC 2018 SECTION C405.2.1.1 FOR REQUIREMENTS OF OCCUPANT SENSOR CONTROL FUNCTIONS.
 4. PLEASE REFER TO SHEET A501 FOR CLARIFICATION ON ALL WALL TYPE CONSTRUCTION.



SEAL

PROFESSIONAL CERTIFICATION
REGISTERED PROFESSIONAL ENGINEER
STATE OF MARYLAND
LICENSE NO. 00139505
EXPIRATION NO. 09-23-2024

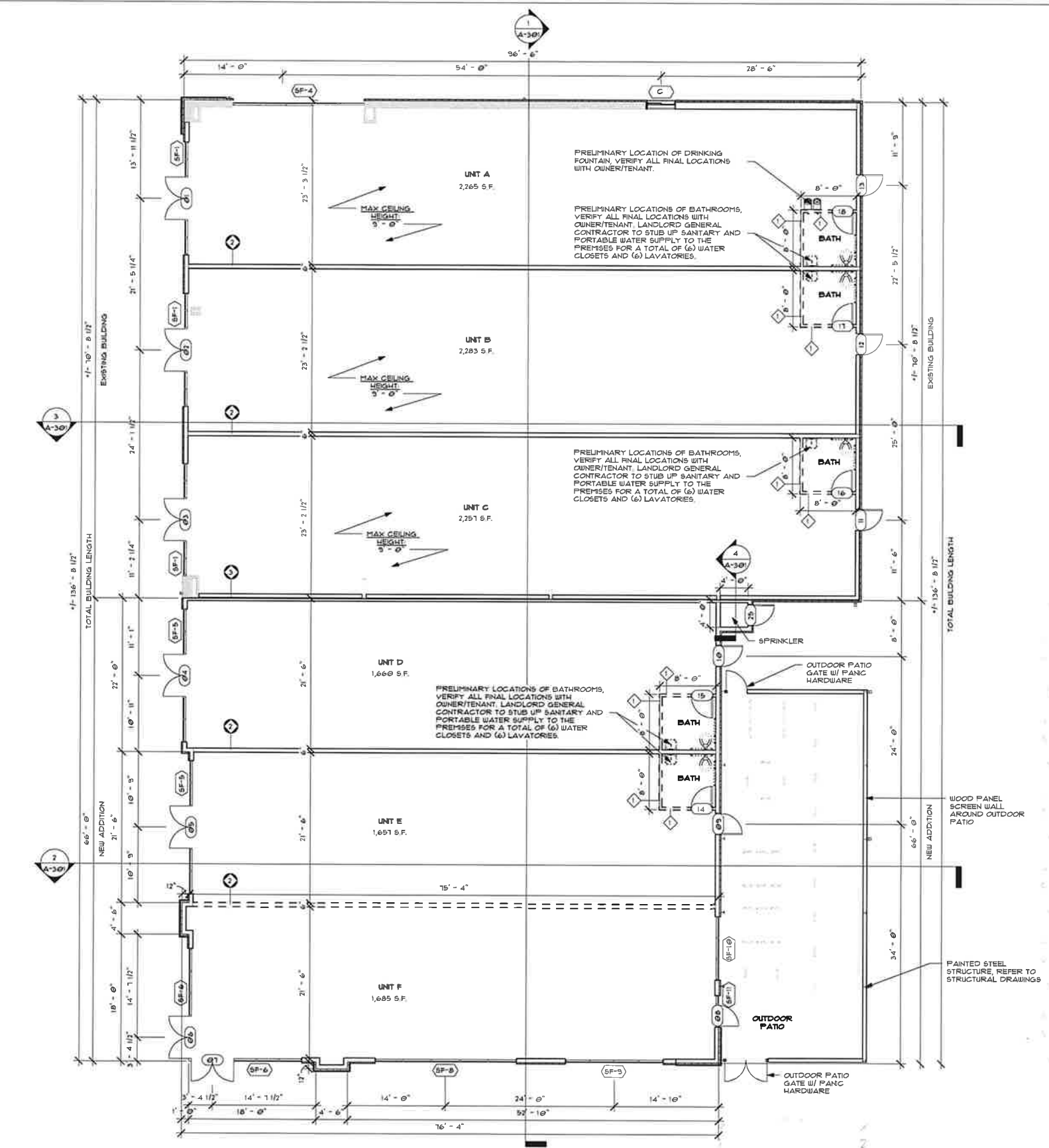
THE DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE SOLELY FOR THE PURPOSES OF THE SPECIFIED PROJECT. THEY ARE NOT INTENDED OR AUTHORIZED FOR ANY OTHER USE. FISHER ARCHITECTURE, LLC IS NOT RESPONSIBLE FOR ANY OTHER USE. ALL DOCUMENTS PREPARED BY FISHER ARCHITECTURE, LLC ARE THE PROPERTY OF FISHER ARCHITECTURE, LLC. NO PART OF THESE DOCUMENTS SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF FISHER ARCHITECTURE, LLC.

