



City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION

P.O. BOX 870

125 NORTH DIVISION STREET, ROOMS 203 & 201

SALISBURY, MARYLAND 21803-4860

410-548-4860

FAX: 410-548-4955



RANDY TAYLOR
MAYOR

ANDY KITZROW
CITY ADMINISTRATOR

JULIE M. GIORDANO
COUNTY EXECUTIVE

BUNKY LUFFMAN
DIRECTOR OF ADMINISTRATION

SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION

AGENDA

REGULAR MEETING

January 18, 2024

ROOM 301, THIRD FLOOR
GOVERNMENT OFFICE BUILDING

1:30 P.M. Convene, Chip Dashiell, Chairman

Minutes – Meeting of December 21, 2023

1:35 P.M. MINOR SUBDIVISION – Gayle A. Basch, rep. by Nathan Noble, Wilkins-Noble, LLC – 33414 Wango Road, Parsonsburg – M-0050, G-0022, P-0054 (M. Williams)

REVISED COMPREHENSIVE DEVELOPMENT PLAN & PALEOCHANNEL PROTECTION AREA – MILL POND VILLAGE PLAZA – Parker and Associates, Inc. for Mill Pond Village Plaza LLC – 701 E. Naylor Mill Road, Unit 801 – General Commercial Zoning District – M-0101, G-0018, P-5489 – L-1 #202400010 (H. Eure)

PARKING WAIVER REQUEST – MILFORD STREET DOLLAR GENERAL – Oxford Chase Development Inc., rep. by Parker and Associates – Milford St & S. Division St – College and University District M-0117, G-0017, P-3269 - #23-035 (A. Rodriguez)

FINAL COMPREHENSIVE DEVELOPMENT PLAN/ WELLHEAD PROTECTION PLAN APPROVAL – WOODBROOKE MEDICAL CENTER BUILDING A – G2 Properties, LLC, rep. by Parker and Associates – Woodbrooke Medical Center-- 1603 Treesap Court– Light Business & Institutional District– M-0109, G-0002, P-2518 - #05-001 (A. Rodriguez)

DISCUSSION – City Critical Area Map Update (B. Soper)



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MINUTES

The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on December 21, 2023, in Room 301, Council Chambers, Government Office Building with the following persons participating:

COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman
Daniel Moreno-Holt
Matt Drew
Mandel Copeland
Joe Holloway
D'Shawn Doughty

PLANNING STAFF:

Henry Eure, City of Salisbury, Department of Infrastructure and Development ("DID")
Brian Soper, City of Salisbury, DID
Amanda Rodriguez, City of Salisbury DID
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")
Marilyn Williams, Land Development Coordinator, PZCD
Janae Merchant, Recording Secretary, PZCD

Laura Ryan, City of Salisbury, Department of Law
Andrew Illuminati, Wicomico County, Department of Law

The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

Announcement: Chairman Dashiell

Chairman Dashiell welcomed two (2) new members to the Planning Commission, D'Shawn Doughty and Daniel Moreno-Holt. Mr. Doughty studied business management at Salisbury University and began his career in finance with Bank of America. He recently became a development manager at Green Street Housing, an affordable housing real estate developer. He has been involved in several nonprofits in the area. He was the first African-American president of the Salisbury Jaycees. He also serves as kindness Commissioner for the City of Salisbury and on the Executive Board of Directors for Junior Achievement of the Eastern Shore. Recently he was elected to serve the second district of

Salisbury as City Councilman and presently serves as President of the Salisbury City Council.

Mr. Marino-Holt is a licensed architect with over 15 years of experience in the profession. He also owns and operates Design Matters LLC, an architectural firm based in Salisbury. He holds two master's degrees from the University of Maryland in Architecture and Real Estate Development as well as an urban design certificate.

MINUTES: The November 16, 2023 minutes were brought forward for approval. Mr. Matt Drew submitted a motion to approve, seconded by Mr. Joe Holloway and duly carried. The minutes from the November 16, 2023 meeting were **APPROVED** as submitted.

PUBLIC MEETING - FINAL SUBDIVISION PLAT APPROVAL – STEEPLECHASE, SECTION 8 – Messick Home Improvements, Inc., represented by Donnie Messick – Equestrian Drive, Pemberton Drive, Crooked Oak Lane – R-20 Residential – M. 0037, G. 0021, P. 0348 – (M. Williams)

Ms. Marilyn Williams was joined at the table by Mr. Donnie Messick (Messick Builders). Ms. Williams presented the Staff Report.

Section 8 of the Steeplechase subdivision proposed 27 new lots for on-site septic and community water. The total area of lot development is 16.249 acres for an average lot size of 26,215 sq. ft. All lots will be accessed by interior roads, and direct access is denied to Crooked Oak Lane and Pemberton Drive.

The Planning Staff recommended approval of the Final Plat for Steeplechase Section 8 subject to the six (6) conditions listed below.

1. The Final Plat shall comply with all requirements of the Wicomico County Subdivision Regulations.
2. Health Department signature on Final Plat prior to recordation.
3. All lots will become members of the Steeplechase Homeowners Association and a revised Declaration of Covenants and Restrictions adding this new section to the Association must be recorded in the Land Records prior to the recordation of the Final Plat.
4. A deed conveying the newly constructed roads must be prepared prior to the recordation of the Final Plat.
5. A cluster mailbox pad with adequate access is to be constructed outside of all easement areas and in accordance with U.S. Postal Service requirements, or, a letter from the local USPS office confirming individual mail delivery is required prior to the recordation of the Final Plat.
6. This approval is subject to further review and approval and conditions imposed by the Departments of Planning and Zoning and Public Works.

As there were no comments, Chairman Dashiell requested a motion to approve the Final Plat for Steeplechase Section 8 subject to the six (6) conditions that are listed in the Staff Report. Mr. Drew entered a motion to approve then it was seconded by Mr. Mandel Copeland and duly carried,

Chairman Dashiell stated the motion was **APPROVED**.

REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – VERNON POWELL PHASE II – Eastdale Enterprises, LLC, rep. by Parker and Associates – 2401 E Naylor Mill Road – Naylor Mill Road & N Mall Drive – General Commercial Zoning District – M-0119, G-0011, P-0240 - #23-029 (A. Rodriquez)

Ms. Amanda Rodriquez was joined by Mr. Brock Parker (Parker and Associates), and Mr. Joseph Wright (Eastdale Enterprises and Vernon Powell Company). Ms. Rodriquez presented the Staff Report.

The applicant proposed to expand the existing Vernon Powell Shopping Center by an additional 24,600 sq. ft. of retail space and 9,600 sq. ft. of warehouse space.

Staff presented the Comprehensive Development Plan Review consisting of the Site Plan, Building Elevations, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Transportation, Streets, and Pedestrians.

The Planning Staff recommends approval of the Revised final Comprehensive Development Plan for Vernon Powell Phase II subject to the seven (7) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval and the standards set forth for shopping centers in CH 17.212 of the Zoning Code.
2. Provide a final Landscaping and Lighting Plan with specifications, including the increase in landscaping as required by Ch 17.196.020 for approval by City Staff.
3. Submit a Sign Plan for additional signage not previously approved in 2006 that meets all standards set forth in Ch 17.216 of the Zoning Code for approval by the Planning Commission.
4. Provide a specific Development Schedule.
5. Provide a Trip Calculation to the Salisbury DID for future intersection improvements.
6. Include the calculated number of bicycle parking spaces as required by Code.
7. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Wright provided historical information on where the Vernon Powell Shoe Company began with his great-grandfather and how it progressed with his father and is now under his direction. The business has had significant growth over the years and they require additional storage and leasing space.

Mr. Parker spoke about the additional ten (10) parking spaces and requested a waiver to allow them.

Mr. Drew asked if storing tractors and trucks in the warehouse would require any special accommodations. Mr. Wright responded stating the process they are currently following would not change with the new buildings. Mr. Drew also inquired about fire protection for the new buildings, and if they would have an automatic sprinkler system. Mr. Parker added they would take utilities to both rear buildings.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Revised Final Comprehensive Development Plan for Vernon Powell Company Phase II subject to the seven (7) conditions mentioned in the Staff Report which will include a waiver of the parking requirement and thereby require additional Landscaping. Mr. Holloway entered a motion to approve

then it was seconded by Mr. D'Shawn Doughty and duly carried,

Chairman Dashiell stated the motion was **APPROVED**.

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – WESTWOOD COMMERCE PARK NORTH 50 – Parker & Associates Inc. for St. John Properties – Southeast Corner of N. West Road & Naylor Mill Road – Planned Development District #2 – Westwood Commerce Park – M-0029, G-0007, P-0091 - 202301507 (H. Eure)

Mr. Henry Eure and Mr. Parker were joined at the table by Mr. Andrew Roud (from St. John Properties) and Mr. Matthew Destino (St. John Properties). Mr. Eure presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the construction of eight (8) single-story Flex/R&D buildings ranging from 26,320 sq. ft. to 48,120 sq. ft. on the 36.17-acre lot. Two (2) 8,125 sq. ft. retail-type buildings with drive-thru windows were also proposed, along with delivery vehicle storage and employee parking.

Staff presented the Comprehensive Development Plan Review. These included a Site Plan, Building Elevations, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conversation Program, Traffic and Paleochannel Protection District.

Staff recommended approval of the Preliminary Comprehensive Development Plan and Paleochannel Protection District for the Westwood Commerce Park North 50 subject to the six (6) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. The Final Site/Landscaping Plan shall display dumpster locations and screening.
3. Provide a minimum of two (2) bicycle parking spaces at each retail building.
4. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits.
5. Provide a Development Schedule, Community Impact Statement, and Statements of Intent to Proceed and Financial Capability.
6. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Roud provided background information on St. John Properties and the proposed development for the two (2) new Commissioners.