CONSULTANTS

SHELL BUILDING
1313-1315 SOUTH SALISBURY BOULEVARD
SALISBURY, MARYLAND

SHEET INFO:
FIRST FLOOR PLAN

NO.	DATE	DESCRIPTION
1	10/20/2023	Issue for Permit
2	10/27/2023	100% CDD Set
3	10/27/2023	Final Set
4	10/27/2023	Final Set
5	10/27/2023	Final Set
6	10/27/2023	Final Set
7	10/27/2023	Final Set
8	10/27/2023	Final Set
9	10/27/2023	Final Set
10	10/27/2023	Final Set
11	10/27/2023	Final Set
12	10/27/2023	Final Set
13	10/27/2023	Final Set
14	10/27/2023	Final Set
15	10/27/2023	Final Set
16	10/27/2023	Final Set
17	10/27/2023	Final Set
18	10/27/2023	Final Set
19	10/27/2023	Final Set
20	10/27/2023	Final Set



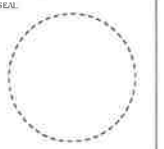
1 FIRST FLOOR
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO A-501 FOR WALL TYPES. TENANT SEPARATION WALL CONSTRUCTION WILL BE DEPENDENT UPON FUTURE TENANTS SELECTED.
2. INTERIOR WALLS TO BE TYPE IA UNLESS OTHERWISE NOTED.
3. REFER TO A-300S FOR EXTERIOR WALL SECTION DETAILS.
4. EXIT LIGHTS & EMERGENCY COMBO UNITS SHALL BE EQUAL TO PHILIPS/CHLORIDE SERIES LED, 120 PRIMARY CIRCUIT, 90-MIN BATTERY ILLUMINATION. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR LOCATIONS & SPECIFICATIONS.
5. PROVIDE EXTERIOR REMOTE LAMP HEADS AT ALL LOCATIONS OF EXIT. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
6. PER IECC 2018, SECTION C405.2.1 OCCUPANT SENSOR CONTROLS SHALL BE INSTALLED TO CONTROL LIGHTS IN EMPLOYEE BREAK ROOMS, PRIVATE OFFICES, RESTROOMS, STORAGE ROOMS, JANITORIAL CLOSETS, OTHER SPACES 300 SF. OR LESS THAT ARE ENCLOSED BY FLOOR-TO-CEILING HEIGHT PARTITIONS, G.C. TO REFER TO IECC 2018 SECTION C405.2.1.1 FOR REQUIREMENTS OF OCCUPANT SENSOR CONTROL FUNCTIONS.

GENERAL ROOF NOTES

1. G.C. TO PROVIDE COMPLETE ROOFING SYSTEM. VERIFY ALL DETAILS FOR COMPLETE WEATHERTIGHT SYSTEM.
2. ALL PENETRATIONS THROUGH ROOFING ARE TO BE IN ACCORDANCE WITH MFR STANDARDS.
3. VERIFY ALL PROPER SEALANTS AND FLASHING ARE INSULATED AT ALL ROOF WALL INTERSECTIONS.
4. CAULKING AND OTHER SEALANTS TO BE PER MFR INSTRUCTIONS. VERIFY NECESSARY PREP FOR ALL ADJACENT INTERSECTIONS.



DESIGN PROFESSIONAL CERTIFICATION
I, JAMES M. FISHER, ARCHITECT, AMERICAN INSTITUTE OF ARCHITECTS, LICENSE NO. 0013955, EXPIRATION NO. 09/23/2024, HEREBY CERTIFY THAT I AM THE DESIGN PROFESSIONAL RESPONSIBLE FOR THE DESIGN OF THE PROJECT DESCRIBED ON THIS SHEET.

FOR THESE SERVICES PREPARED BY FISHER ARCHITECTURE, LLC, AND NOT FOR THE PROJECT. THIS IS NOT AN OFFICIAL ARCHITECTURAL DRAWING. ANY OTHER WORKS PREPARED BY FISHER ARCHITECTURE, LLC ARE REPRESENTED AS TO THEIR ACCURACY BY FISHER ARCHITECTURE, LLC AND NOT BY ME. ALL OTHERS ARE TO BE VERIFIED BY THE USER. FISHER ARCHITECTURE, LLC AND I, JAMES M. FISHER, ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN ANY OTHER WORKS PREPARED BY OTHERS. ANY USE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF FISHER ARCHITECTURE, LLC IS STRICTLY PROHIBITED.

CONSULTANTS

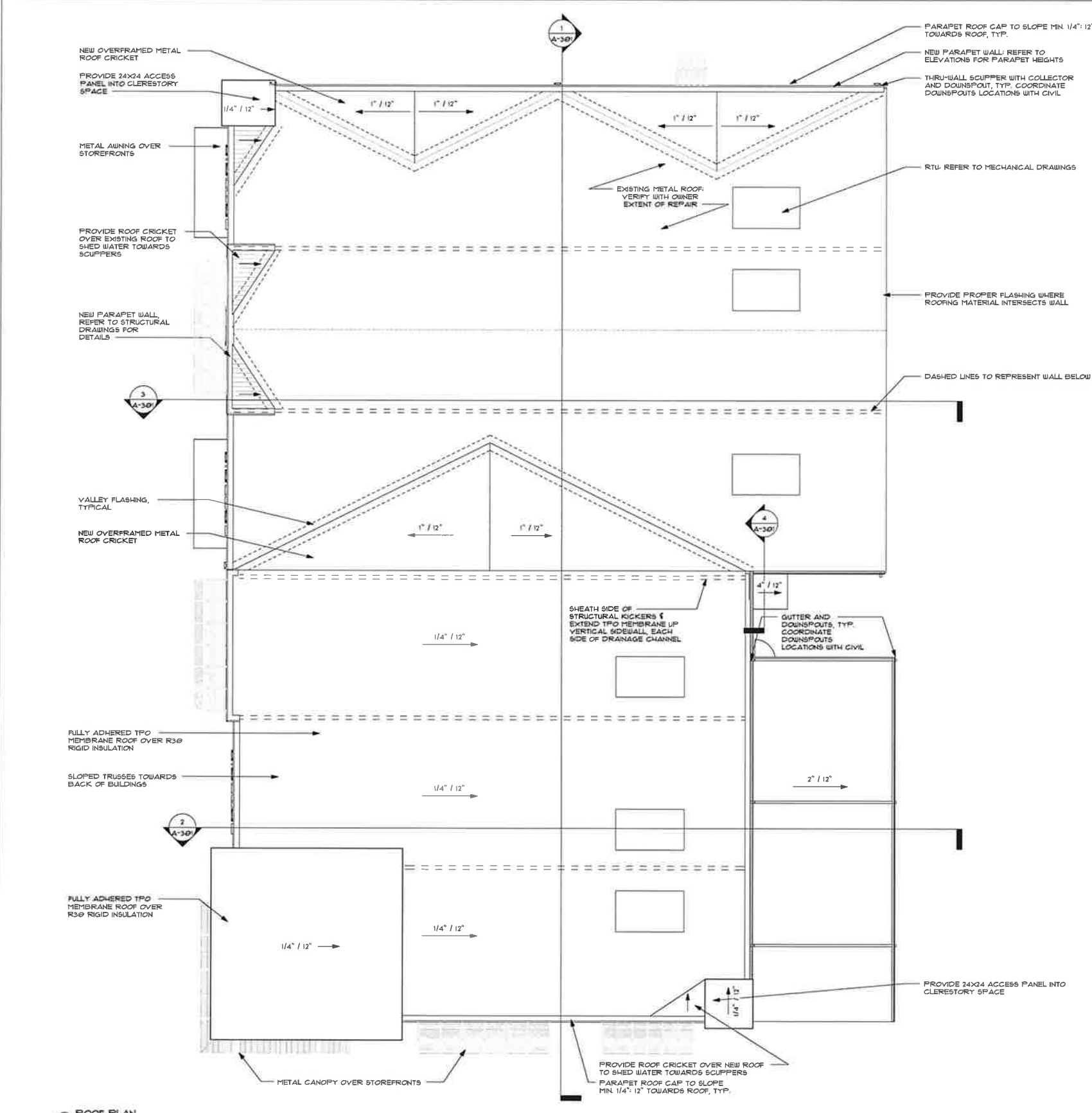
SHELL BUILDING
1313-1315 SOUTH SALISBURY BOULEVARD
SALISBURY, MARYLAND

SHEET INFO:

ROOF PLAN

NO.	DATE	DESCRIPTION
1	10/26/2023	Issue for Permit
2	11/15/2023	Issue for Construction
3	06/28/2024	Issue
4	07/20/2024	Final Issue

A-102



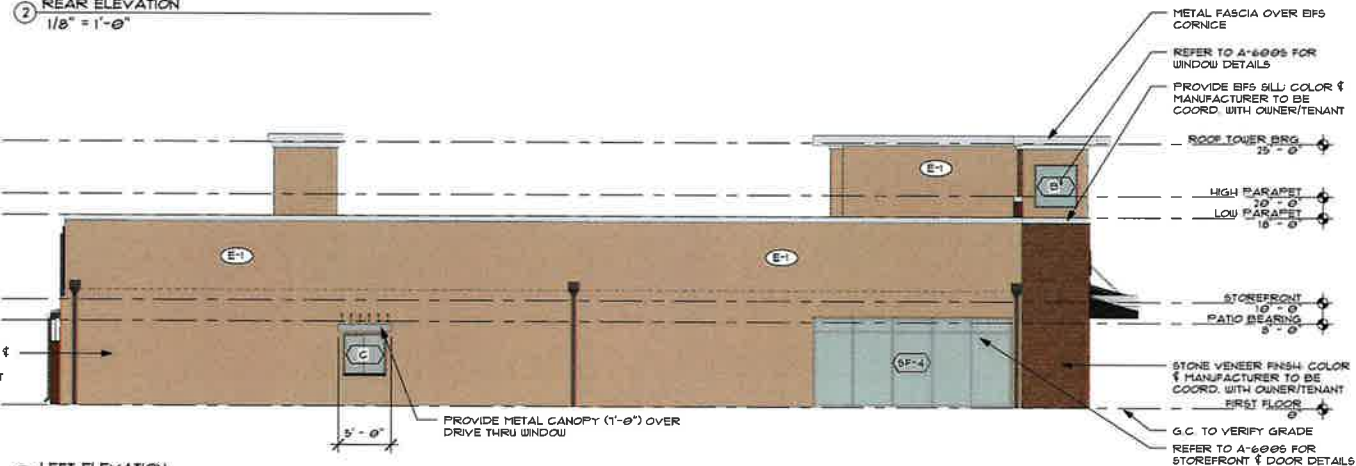
1 ROOF PLAN
1/8" = 1'-0"



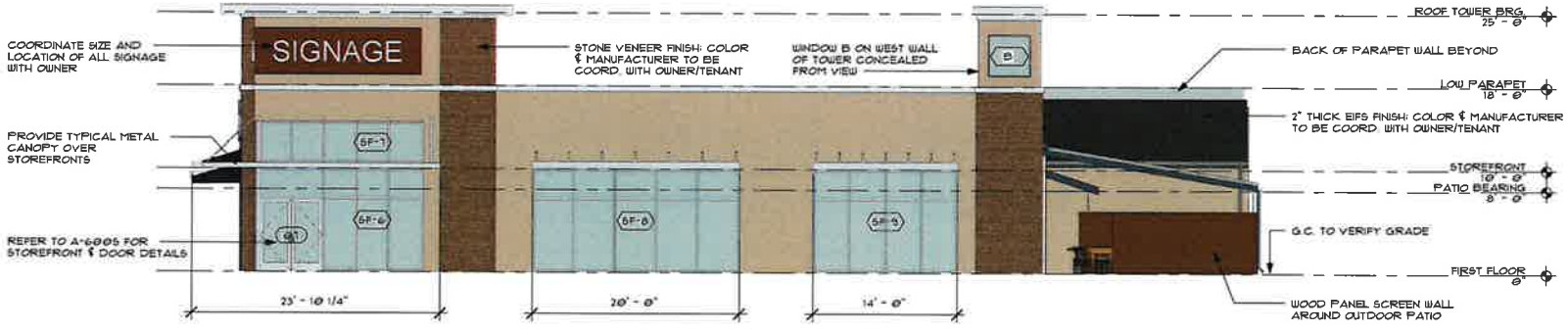
1 FRONT ELEVATION
1/8" = 1'-0"