Chairman Dashiell thanked Mr. Roud and Mr. Destino for their presentation and for the invitation to view their buildings in person.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Preliminary Comprehensive Development Plan and Paleochannel Protection District for the Westwood Commerce Park North 50 subject to the six (6) conditions mentioned in the Staff Report and added a seventh that stated: "Subject to the requirement of a Traffic Impact Statement." Mr. Holloway entered

a motion to approve then it was seconded by Mr. Doughty and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – WESTWOOD COMMERCE PARK SOUTH 50 – Parker & Associates Inc. for St. John Properties – East Side of Ed Taylor Drive and South of US RT. 50 Bypass – Planned Development District #2 – Westwood Commerce Park – M-0029, G-0013, P-0530 - 202301508 (H. Eure)

Mr. Eure, Mr. Parker, Mr. Roud, and Mr. Destino remained at the table. Mr. Eure presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the construction of four (4) single-story Flex/R&D buildings ranging from 42,120 sq. ft. to 51,120 sq. ft. on the 17.3-acre lot. Also proposed were onsite delivery vehicle storage and employee parking.

Staff presented the Comprehensive Development Plan Review. These included a Site Plan, Building Elevations, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conversation Program, Traffic and Paleochannel Protection District.

Staff recommended approval of the Preliminary Comprehensive Development Plan and Paleochannel Protection District for the Westwood Commerce Park subject to the five (5) conditions listed below.

1. The site shall be developed in accordance with a final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. The final site/landscaping plan shall display dumpster locations and screening.
3. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits.
4. Provide a Development Schedule, Community Impact Statement, and Statements of Intent to Proceed and Financial Capability.
5. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

As there were no comments, Chairman Dashiell requested a motion to approve the Preliminary Comprehensive Development Plan and Paleochannel Protection District for the Westwood Commerce Park South 50 subject to the five (5) conditions according to the Staff Report and added a six that stated: "Subject to the requirement of a Traffic Impact Study.". Mr. Drew entered a motion to approve then it was seconded by Mr. Daniel Moreno-Holt and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – STARBUCKS – Solutions Integrated Planning, Engineering and Management, LLC for Oak Ridge Baptist Church – Gateway Crossing Shopping Center – Tilghman Road – Regional Commercial Zoning District – M-0110, G-0016, P-4491, Lot 5 - 202301506 (H. Eure)

Mr. Eure was joined by Mr. Mark Reynolds (Oak Ridge Baptist Church), and Mr. John McClellan (SVN-Miller Commercial Real Estate). Mr. Eure presented the Staff Report.

Solutions Integrated Planning, Engineering and Management LLC, on behalf of Oak Ridge Baptist Church, proposed to construct a 2,700 sq. ft., single-story restaurant/coffeehouse on the 1.29-acre lot. Also proposed was a drive-thru lane and customer/employee parking.

Staff presented the Comprehensive Development Plan Review. These included Site Plan, Building Elevations, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conversation Program, and Traffic.

Staff recommended approval of the Final Comprehensive Development Plan and Wellhead Protection for Starbucks subject to the three (3) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits.
3. This approval is subject to further review and approval by the Salisbury DID and the Salisbury Fire Department.

Mr. McClellan offered his thoughts on the positive effects Starbucks will have on the shopping center. It will help alleviate the ocean of asphalt, over 1200 parking spaces, for what was at one time about 180,000 sq. ft. so it was over-parked. He added he hopes it will alleviate a traffic backup at the Dunkin Donuts across the street.

Mr. Reynolds said he appreciated all the support and it is great to see this shopping center get some life back in it between the Junior Achievement, Oak Ridge's addition, and now this is just a symbol of what people recognize on that part of Salisbury.

Mr. Holloway mentioned his concern with the two (2) entrances off Tilghman Road because there are currently backups in that area around lunchtime, it is a bad intersection. Mr. Eure believes this will be taken into consideration by both the State and the City's traffic expert. Chairman Dashiell clarified this topic would be resolved before issuing any permits.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Final Comprehensive Development Plan and Wellhead Protection for Starbucks subject to the three (3) conditions listed in the Staff Report. Mr. Doughty entered a motion to approve then it was seconded by Mr. Holloway and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

Chairman Dashiell took a moment to welcome the County Executive, Julie Giordano, and the County Administrator, Bunky Luffman. He thanked them for joining the meeting today.

Chairman Dashiell also addressed Mr. Scott Rogers as he was leaving the meeting. Mr. Rogers had served on the Planning Commission for seventeen (17) years.

PRELIMINARY COMPREHENSIVE SITE PLAN APPROVAL – TIDALHEALTH COMMUNITY CLINIC – TidalHealth Peninsula Regional Inc, rep. by Becker Morgan Group – 805 E Church St – R-5A Residential District – M-0108, G-0003, P-1848 - #23-022 (B. Soper)

Mr. Brian Soper was joined by Ms. Simona Eng (Internist with TidalHealth and Associate Vice President of Medical Education), Mr. Palmer Gillis (Gillis-Gilkerson), and Mr. Kevin Parsons (Becker Morgan Group). Mr. Soper presented the Staff Report.

Becker Morgan Group, on behalf of TidalHealth, proposed to construct a 16,846 sq. ft. residential community clinic as defined in the Text Amendment adopted via Ordinance No. 2821. They requested approval for the use to be permitted as a special exception; however, the Special Exception must be granted by the Board of Appeals before Final approval by the Planning Commission.

Staff presented the Comprehensive Site Plan Review. These included Parking, Refuse Disposal, Building Setbacks/Spacing, Fire Service, Landscaping, Building Elevations, Stormwater Management, Forest Conservation Program, Transportation, Streets, and Pedestrians.

Mr. Soper added the community clinic will increase healthcare access to neighborhood residents who may have sought access via the hospital or not at all. The community benefits are not just limited to medical access as the facility will also serve as a meeting space for counseling, education, and other community wellness activities and outreach.

Staff recommended approval of the Preliminary Comprehensive Site Plan subject to the five (5) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Site Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. Obtain a Special Exception from the Board of Appeals for the use prior to the approval of a Final Comprehensive Site Plan.
3. Submit a sign plan for Planning Commission approval prior to the issuance of sign permits.
4. Provide ten (10) bicycle parking spaces.
5. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Parsons provided a summary of the landscaping plans, and fencing, then touched on some of the architectural features.

Ms. Eng spoke of the benefits of having the Edward Q. Wilgus Community Clinic.

- services including primary and specialty care, behavioral health, and vital preventative screenings;
- home base for TidalHealth resident physicians;
- healthcare will be accessible and affordable;
- various counseling sessions will be available; and
- bringing much-needed care to the underprivileged areas of Salisbury.

Mr. Palmer mentioned they wished to begin construction in March or April so that the clinic

would be completed in 2024. He requested for this case to be approved by the Planning Commission as a Preliminary and Final so they did not have to return for another approval.

Mr. Holloway asked Mr. Gillis and Mr. Parsons if they had expected to get Preliminary and Final approval at the meeting. Mr. Parsons said they did not expect it but had hoped the Commissioners would consider approving both. Chairman Dashiell mentioned the Commission is not interested in delaying any kind of approval for any business or any presentation that comes in front of them. The main concern is to follow the rules and the recommendations coming from the Planning Staff and be consistent in our rulings.

Mr. Holloway is concerned with the fencing and landscaping and the problems that would arise in the neighborhood; he wants everyone to be safe.

Mr. Doughty added he appreciated them bringing in some of the architectural aspects of Hotel Esther and how welcoming the community center appears. He encouraged them to stay with their design.

Mr. Moreno-Holt agreed with Mr. Doughty's comments, his one concern was to consider additional bicycle parking. Mr. Soper replied stating his recommendation is ten (10). However, he would anticipate that if the demand is higher, especially for non-vehicle users, they would end up having to add more as the demand increases.

Mr. Doughty asked if there would be a covered bus stop for additional non-driving individuals where they can safely and efficiently wait for transportation. Mr. Parsons mentioned they would look into adding a stop near the clinic and a bus shelter.

Mr. Drew inquired about the community function and the medical function happening simultaneously. Ms. Eng added it was going to be soundproof. Mr. Drew said the project is 30% under the calculated parking, would there be a concern if both functions of the community center occurred at the same time? Mr. Parsons added the owner is satisfied with the current parking spaces and attempts will be made not to conflict public use with medical use. Mr. Soper also said there is on-street parking on Benny Street. Chairman added it is difficult to guess exactly the parking requirements that will be needed on-site. We would hope that the medical facility does not have to purchase other property so there can be sufficient parking.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Preliminary Comprehensive Site Plan for the TidalHealth Community Clinic subject to the five (5) conditions listed in the Staff Report. Mr. Holloway entered a motion to approve then it was seconded by Mr. Doughty and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – EAST NAYLOR MILL LOT 4 – St. John Properties, Inc., rep. by Parker and Associates – East Naylor Mill Rd – General Commercial District – M-0119, G-0011, P-0240, Lot-4 - #23-032 (B. Soper)

Mr. Soper was joined by Mr. Parker, Mr. Roud, and Mr. Destino (St. John Properties). Mr. Soper

presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the development of two (2) Flex/R&D buildings on the 8.73-acre lot.

Staff presented the Comprehensive Development Plan Review. These included Site Plan, Building Elevations/Floor Plans, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conversation Program, Transportation, Streets, and Pedestrians.