2 REAR ELEVATION
1/8" = 1'-0"



3 LEFT ELEVATION
1/8" = 1'-0"



4 RIGHT ELEVATION
1/8" = 1'-0"

THERMAL ENVELOPE
IECC 2015
C402.5 AIR LEAKAGE - THERMAL ENVELOPE (MANDATORY)
 THE THERMAL ENVELOPE OF BUILDINGS SHALL COMPLY WITH SECTIONS 402.5.1 THROUGH C402.5.8, OR THE BUILDING THERMAL ENVELOPE SHALL BE TESTED IN ACCORDANCE WITH ASTM 3719 AT A PRESSURE DIFFERENTIAL OF 0.3 INCH WATER GAUGE (75 PA) OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL AND DEEMED TO COMPLY WITH THE PROVISIONS OF THIS SECTION WHEN THE TESTED RATE OF THE BUILDING THERMAL ENVELOPE IS NOT GREATER THAN 0.40 CFM/FT² (0.2 UFM) WHERE COMPLIANCE IS BASED ON SUCH TESTING, THE BUILDING SHALL ALSO COMPLY WITH SECTIONS C402.5.3, C402.5.6, C402.5.1

C402.5.1 AIR BARRIERS
 A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE. THE AIR BARRIER SHALL BE PERMITTED TO BE LOCATED ON THE INSIDE OR THE OUTSIDE OF THE BUILDING ENVELOPE, LOCATED WITHIN THE ASSEMBLIES COMPOSING THE ENVELOPE, OR ANY COMBINATIONS THEREOF. THE AIR BARRIER SHALL COMPLY WITH SECTIONS C402.5.1.1 AND C402.5.1.2

EXCEPTION: AIR BARRIERS ARE NOT REQUIRED IN BUILDINGS LOCATED IN CLIMATE ZONE 2B

C402.5.1.1 AIR BARRIER CONSTRUCTION
 THE CONTINUOUS AIR BARRIER SHALL BE CONSTRUCTED TO COMPLY WITH THE FOLLOWING:
 1. THE AIR BARRIER SHALL BE CONTINUOUS FOR ALL ASSEMBLIES THAT THE THERMAL ENVELOPE OF THE BUILDING AND ACROSS THE JOINTS AND ASSEMBLIES.
 2. AIR BARRIER JOINTS AND SEAMS SHALL BE SEALED, INCLUDING SEALING TRANSITIONS IN PLACES AND CHANGES OF MATERIALS. THE JOINTS AND SEALS SHALL BE SECURELY INSTALLED IN OR ON THE JOINT FOR ITS ENTIRE LENGTH SO AS NOT TO DISLODGE, LOOSEN, OR OTHERWISE IMPAIR ITS ABILITY TO RESIST POSITIVE AND NEGATIVE PRESSURE FROM WIND, STACK EFFECT AND MECHANICAL VENTILATION.
 3. PENETRATIONS OF THE AIR BARRIER SHALL BE CALKED, GASKETED OR OTHERWISE SEALED IN A MANNER COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEALS ASSOCIATED WITH PENETRATIONS SHALL BE SECURELY INSTALLED AROUND THE PENETRATION SO AS NOT TO DISLODGE, LOOSEN, OR OTHERWISE IMPAIR THE PENETRATIONS ABILITY TO RESIST POSITIVE AND NEGATIVE PRESSURE FROM WIND, STACK EFFECT AND MECHANICAL VENTILATION. SEALING OF CONCEALED FIRE SPRINKLERS, WHERE REQUIRED, SHALL BE IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.
 4. RECESSED LIGHTING FIXTURES SHALL COMPLY WITH SECTION C402.5.8 WHERE SIMILAR OBJECTS ARE INSTALLED THAT PENETRATE THE AIR BARRIER. PROVISIONS SHALL BE MADE TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER.

- ELEVATION NOTES**
- G.C. TO VERIFY ALL FINAL GRADE ELEVATIONS PRIOR TO EXTERIOR MATERIAL INSTALLATION
 - ALL MATERIALS USED ON THE BUILDING EXTERIOR TO BE SUBMITTED TO ARCHITECT/OWNER. VERIFY NECESSARY WATERPROOFING AND FLASHING FOR SYSTEMS
 - ALL PENETRATIONS IN THE BUILDINGS THERMAL BARRIER TO BE SEALED. ALL WIRES, PIPES, FIXTURES AND FASTENERS TO BE SEALED SO THAT NO GAPS EXIST
 - FILL AND PAINT ALL EXPOSED NAIL AND FASTENERS THAT EXIST IN EXTERIOR TRIM
 - VERIFY ALL FASTENERS IN BUILDING EXTERIOR ARE RATED FOR EXTERIOR EXPOSURE
 - VERIFY ALL METALS ARE COMPLIANT FOR THE USE AND ARE EXPOSED FOR USE WITH ADJACENT MATERIALS

ELEVATION MATERIAL SCHEDULE

(V-1)	ADHERED STONE VENEER	
(E-1)	EIFS	
(S-1)	HORIZONTAL SIDING - VINTAGE WOOD BY NICHIA	
(M-1)	METAL SIDING - HUP616 BY DM INC	
(R-1)	STANDING SEAM METAL ROOF	



FISHER ARCHITECTURE
 542 Riverside Drive
 Salisbury, MD 21801
 410.724.0205

PROFESSIONAL SEAL
 PROFESSIONAL ARCHITECT
 LICENSE NO. 0012055
 EXPIRATION 03/01/2024

CONSTANTS

SHELL BUILDING
 1313-1315 SOUTH SALISBURY BOULEVARD
 SALISBURY, MARYLAND

SHEET INFO:

ELEVATIONS

NO.	DATE	DESCRIPTION
1	02/20/2024	ISSUED FOR PERMIT
2	02/20/2024	ISSUED FOR PERMIT
3	02/20/2024	ISSUED FOR PERMIT
4	02/20/2024	ISSUED FOR PERMIT
5	02/20/2024	ISSUED FOR PERMIT
6	02/20/2024	ISSUED FOR PERMIT
7	02/20/2024	ISSUED FOR PERMIT
8	02/20/2024	ISSUED FOR PERMIT
9	02/20/2024	ISSUED FOR PERMIT
10	02/20/2024	ISSUED FOR PERMIT



Infrastructure and Development Staff Report February 15, 2024

I. BACKGROUND INFORMATION:

Project Name: Avalon Plaza Shopping Center
Applicant/Owner: Cute Little Giggles Daycare/Bing Enterprises, Inc.
Infrastructure and Development Case No.: 202400038
Nature of Request: Revised Comprehensive Development Plan; Paleochannel & Wellhead Protection District Approval
Location of Property: 8245 Dickerson Lane, Unit F
Map: 0020; Grid: 0024; Parcel: 0177; Lot: 2A
Existing Zoning: General Commercial

II. SUMMARY OF REQUEST:

The applicant has submitted a Revised Site Plan for the Avalon Plaza Shopping Center for the Planning Commission's review and approval. No other changes are proposed for the shopping center.

III. DISCUSSION:

The applicant is seeking approval for the installation of a 6 ft. tall decorative aluminum or steel picket fence to enclose an outdoor play area for a new daycare center that will be located in Unit F. **(Attachments 1 - 5)**

IV. APPROVAL HISTORY:

The Avalon Plaza Shopping Center has a long and extensive history, dating back to December of 1999. The most recent approval was for a Revised Sign Plan for the shopping center on July 20, 2017.

V. REVISED SITE PLAN:

The State of Maryland Office of Child Care requires daycare centers to provide protected outdoor play areas. Therefore, the applicant is requesting permission to revise the site plan to erect a 6 ft. tall decorative aluminum or steel picket fence to enclose an outdoor play area for a proposed daycare center. The fence and play area will be located in the parking lot behind



the building on the east side of the property, and will enclose approximately 1,950 sq. ft. of area. Four parking spaces will be eliminated with the proposed change, but overall, parking will still exceed the maximum allowable spaces, as the shopping center was developed prior to the adoption of current standards. The parking at the rear of the building is rarely used. **(Attachments 2 - 5)**

VI. PALEOCHANNEL PROTECTION & WELLHEAD PROTECTION DISTRICTS

The entire shopping center is located within the Paleochannel Protection District, and the southeast corner of the property is in the Wellhead Protection District, including the proposed fence location. It does not appear that the Planning Commission has ever technically granted approval for both protection districts despite granting Comprehensive Development Plan approval. As a maintenance issue, Staff recommends that the Commission grant Paleochannel Protection and Wellhead Protection District approval for the shopping center. The uses in the shopping center are all low-hazard uses that do not impact the City's aquifer and water supply.

VII. PLANNING CONCERNS

The proposed fence is a minor change to the shopping center's site plan, and will have minimal impact on the neighboring tenants. The State of Maryland Office of Child Care has approved the proposed location of the play area as shown. **(Attachments 6)** Staff wishes to incorporate additional protection from vehicles by installing bollards along the former drive aisles.

VIII. RECOMMENDATION

Staff recommends approval of the Revised Comprehensive Development Plan for the installation of a 6 ft. tall decorative fence enclosing the outdoor play area as submitted, with the following condition.

1. Provide bollards along the drive aisles to protect the outdoor play area from vehicular traffic.

Paleochannel Protection and Wellhead Protection District approval is also recommended for the shopping center.

January 2, 2024

Cute Little Giggles Day Care
8245 Dickerson Lane, Unit F
Salisbury MD 21801

RE – Drawing Approval

Cindy,

I am in receipt of your drawings for the new daycare you are opening in Unit F of my center, Avalon Plaza.