Staff recommended approval of the Preliminary Comprehensive Development Plan subject to the six (6) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. Submit a sign plan for Planning Commission approval as part of the Final Comprehensive Development Plan Approval.
- ~~3. Revise the parking tabulation to a mixed use building.~~
4. Provide locations of bicycle parking and loading spaces compliant with 17.196 of the Zoning Code.
5. Provide a Development Schedule, Community Impact Statement, Statement of Intent to Proceed, and Financial Capability.
6. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Drew asked if a shared-use path along East Naylor Mill Road had been built into the design. Mr. Soper said it would be addressed during the engineering phase.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Preliminary Comprehensive Development Plan for East Naylor Mill Lot 4 subject to the five (5) conditions according to the Staff Report, removing number three (3) and adding number six (6) "Submit a Traffic Impact Study." Mr. Doughty entered a motion to approve then it was seconded by Mr. Holloway and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – EAST NAYLOR MILL PARCEL 239 – St. John Properties, Inc., rep. by Parker and Associates – East Naylor Mill Rd – General Commercial District – M-0119, G-0005, P-0239 - #23-031 (B. Soper)

Mr. Soper, Mr. Parker, Mr. Roud, and Mr. Destino remained at the table. Mr. Soper presented the Staff Report.

Parker and Associates, on behalf of the owner, submitted a request for the development of two (2) Flex/R&D buildings and three (3) retail buildings on the 17.76-acre lot.

Staff presented the Comprehensive Development Plan Review. These included Site Plan, Building Elevations/Floor Plans, Sign Plan, Landscaping Plan, Development Schedule, Community

Impact Statement, Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conversation Program, Transportation, Streets, and Pedestrians.

Staff recommended approval of the Preliminary Comprehensive Development Plan subject to the six (6) conditions listed below.

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury DID.
2. Submit a sign plan for Planning Commission approval as part of the Final Comprehensive Development Plan Approval.
3. Revise the parking tabulation to a mixed-use building.
4. Provide locations of bicycle parking and loading spaces compliant with 17.196 of the Zoning Code.
5. Provide a Development Schedule, Community Impact Statement, Statement of Intent to Proceed, and Financial Capability.
6. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and other agencies as appropriate.

Mr. Parker mentioned this project was slightly different than the other ones. There is a little more retail on this one and piggybacking on the Mill Pond Plaza Shopping Center next door. It has been very successful and we believe Salisbury could use a little bit of retail down this end closer to Route 13. All three buildings will have a drive-thru on the end which will provide a bit of a different element in this area. In the back, we have two typical R&D Flex buildings in keeping with the ones that we have seen today.

Mr. Drew inquired if any consideration was given to tying into Parsons Lake Road to have alternate ways in and out of the retail space being projected. Mr. Soper said their Transportation Manager highlighted this as a concern during the initial review. DID is waiting for the engineering plan and the traffic impact study before deciding.

Chairman Dashiell wanted to know if the project had adequate parking as far as the City is concerned.

As there were no additional comments, Chairman Dashiell requested a motion to approve the Preliminary Comprehensive Development Plan for East Naylor Mill Parcel 239 subject to the six (6) conditions according to the Staff Report and adding number seven (7) "Submit a Traffic Impact Study." Mr. Drew entered a motion to approve then it was seconded by Mr. Holloway and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

STAFF ANNOUNCEMENTS

Mr. Soper said in January, the City would have the Critical Area map updates that have been provided by the state. These maps are treated like zoning map amendments so there will be a discussion about the maps, followed up by a public hearing potentially in February. He also anticipated he may have a write-up about the Comprehensive Plan kickoff workshop. There will be social media items going out from the City advising people of this push coming out. They will have a couple of minor cases in January.

Ms. Lori Carter thanked Mr. Holloway for his support in the Text Amendment with the County Council for cannabis. They accepted most of the recommendations and added the C1, C2, and C3 Zoning Districts and added a 300 ft. setback near residential properties. Also, Wicomico County is getting ready to go through the Critical Area map discussion in February. She also thanked the new Commission members for being present for the meeting. She reminded the new Commissioners to work on the Planning Commission training online and add the Open Meetings Act training. Ms. Carter wished everyone a Merry Christmas and Happy Holidays to everyone and we thank you for your service during this year of 2023.

Chairman Dashiell mentioned his appreciation to Ms. Carter and Mr. Soper for their support in his reappointment to the Commission and also for the Mayor's, the City and County Councils', and the County Executive, support along with their colleagues, for reappointing me to the Commission.

Chairman Dashiell wished everyone a Merry Christmas, a happy Hanukkah, and all the traditions that are important to each of you. He also thanked everyone for their faithfulness to this Commission, we have a lot going on and it's all good for our City and County.

As there were no additional comments, Chairman Dashiell asked for a motion to adjourn. Upon a motion by Mr. Holloway, seconded by Mr. Doughty, and carried unanimously, the Commission meeting was adjourned at 3:55 p.m.

The next regular Commission meeting will be on January 25, 2024.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

Charles "Chip" Dashiell, Chairman

Lori A. Carter, MBA, Secretary

Janae Merchant, Recording Secretary



WICOMICO COUNTY, MARYLAND
DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT
125 N. DIVISION STREET, ROOM 203
P.O. BOX 870
SALISBURY, MARYLAND 21803-0870
PHONE: 410-548-4860 | FAX: 410-548-4955

John D. Psota
Acting County Executive

John D. Psota
Director of Administration

COUNTY SUBDIVISION ANALYSIS

MEETING OF JANUARY 18, 2024

Subdivision Name: Minor Subdivision of the Lands of Gayle Basch

Location: 33414 Wango Road

Map: 50

Grid: 22

Parcel: 54

Acres: 71.5 +/- acres

Subdivision Acreage: 9.62 +/- acres

Lots: 2

Applicant:

Nathan Noble
Wilkins and Noble
11729 Church Street
Princess Anne, MD 21853

Applicant:

Gayle A. Basch
33414 Wango Road
Parsonsburg, MD 21849

Zoning: A1 (Agricultural-Rural)

Jurisdiction: Wicomico County

Type of Plat: Preliminary/Final

Type of Development Proposed: Residential

I. EXPLANATION OF REQUEST.

This plat proposes the creation of two new minor lots from Parcel 54 shown on Tax Map 50. The lots will be the third and fourth lots subdivided from the parent parcel since our regulatory date. The proposed lots are larger in size with Lot 3 proposed at 9+/- acres and Lot 4 proposed at 2+/- acres. The remaining land is approximately 60 acres. Proposed Lot 3 is improved with a single family home and proposed Lot 4 is tilled farm land. The remaining lands are a mixture of tilled farmland and wooded acreage.

The new lots will front along Wango Road at the intersection with Twilleys Bridge Road. Wango Road is a minor collector road in the County Roads system.

II. RECOMMENDATION.

The Planning Staff recommends approval of Lots 3 and 4 of the Gayle Basch lands.

III. SUBDIVISION STATUS.

A. WAIVERS REQUIRED:

N/A

B. FOREST CONSERVATION:

The subdivision must comply with forest conservation regulations.

C. CHESAPEAKE BAY CRITICAL AREA:

N/A

D. PROPOSED CONDITIONS:

1. The Minor Subdivision Plat shall comply with all requirements of the Wicomico County Subdivision Regulations.
2. Health Department approval is required prior to the recordation of the Minor Subdivision Plat.
3. The Minor Subdivision Plat shall comply with all requirements of the Forest Conservation Regulations.
4. This approval is subject to further review and approval and conditions imposed by the Planning and Zoning and Public Works Departments.

E. PLANNING/PUBLIC WORKS STAFF COMMENTS:

This plat requires Planning Commission approval because the fourth lot exceeds the three inherent minor lots. Parcel 149 shown on the Tax Map was subdivided from this property in 1988 and Parcel 152 was subdivided in 1993.

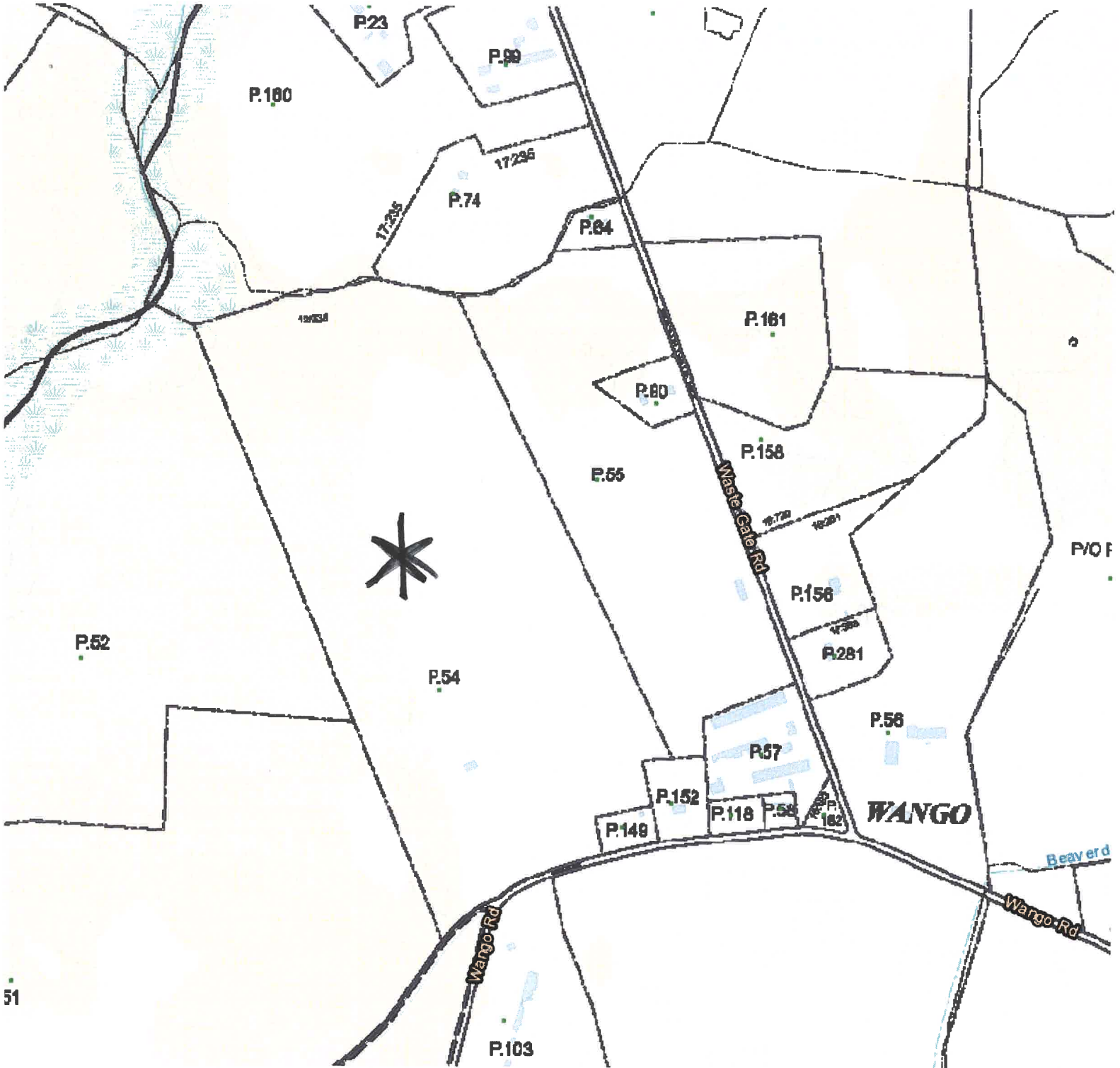
The proposed lot sizes maintain the rural integrity of the area.

COORDINATOR: Marilyn Williams, Technical Review
DATE: January 11, 2024

Attachment #A – Tax Map

Attachment #B – Aerial Photo

Attachment #C – Proposed Plat



51

Attachment A

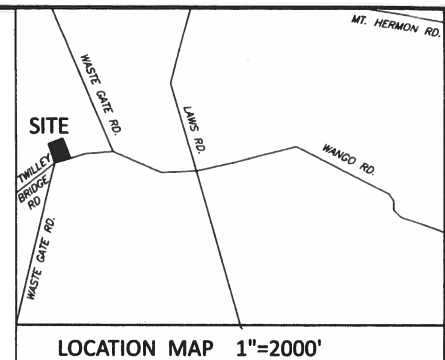


GENERAL NOTES

1. WICOMICO COUNTY TAX MAP NO. 50 GRID 22 PARCEL 54
2. DEED REF. 2007/037
3. PLAT REF. 12/1/05
4. ZONED A1
5. LOTS 3 AND 4 ARE WITHIN REEF MAP 3404/02/03/04, R/17/15, AND BANNED SETBACK ZONE "Z"
6. 6TH ELECTION DISTRICT
7. ALL FUTURE CONSTRUCTION SHALL CONFORM TO THE WICOMICO COUNTY ZONING CODE IN EFFECT AT THE TIME OF CONSTRUCTION
8. CURRENT OWNERS INFORMATION
GAYLE BASCH
25114 WANGO RD
PARKERSBURG, MD 21779
9. THE FOLLOWING NOTE IS A STANDARD NOTE REQUIRED BY THE WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS ON ALL SUBDIVISION PLATS: THIS LOT MAY BE SUBJECT TO FUTURE LOCALIZED STORMWATER DRAINAGE PROGRAMS. LOT OWNERS ARE ENCOURAGED TO PREPARE THE LOTS AND CONSTRUCT STRUCTURES SO AS TO MINIMIZE THE RISK OF THESE STORMWATER DRAINAGE PROGRAMS.
10. SETBACKS FOR PRINCIPAL STRUCTURE IN ZONING A1
FRONT - 30'
SIDE - 10' (IF REQUIRED)
REAR - 30'
11. FINAL PLAT APPROVAL CERTIFIES THAT THE SUBDIVISION HAS BEEN REVIEWED FOR STORMWATER DRAINAGE AFFECTING GREY STREETS AND PUBLIC AREAS WITHIN ITS OWN BOUNDARIES NOT INDIVIDUAL LOTS.
12. THE APPROVAL OF THE WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO COMPLY WITH ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
13. THIS SUBDIVISION IS WITHIN AN AREA WHICH ALLOWS AGRICULTURAL OPERATIONS. THIS "RIGHT TO FARM" IS PROTECTED UNDER CHAPTER 18 OF THE WICOMICO COUNTY CODE.
14. SEWAGE SYSTEM DESIGNS ARE BASED ON UNDISTURBED GRADE ELEVATIONS WHICH WERE OBSERVED DURING THE LAND EVALUATION PROCESS.
15. ALL FOUNDATIONS MUST BE A MINIMUM OF 10' FROM THE SEWAGE RESERVE AREA, 20' FROM SAND BOUNDS AND 30' FROM POTABLE WELL. EACH SEWAGE RESERVE AREA SHALL REMAIN EXCLUSIVE OF STRUCTURES, EASEMENTS, RIGHTS OF WAY AND DRIVEWAYS.
16. POTABLE WELLS AND/OR SEWAGE AREAS WITHIN 10' OF THE PROPOSED BOUNDARY LINES HAVE BEEN SHOWN.
17. GPM MANAGEMENT ZONE B1
18. REFERENCED LAND EVALUATION NUMBERS: 758 AND 759
19. EACH SEWAGE RESERVE/SEWAGE AREA SHALL REMAIN EXCLUSIVE OF STRUCTURES, EASEMENTS, RIGHTS OF WAY AND DRIVEWAYS. UTILITIES ARE TO BE LOCATED OUTSIDE OF THE SEWAGE DISPOSAL AREA.
20. THE SEWAGE DISPOSAL AREAS SHOWN ON THIS PLAT ARE NOT TO BE IMPACTED DURING ANY PHASE OF CONSTRUCTION, DRILLING, OR STORMWATER MANAGEMENT ACTIVITIES. OTHERWISE THE SITE MAY BE DEEMED NOT FEASIBLE.
21. THE APPROVED WATERWATER FLOW SHOWN IS BASED ON RESIDENTIAL USE. OTHER USES MAY REDUCE THE APPROVED FLOW.
22. PROPOSED USE AND DEVELOPMENT OF APPROVED LOTS SHALL CONFORM TO CHAPTER 225 (ZONING) OF THE WICOMICO COUNTY CODE.

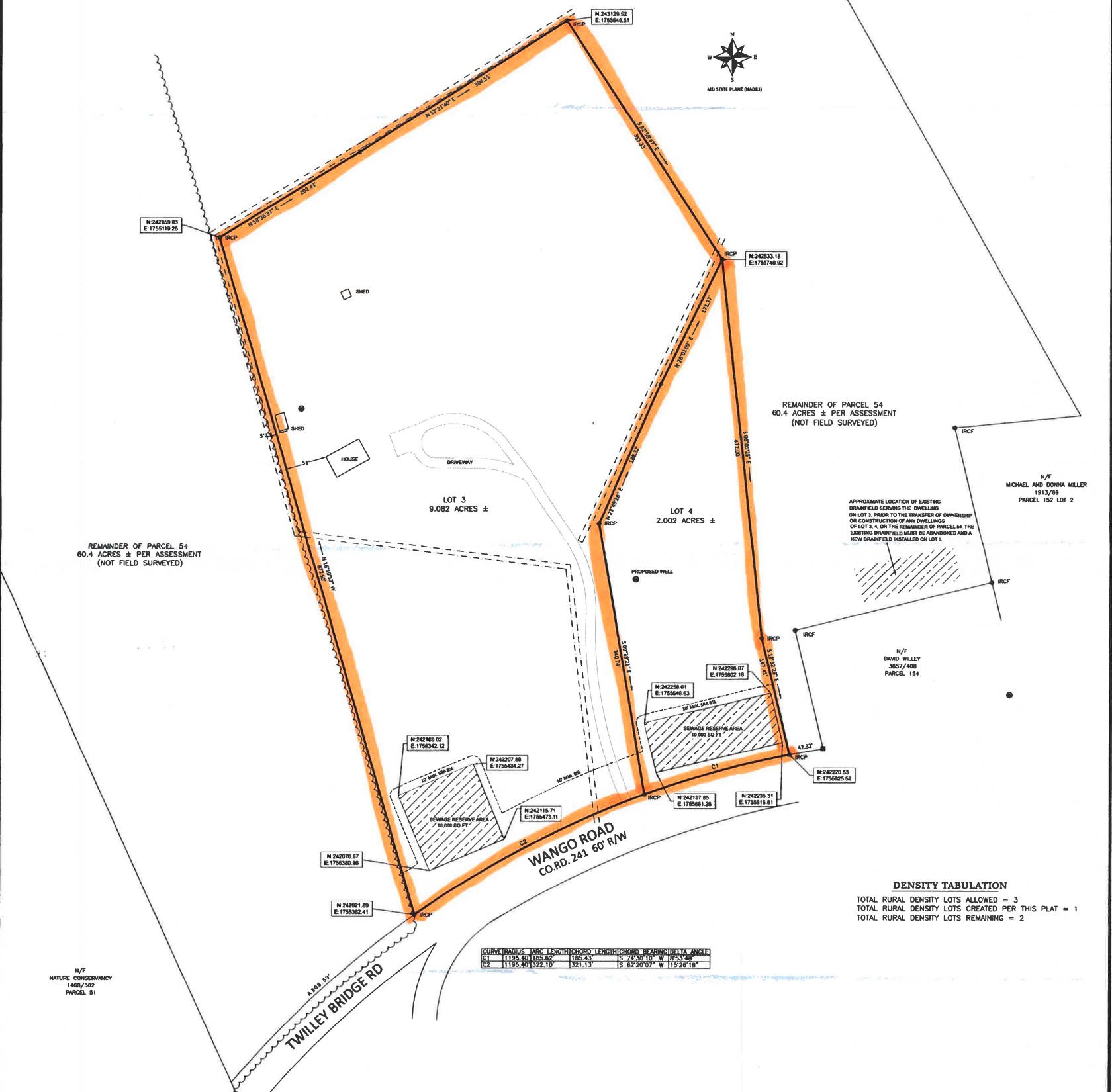
PLAT PURPOSE:
THE PURPOSE OF THIS PLAT IS TO CREATE LOTS 3 AND 4 WITH AN AGRICULTURAL REMAINDER.