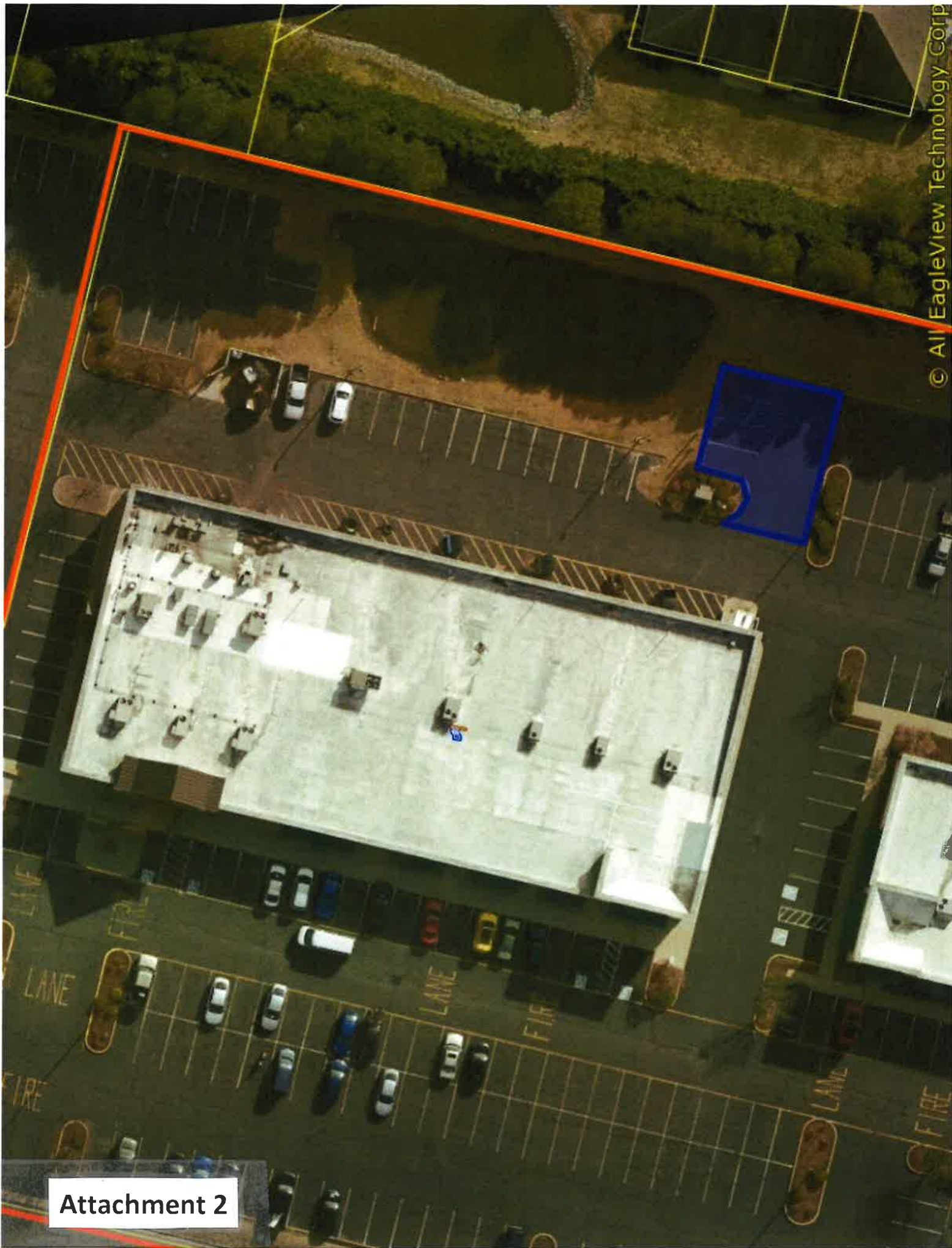
I approve of your drawings that have been submitted for my review.

Thanks



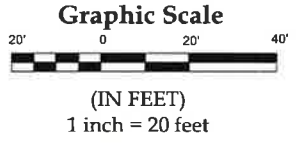
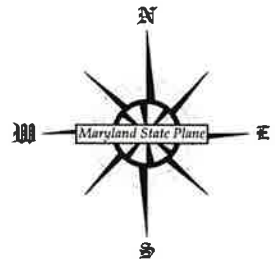
Fred Fong

Bing Enterprises



Attachment 2





Owner's Name and Address:

Bing Enterprises, Inc.
206 E Main Street
Salisbury, Maryland 21801

Site Address:

8245 Dickerson Lane (Unit F)
Salisbury, Maryland 21801

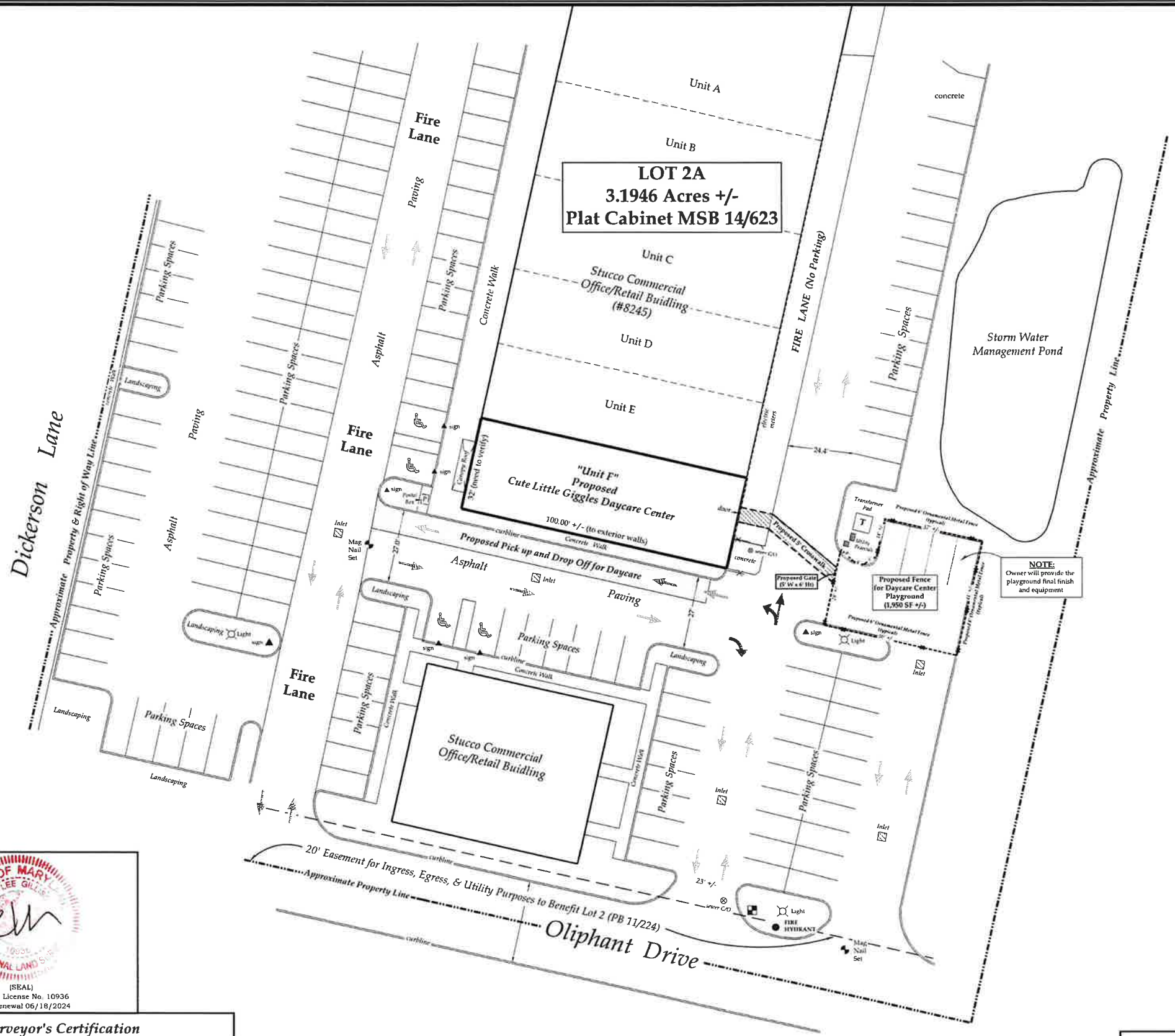
Property Zoning:

General Commercial

Front Setback : 25 feet (along Public R.O.W.)
Side Setback: 20 feet (Sum of Sides equal)
Rear Setback : 15 feet (not included on corner lots)

Property Area:

Lot 2A - 3.1946 Acres +/- (per Recorded Plat)



SURVEYOR'S NOTE:
EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, RIGHT OF WAYS, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTION, ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. NO TITLE SEARCH WAS PROVIDED FOR THIS SURVEY. NO TITLE GUARANTEE IS INTENDED OR IMPLIED BY THIS SURVEY.

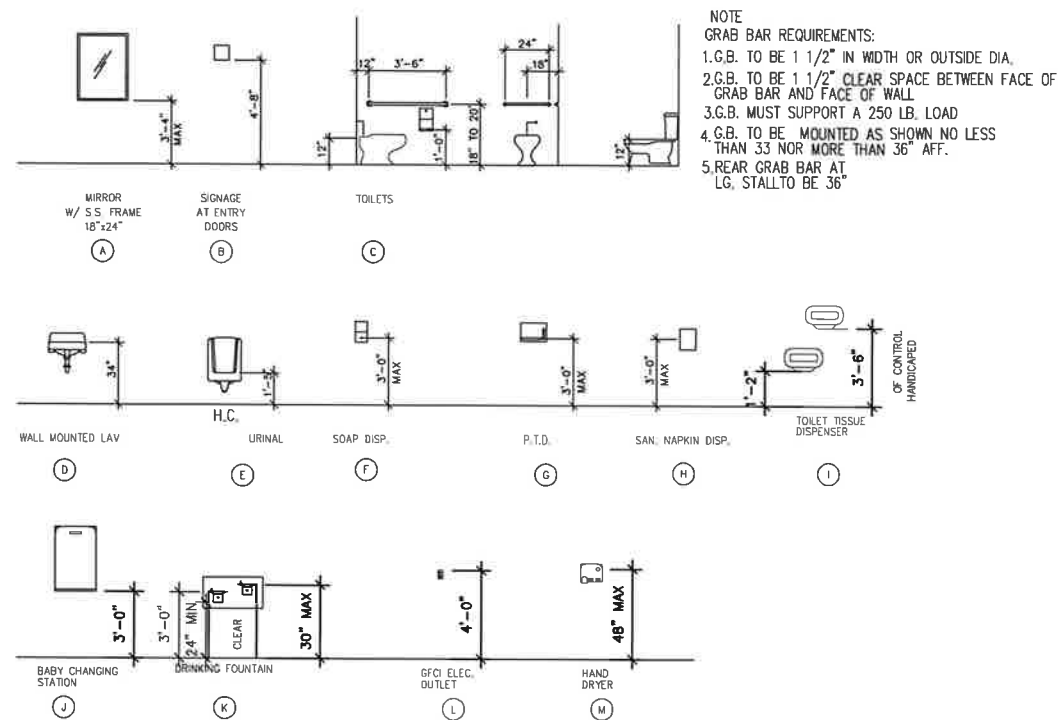


Site Plan
Portion of Lot 2A (Unit F)
"John A. Davis, et al" Subdivision of Lot 2
Plat Reference: Plat Cabinet 14, Page 623
Owner: Bing Enterprises, LLC
Tax Map 20, Grid 24, Parcel 177
109345

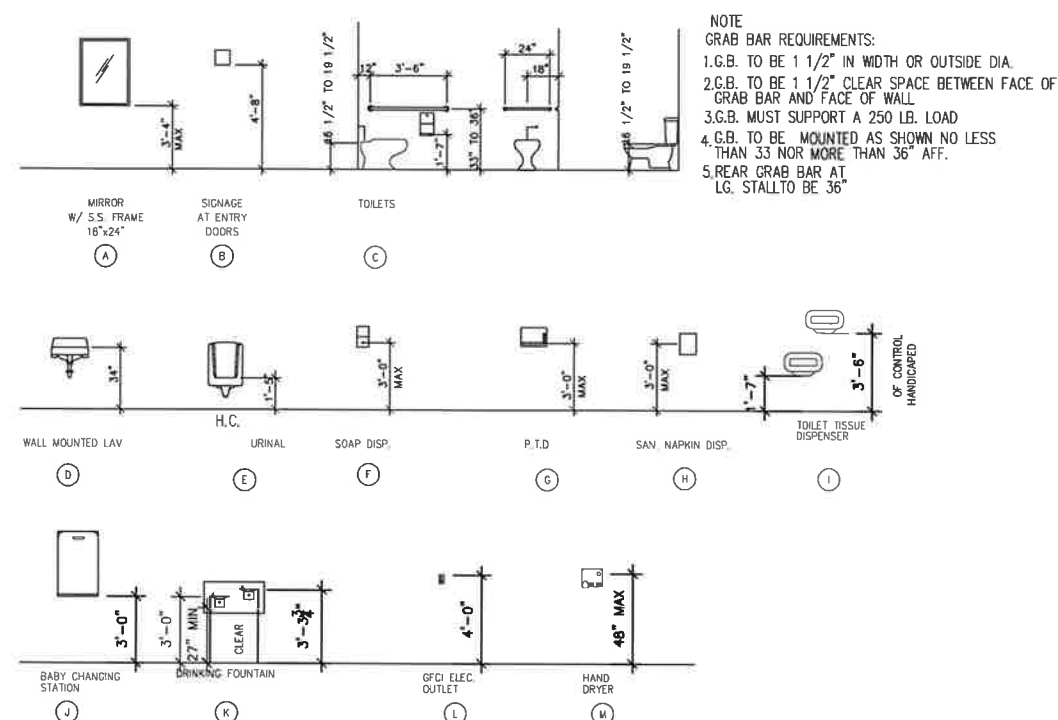
Surveyor's Certification
THIS PLAT HAS BEEN PREPARED BY ME PERSONALLY OR WAS UNDER MY RESPONSIBLE CHARGE AND COMPLIES WITH THE REQUIREMENTS AS SET FORTH IN COMAR 09.13.06.12 AND 09.13.06.03 OF THE MARYLAND MINIMUM STANDARDS OF PRACTICE FOR SURVEYORS AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
R. Lee Gilliss
Professional Land Surveyor
State of Maryland
License No. 10936
Date: 12/14/2023