- LEGEND**
- CONCRETE POST FOUND
 - IRON ROD FOUND
 - IRON PIPE FOUND
 - IRON ROD W/ CAP FOUND
 - IRON ROD W/ CAP SET
 - PROPERTY CORNER
 - WELL
 - BUILDING SETBACK LINE
 - THIS LINE
 - DENOTES SEWAGE RESERVE AREA
 - DITCH



REMAINDER OF PARCEL 54
60.4 ACRES ± PER ASSESSMENT
(NOT FIELD SURVEYED)

AGRICULTURAL USE ONLY. ANY CONSTRUCTION REQUIRING WATER SUPPLY OR SEWAGE DISPOSAL MUST BE APPROVED BY THE WICOMICO COUNTY HEALTH DEPARTMENT AND PUBLIC WORKS DEPT. A NEW PLAT RECORDING THIS APPROVAL WILL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY PERMITS.



CURVE/RADIUS	ARC LENGTH	CHORD	CHORD BEARING	ANGULAR DISTANCE
C1	1195.401185.62	185.43	S 74° 50' 10\"	W 18° 24' 28\"
C2	1195.401322.10	321.13	S 62° 20' 07\"	W 119° 26' 18\"

DENSITY TABULATION

TOTAL RURAL DENSITY LOTS ALLOWED = 3
TOTAL RURAL DENSITY LOTS CREATED PER THIS PLAT = 1
TOTAL RURAL DENSITY LOTS REMAINING = 2

FOREST CONSERVATION NOTES

1. ANY DISTURBANCE OF LAND, TRANSFER OF OWNERSHIP WITHIN 5 YEARS OF THE RECORDING OF THIS PLAT, OR FUTURE SUBDIVISION ACTIVITY ON THIS PARCEL MAY BE SUBJECT TO THE WICOMICO COUNTY FOREST CONSERVATION ACT REF. FCA § 12J.

WICOMICO COUNTY PLANNING COMMISSION

BY _____

DATE _____

WICOMICO COUNTY DEPT. PUBLIC WORKS

BY _____

DATE _____

WICOMICO COUNTY DEPT. PLANNING AND ZONING

BY _____

DATE _____

OWNER'S AND SURVEYOR'S CERTIFICATE

WE CERTIFY THAT THE REQUIREMENTS OF "REAL PROPERTY" SECTION 5 OF THE ANNOTATED CODE OF MD. LATEST EDITION, CONCERNING THE MARKING OF THIS PLAT AND THE SETTING OF THE MARKERS HAVE BEEN COMPLIED WITH TO THE BEST OF OUR KNOWLEDGE.

DEPT. SAGHS _____ DATE _____

LAND SURVEYOR _____ DATE _____

WICOMICO COUNTY HEALTH DEPT.

LOTS 3 & 4 ARE APPROVED FOR INTERIOR DOMESTIC WATER AND ON-SITE SEWAGE TREATMENT AND THEIR USE IS IN ACCORDANCE WITH THE WICOMICO COUNTY COMPREHENSIVE PLAN. EXISTING FACILITIES WERE NOT EVALUATED FOR THE PURPOSE OF THIS PLAT. THE REMAINDER OF PARCEL 54 HAS NOT BEEN EVALUATED AND IS APPROVED FOR AGRICULTURAL PURPOSES ONLY.

BY _____ DATE _____

Except as specifically stated or shown on this plat, this plat does not purport to reflect any of the following which may be applicable to the subject real estate: easements, right of way, building setbacks, lines, restrictive covenants, subdivision restrictions, zoning or other land use regulations, and any other facts that an accurate and current title search may disclose. No title search was provided for this survey. No title guarantee is intended or implied by this plat.

Nathan Andrew Noble, Lic. #21431, either personally prepared this Resubdivision or was in responsible charge over its preparation and the surveying work reflected in it, all in compliance with requirements set forth in regulation 12 of corner title 9, subtitle 13, chapter 09.13.06. License Expiration 12-28-2024.

DISCLAIMER:
THIS PROPERTY CONTAINS DEEP WELLS WITH HYDROCARBONS, WHICH MAY INDICATE THE PRESENCE OF NON-TOTAL WETLANDS. APPLICANT MUST MEET ALL STATE AND FEDERAL REQUIREMENTS FOR WELL LARGER UNDER CORNER 04.05. THE FEDERAL REQUIREMENTS FOR WATER POLLUTION CONTROL ACT, SEC. 404 OR THE RIVERS AND HARBORS ACT, SEC. 10.

0 60 120 180

MINOR SUBDIVISION LANDS OF GAYLE BASCH

WICOMICO COUNTY, MARYLAND

SCALE	1" = 60'	SURVEYED	NAN	JOB NO.	33414
DATE	2/23/23	DRAWN	NAN	FIELD BOOK	X
REVISED	12/12/23	CAD FILE	BWCH	SHEET	1 OF 1

WILKINS-NOBLE LLC
CIVIL ENGINEERING AND LAND SURVEYING
11728 CHURCH ST
PRINCES ANNE, MD 21853
PHONE: 410-621-0321
FAX: 410-621-0320

Attachment C



Infrastructure and Development Staff Report

January 18, 2024

I. BACKGROUND INFORMATION:

Project Name: Mill Pond Village Plaza Shopping Center
Applicant/Owner: Parker and Associates, Inc. for Mill Pond Village Plaza LLC
Infrastructure and Development Case No.: 202400010
Nature of Request: Revised Comprehensive Development Plan & Paleochannel Protection Area
Location of Property: 701 E. Naylor Mill Road, Unit 801
Map: 0101; Grid: 0018; Parcel: 5489; Lot: 1
Existing Zoning: General Commercial

II. SUMMARY OF REQUEST:

The applicant has submitted a Revised Site Plan for the Mill Pond Village Plaza Shopping Center for the Planning Commission's review and approval. **(Attachment 1)** No other changes are proposed for the shopping center.

III. DISCUSSION:

The applicant is seeking approval for the installation of a 6 ft. tall privacy fence to enclose an outdoor play area for a new daycare center that will be located in Unit 801. **(Attachments 2 - 5)**

IV. APPROVAL HISTORY:

The Mill Pond Village Plaza Shopping Center has a long and extensive history, dating back to August of 2001. The most recent approval was for a Revised Sign Plan for the shopping center on February 17, 2011.

V. REVISED SITE PLAN:

The State of Maryland Office of Childcare Administration requires daycare centers to provide protected outdoor play areas. Therefore, the applicant is requesting permission to revise the site plan to erect a 6 ft. tall vinyl fence to enclose an outdoor play area for a proposed daycare center. The fence will be located along the rear and side (northeast) side of Building 801, and



will enclose approximately 3,000 sq. ft. of open space. **(Attachments 2 -5)**

VI. PALEOCHANNEL PROTECTION DISTRICT

The entire shopping center is located within the Paleochannel Protection District. It does not appear that the Planning Commission has ever technically granted Paleochannel Approval despite granting Comprehensive Development Plan approval. As a maintenance issue, Staff recommends that the Commission grant Paleochannel Protection approval for the shopping center. The uses in the shopping center are all low-hazard uses that do not impact the City's aquifer and water supply.

VII. PLANNING CONCERNS

None. The proposed fence is a minor change to the shopping center's site plan, and will have minimal impact on the neighboring tenants.

VIII. RECOMMENDATION

Staff recommends approval of the Revised Comprehensive Development Plan for the installation of a 6 ft. tall fence enclosing the outdoor play area as submitted. Paleochannel Protection District approval is also recommended for the shopping center.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

12/18/2023

Attn: Henry Eure
Ref: Mill Pond Plaza, Proposed Fence for Day Care

Dear Jessica,

On behalf of Stanley Markofsky, the owner of the Mill Pond Plaza Shopping Center on E. Naylor Mill Rd., I would like to respectfully request to be placed on the next available agenda of the planning commission to seek approval to install a fence as the attached site plan shows.

Mr. Markofsky has been approached by a potential tenant that would like to occupy several units within the shopping center for the use of a daycare. As you can imagine, the daycare facility needs to have some sort of enclosed outdoor space for the children to enjoy the outdoors while under their care.

This proposed fence will be a 6-foot-tall white vinyl stockade fence and will enclose around 3000 ft.² of play area at the northeast corner of building # 801, as shown on the attached drawing. The fence will run along the easterly property line (within our boundaries, of course) and then turn and follow the existing forest conservation easement along the north side of the building as shown.

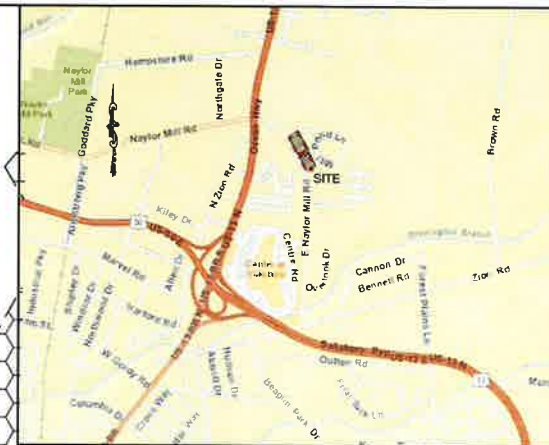
Thank you for your time and consideration. If I may be of any further service to you or provide you anything whatsoever, please just let me know.

Sincerely,

Brock E. Parker
Vice President
Parker and Associates, Inc
528 Riverside Drive
Salisbury, MD 21801
(O) 410-749-1023



N/F
MILL POND VILLAGE, LLC
DEED REF 1782/346
PLAT REF 14/380
PARCEL 5489
LOT 5A



VICINITY MAP 1" = 2000'

LOT
1
2.50 ACRES

BLDG #701
EXISTING BUILDING
17,800.03 SQ. FT.

BLDG #801
EXISTING BUILDING
6,049.65 SQ. FT.

PROPOSED PLAY AREA
+/- 3,000 SF

PROPOSED 6' HIGH
WHITE VINYL FENCE

N/F
RWB INVESTMENTS, LLC
DEED REF 3524/1
PLAT REF 14/962
P/O PARCEL 239
PARCEL 16

MILL POND LANE

MILL POND LANE

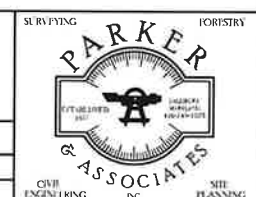
EAST NAYLOR MILL ROAD
60' PUBLIC ROW

N/F
SALISBURY 77, LLC
C/O PROPERTY ASSESSMENT SERVICES
DEED REF 1466/74
PLAT REF 11/76
PARCEL 5461
LOT H

REVISIONS	
DATE	BY

PROPOSED FENCE DETAIL
MILL POND PLAZA
601 E. NAYLOR MILL ROAD

LOCATION	PARSONS ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND		
SCALE	1" = 20'	DATE	12/18/23
TAX MAP	101	PARCEL	5489
DRAWN BY	EDR	DATE	12/18/23





Attachment 4



Attachment 5



Infrastructure and Development Staff Report January 18, 2024

I. BACKGROUND INFORMATION:

Infrastructure and Development Case No.: 23-035

Project Name: Milford Street Dollar General

Applicant/Owner: Brock Parker, Parker & Associates for Oxford Chase Development

Nature of Request: Parking Waiver Request

Location of Property: Milford St and South Division St – Tax Map:117 Grid: 17 Parcel: 3269

Existing Zoning: College and University District

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted plans to construct a new Dollar General store on the corner of Milford St and S Division Street in the College and University District. This use is inherently permitted by the Zoning Code. The request being brought before the Commission is for the granting of a parking waiver.

III. DISCUSSION:

City Code requires 22 vehicular spaces, but the applicant is requesting the maximum allowable number of spaces, in this case being 27 spaces, or a 20% increase (Attachment 1). In order to offset the additional spaces, the applicant has provided a detailed and enhanced landscaping plan (Attachment 2). The plan includes a mixture of deciduous trees and shrubs along Milford and S Division streets, as well as landscaped parking islands. Foundation plantings are to consist of a mixture of annual and perennial flowers, small shrubs, grasses, and hostas.

The Developer has also made a concerted effort to address staff comments regarding building elevations. Original elevations showed an entirely metal-sided building, but have since been changed to a brick façade at the request of City Staff to better integrate this project with the surrounding architectural characteristics of buildings in the College and University District.

IV. APPROVAL HISTORY:

There have not been any previous approvals for this property.

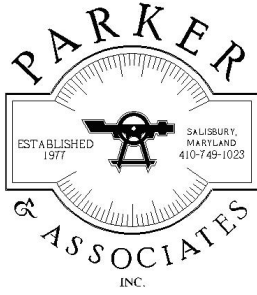
Department of Infrastructure & Development
125 N. Division St., #202 Salisbury, MD 21801
410-548-3170 (fax) 410-548-3107
www.salisbury.md



V. RECOMMENDATION

Staff recommends granting of the parking waiver for the 20% increase in vehicular parking spaces to accommodate a total of 27 spaces for Milford Street Dollar General with the following conditions:

1. The site shall be developed in accordance with an approved, detailed Landscaping Plan to offset the increase in parking;
2. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

12/27/2023

Attn: Jessica Crenshaw
Ref: Dollar General – Milford Street

Dear Jessica,

Attached hereto, please find our proposed site plan for Dollar General to be located at the intersection of Milford Street and Snow Hill Road in the College and University zoning district in the City of Salisbury. Along with this submittal of plans, we are requesting an increase in parking from the allowable 22 spaces per the City code, to 27 spaces. Typically, this size store would have a minimum of 35 spaces per Dollar Generals national standards. Dollar General has reviewed the store location and surrounding area and is requesting this increase in order to provide a safe and organized parking lot for its customers. We understand that in order to increase parking, there needs to be an increase in landscaping. Please also find attached in our plan package a landscaping plan showing the additional trees, bushes and planting locations.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter.

Sincerely,

Brock E. Parker, PE, RLS, QP
528 Riverside Drive
Salisbury, MD 21801
Phone: 410-749-1023
Fax: 410-749-1012
Email: brock@parkerandassociates.org

GENERAL NOTES

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY:
MILFORD STATION INC
PO DRAWER E
FRUITLAND, MD 21826
- THE PROPERTY SHOWN HEREON IS BEING PURCHASED AND DEVELOPED BY:
OXFORD CHASE DEVELOPMENT INC.
C/O HOWARD CROSSAN
114 FRONT STREET
POCOMOKE CITY, MARYLAND, 21853
PHONE: 410-957-4005
EMAIL: HOWARD@OXFORDCHASE.NET
- TOTAL AREA: 1.098 +/- ACRES
 - MAP 117 GRID 17 PARCEL 3269
 - DEED REF: 3669/231
 - PRESENT ZONING: COLLEGE AND UNIVERSITY DISTRICT (CITY OF SALISBURY)
 - THE PROPOSED USE IS RETAIL SALES.
 - THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PANEL #240450253E (PANEL 253 OF 375), DATED 8/17/2015, AS BEING IN FLOOD ZONE X, AREA OF MINIMAL FLOODING.
 - CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
 - THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
 - THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
 - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
 - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
 - THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWING AND EXISTING CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.
 - IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY PARKER & ASSOCIATES IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION; CLIENTS OR CONTRACTORS SHALL PROVIDE PARKER & ASSOCIATES AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE DISCOVERED ISSUE. IF IMMEDIATE NOTICE IS NOT PROVIDED BY CLIENT OR CONTRACTOR TO PARKER AND ASSOCIATES, THE CLIENT OR CONTRACTOR SHALL RELIEVE PARKER AND ASSOCIATES OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.
 - VERTICAL DATUM IS BASED ON NAVD83.

PARKING TABULATION

RETAIL SALES
1 PARKING SPACE PROVIDED PER 500 FT² (MIN. 2 HANDICAPPED SPACES REQUIRED)
(10,770 FT² / 500 FT²) * 1 = 22 SPACES MAX
TOTAL SPACES PROVIDED = 27 SPACES (OF WHICH 2 ARE HANDICAPPED)

BICYCLE PARKING REQUIRED
MINIMUM OF 1 PLUS 1 PER 5000 FT²
(10,770 FT² / 5000 FT²) * 1 + 1 = 4 SPACES REQ'D
TOTAL SPACES PROVIDED = 4 SPACES ON ONE STRUCTURE

MINIMUM REQUIRED

ZONE: COLLEGE AND UNIVERSITY DISTRICT
MINIMUM LOT AREA = 10,000 FT²
MINIMUM CORNER LOT WIDTH = 100'
MINIMUM SETBACKS:
FRONT: 30' FROM PROPERTY LINE
SIDE, CORNER: 30' FROM PROPERTY LINE
MAXIMUM BUILDING HEIGHT: 50'

LEGEND:

- x- FENCE
- BIKE RACK
- STREET/INFORMATION SIGNS
- SITE LIGHTING
- DUMPSTER
- EXISTING SEWER MANHOLE
- SIGNAL LIGHTS
- EXISTING SEWER CLEANOUT
- EXISTING SEWER PIPE
- PROPOSED SEWER PIPE
- WATER METER
- EXISTING WATER PIPE
- PROPOSED WATER PIPE
- STORM DRAIN MANHOLE
- EXISTING CATCH BASIN
- STORM DRAIN PIPE
- EXISTING UTILITY POLE
- ACCESSIBLE PARKING AND ACCESS WAY
- OVERHEAD UTILITY LINE
- PROPERTY LINE
- BUILDING SETBACK
- PROPOSED CURB
- PROPOSED PARKING STRIPE
- GRAVEL
- SIDEWALK/CONCRETE
- ASPHALT/PAVEMENT - HEAVY DUTY
- ASPHALT/PAVEMENT - STANDARD DUTY
- EXISTING ROADWAY
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT

LAND USE SUMMARY

TOTAL AREA OF PROPERTY	= 1.098± AC
TOTAL AREA OF BUILDING	= 10,770 SF
TOTAL AREA OF PAVING	= 18,577 SF
TOTAL AREA OF NEW CONCRETE	= 3,218 SF
TOTAL AREA OF IMPERVIOUS SURFACE	= 32,565 SF
SITE IMPERVIOUS	= 68.08 %
LIMIT OF DISTURBANCE INCLUDING OFFSITE	= 1.072 AC