Attachment 4 **ion District Maryland**
DATE: December 13, 2023 Scale: 1 inch = 20 feet Job No. 23-131

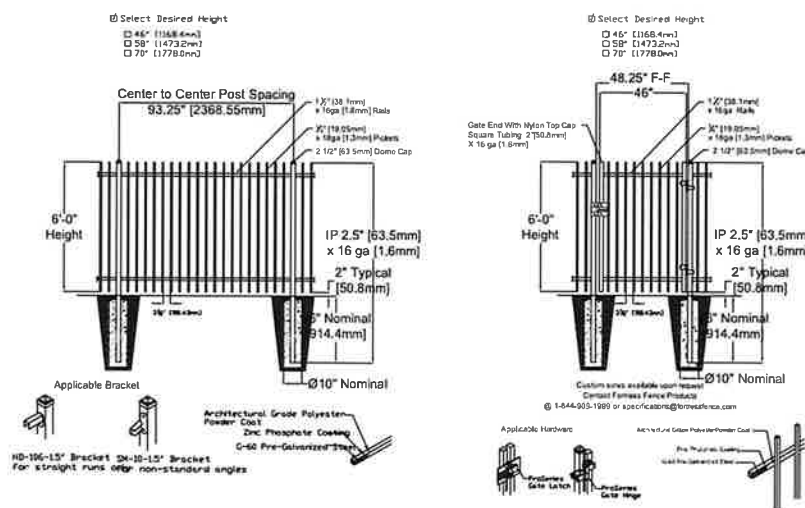
R. Lee Gilliss, PLS
"Land Surveyors & Consultants"
Serving Maryland and Delaware
8826 Old Ocean City Road
Berlin, Maryland 21811
Phone: 410.251.0638
Email: rleegil@verizon.net



1 MISCELLANEOUS MOUNTING HEIGHTS (CHILDREN)
 A902 1/4" = 1'-0"



2 MISCELLANEOUS MOUNTING HEIGHTS (ADULTS)
 A902 1/4" = 1'-0"



3 FENCE & GATE BY FORTRESS OR EQUAL
 A902 1/4" = 1'-0"

APPROVALS	CONSTRUCTION DOCUMENT:
OWNER	OWNER: MS. CYNTHIA "CINDY" HARRISON P.O. BOX 2879 SALISBURY, MARYLAND 21802-2879 TEL: 443-735-6302
OWNER	

I CERTIFY THAT DOCUMENT WERE PREPARED OR APPROVED BY ME AND THAT I AM A BELIEVING ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 969, EXPIRATION DATE: 03-26-2020

No	Revisions / Submissions	Date
CMA CHYKE MAURICE & ASSOC., INC. ARCHITECTURE, PLANNING, & TECH. MGT. 902 W. MAIN STREET/P.O. BOX 1456, SALISBURY, MARYLAND 21802 TEL: 410-742-3996 FAX: 410-742-9155 www.chykearchitects.com		
DRAWING TITLE		
FIXTURE MOUNTING HEIGHTS / FENCE & GATE		
DRAWING TITLE		
CUTE LITTLE GIGGLES DAYCARE CENTER 8245 DICKERSON LANE UNIT F SALISBURY, MD 21801 TEL: 443-735-6302		
DESIGNED MCN	PROJECT NO	
DRAWN MCN	SCALE	
CHECKED	DRAWING NO	
REVIEWED		
DATE 12-18-11		



Henry Eure

From: Suzanne Ruark -MSDE- <suzanne.ruark@maryland.gov>
Sent: Tuesday, January 9, 2024 2:56 PM
To: Henry Eure
Cc: Teresa Handy -MSDE-
Subject: Cynthia Harrison

WARNING: This message was sent from an external source. Please verify the source before clicking any links or opening any attachments. NEVER provide account credentials or sensitive data unless the source has been 100% verified as legitimate.

Good Afternoon Henry,

Cynthia Harrison is proposing to operate a child care center at 8245 Dickerson Lane, Unit F, Salisbury MD 21804.. She plans to have a fenced in playground behind the site with a walk way from the back door of the facility to the playground area that will not be within the fenced in area. As long as she maintains the proper supervision of the children, this practice will be approved by this Office.

If you have any questions or concerns, please do not hesitate to contact me.

Best for the New Year,
Suzanne



Suzanne Ruark

Regional Manager Region IX
Maryland State Department of Education/ DECD/Office of Child Care

O: (410) 713-3435

F: (410) -713-3439

Suzanne.Ruark@maryland.gov

201 Baptist Street, Suite 32
Salisbury, Maryland 21801

marylandpublicschools.org