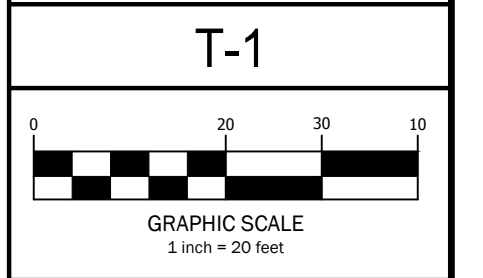
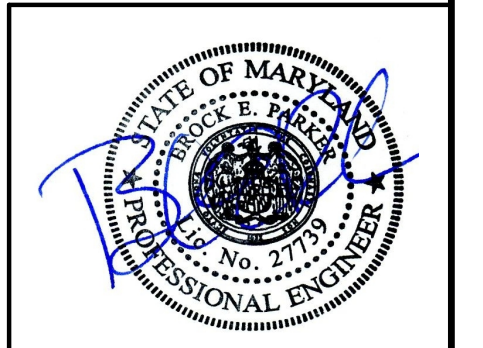
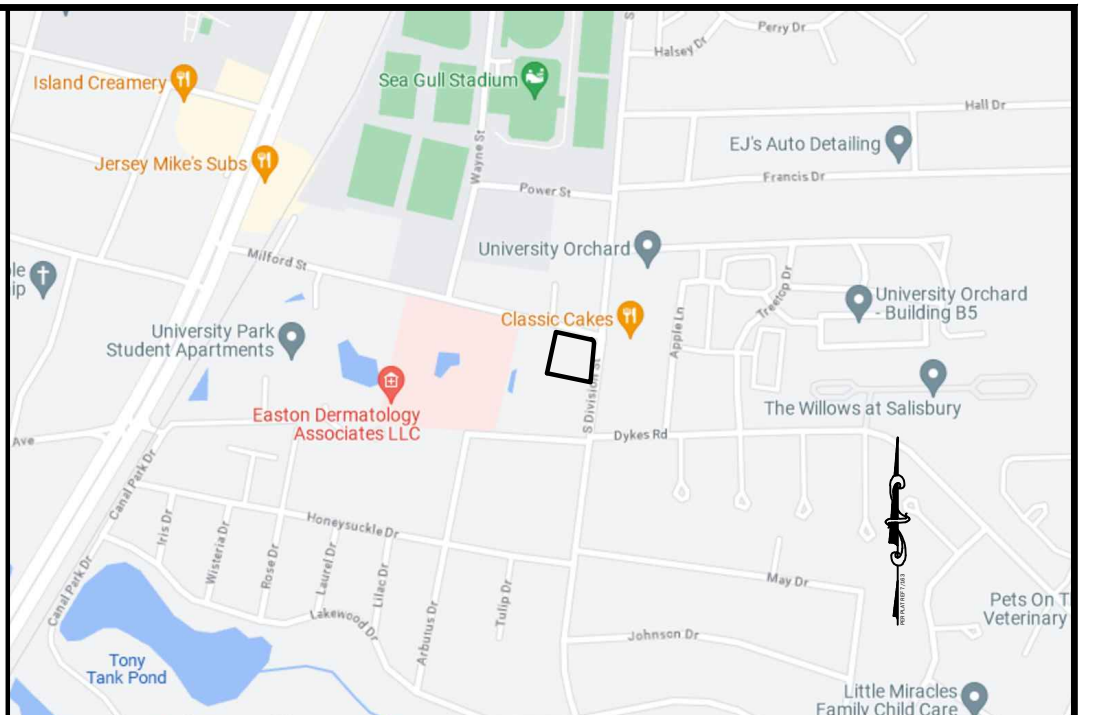
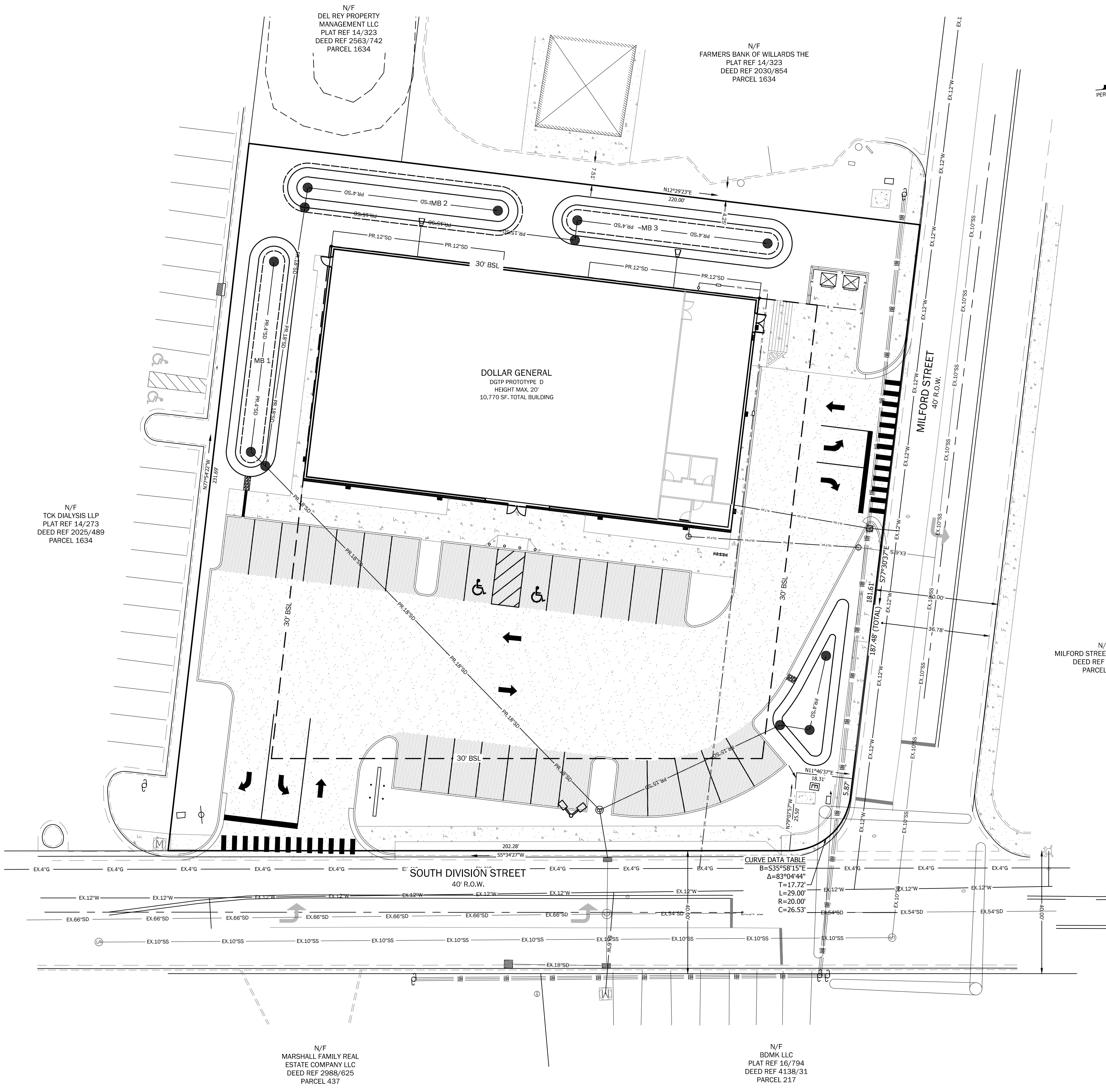
ESTIMATED WATER & SEWER USAGE

CALCULATIONS BASED MDE SEWER GUIDELINES - COMAR 26.04.02.05 M
RETAIL STORE = 0.05 X TOTAL SQUARE FOOTAGE = GALLONS PER DAY
1 EDU = 250 GPD

10,770 sf. X 0.05 = 539 GPD
539 GPD/250 GPD = 2.156 EDU'S

DOLLAR GENERAL

CITY OF SALISBURY



REVISIONS	DATE	TITLE

TITLE SHEET
DOLLAR GENERAL

Road Name: SOUTH CHURCH STREET
OXFORD CHASE DEVELOPMENT
CITY OF SALISBURY, WICOMICO, MARYLAND

DATE: 12/27/2023
SCALE: 1" = 20'
DRAWN BY: JFS
CHECKED BY: JFS
DATE: 12/27/2023
PROJECT NO.: 2023-11269M

DEVELOPER'S CERTIFICATION

Certification by the developer that any clearing, grading, construction, or development will be done pursuant to this plan and that the responsible personnel involved in the construction project will have a certification of training at a department approved training program for the control of sediment and erosion before beginning the project.

DEVELOPER: *Howard Crossan* DATE: 12/27/23
OXFORD CHASE DEVELOPMENT INC.
114 Front Street
Pocomoke City, Maryland 21853
410-957-4005
Email: Howard@oxfordchase.net

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed civil engineer under the laws of the State of Maryland, License No. 21759, Expiration Date: July 24, 2024.

Brock E. Parker DATE: 12/27/23
Brock E. Parker P.E., R.L.S.
528 Riverside Drive
Salisbury, Maryland 21801
office: (410) 749-1023 fax: (410) 749-1012
email: brock@parkerandassociates.org

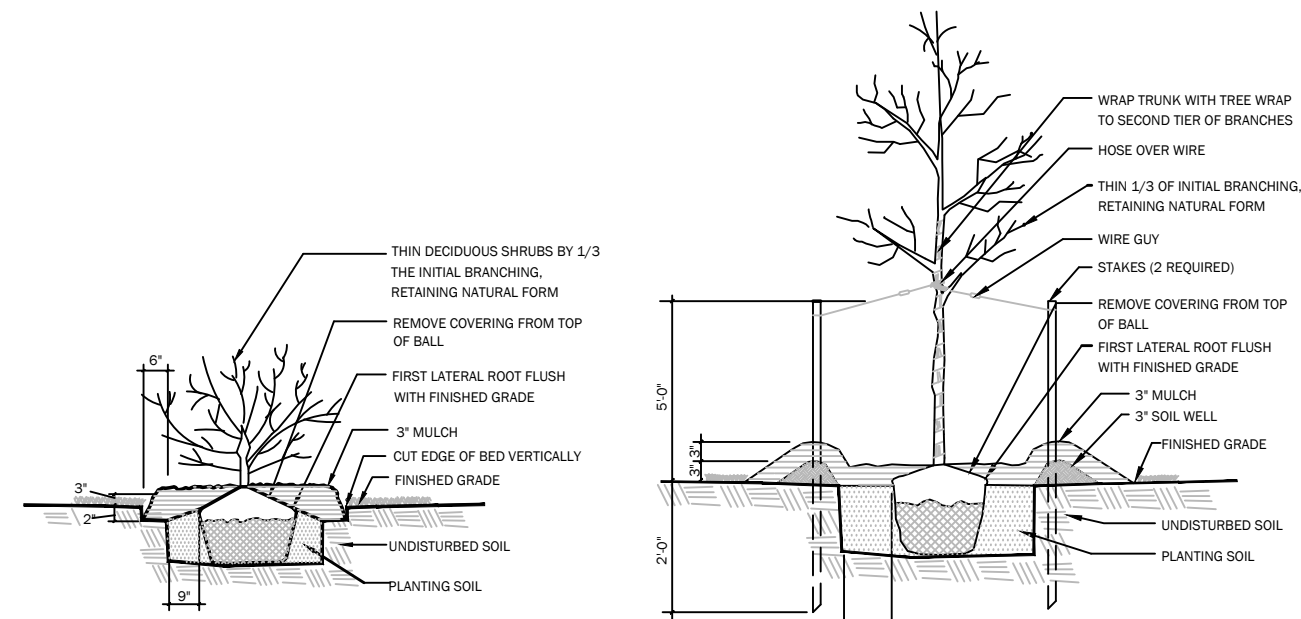
OWNER'S CERTIFICATION

I certify that I am the owner of the property listed herein and that these plans are being created and reviewed with my knowledge and approval.

OWNER: MILFORD STATION INC
PO DRAWER E
FRUITLAND, MD 21826

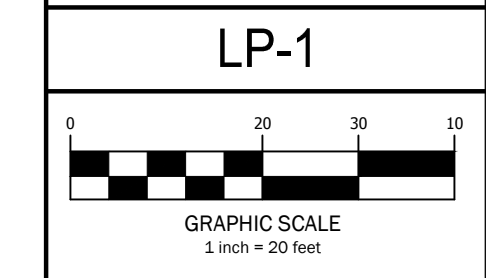
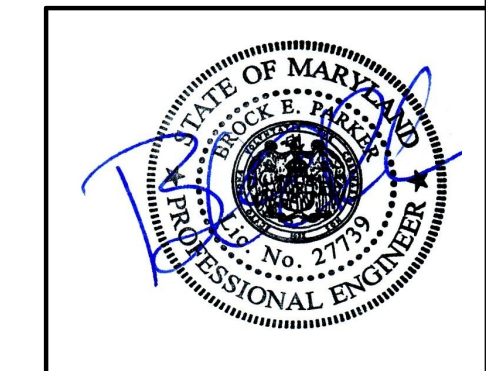
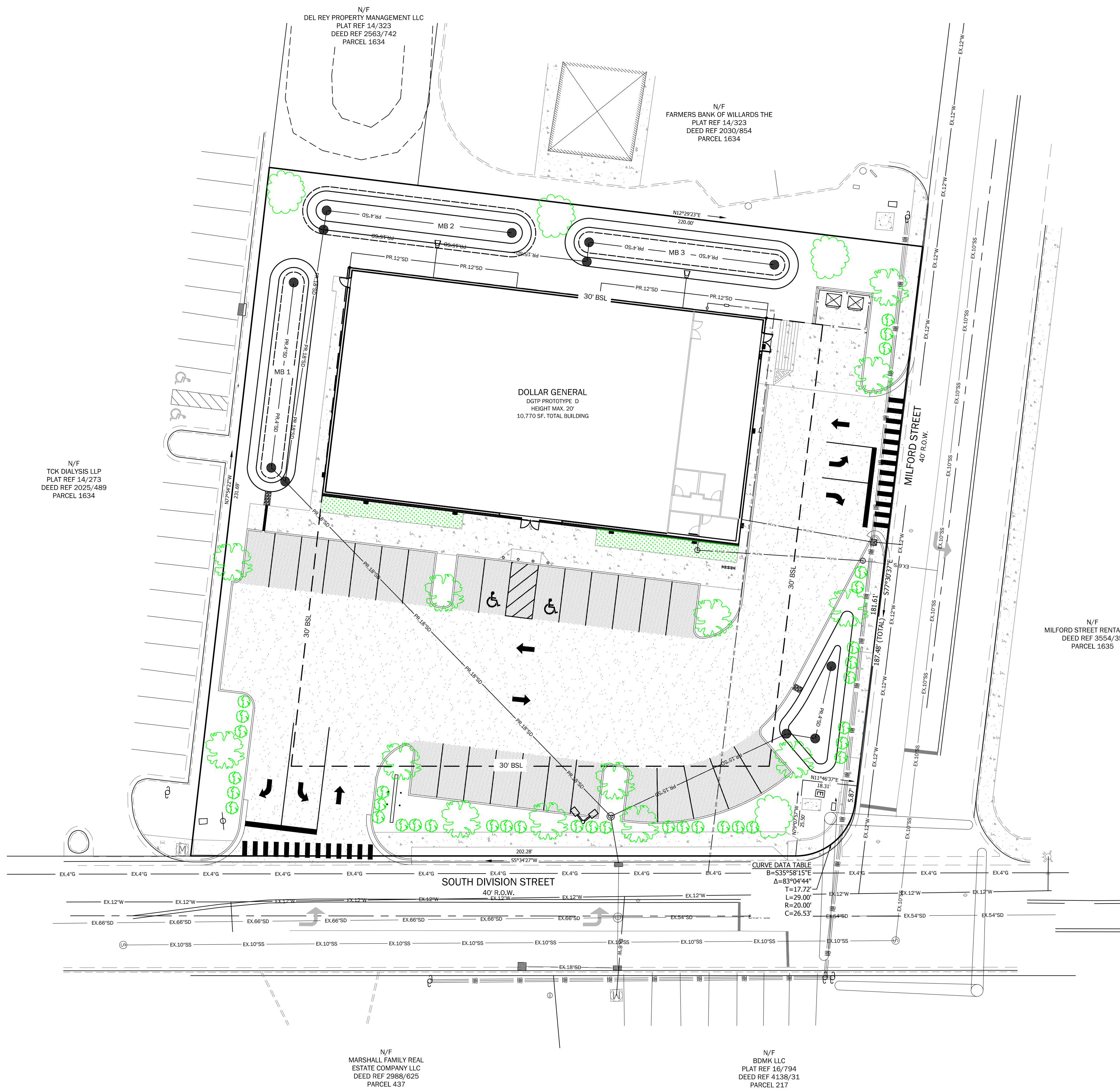
CITY PROJECT # _____
UTILITY CONTRACT # _____

Richard D. Baldwin DATE _____
Director



- LANDSCAPE LEGEND:**
- QUESCUS ALBA - WHITE OAK - 4 TOTAL
 - LAGERSTROEMIA NACHEZ - CRAPE MYRTLE - 13 TOTAL
 - ROSA KNOCK OUT - ROSE BUSH - 35 TOTAL
 - FOUNDATION PLANTINGS - TO CONSIST OF A MIXTURE OF ANNUAL AND PERENNIAL FLOWERS, SMALL BOXWOOD SHRUBS, GRASSES AND HOSTAS

- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR SHALL CONTACT 'MISS UTILITY' AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.



REVISIONS	DATE	BY	CHKD	APP

LANDSCAPING PLAN
DOLLAR GENERAL

Road Name: SOUTH CHURCH STREET
For OXFORD CHASE DEVELOPMENT
CITY OF SALISBURY, WICOMICO, MARYLAND

DATE: 12/27/2023
SCALE: 1" = 20'

DATE: 11/17/23
JOB NO.: 3269

DATE: 11/17/23
JOB NO.: 3269

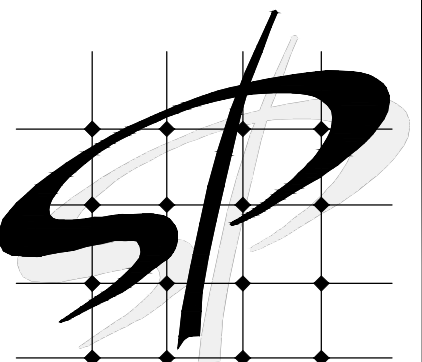
PARKER & ASSOCIATES

CIVIL ENGINEERING

DATE: 12/27/2023 11:33am



1 SOUTH DIVISION STREET



STORE PLANNING Inc
 3080 SENNA DRIVE
 Matthews, North Carolina 28105
 Phone: 704-841-7288
 Fax: 704-849-6997

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE THE BASIC DESIGN CONCEPT OF THE PROPOSED BUILDING DESIGN. ADDITIONAL BUILDING DESIGN DEVELOPMENT MAY OCCUR PENDING FURTHER REVIEW BY THE OWNER, TENANT, JURISDICTION(S), AND ARCHITECT. FINAL CONSTRUCTION DOCUMENTS SHALL GOVERN OVER PRELIMINARY DESIGN CONCEPT SUBMITTALS.

#	DATE	REVISION

DOLLAR GENERAL
 WICOMICO COUNTY
 SALISBURY, MARYLAND

DOLLAR GENERAL

PROPOSED EXTERIOR ELEVATION

SHEET TITLE
 SPI Client DATE
 12-1-23

SHEET NUMBER
AR-1



Infrastructure and Development Staff Report January 18, 2024

I. BACKGROUND INFORMATION:

Infrastructure and Development Case No.: 05-001

Project Name: Woodbrooke Medical Building A

Applicant/Owner: Parker & Associates for G2 Properties, LLC

Nature of Request: Final Comprehensive Development Plan/Wellhead Protection Plan Approval

Location of Property: 1603 Treesap Court– Tax Map: 109 Grid: 02 Parcel: 2518

Existing Zoning: Light Business & Institutional Zoning District

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a request for construction of a 5,755 sq. ft. office building, located at the northeast corner of Phillip Morris Drive and Tree Sap Court. (**Attachments 1 & 2**)

III. DISCUSSION:

The applicants propose to construct a single-story office building and parking lot on the 28,451 sq. ft. lot. The building will be similar in style to other buildings located within the Woodbrooke Medical Center Campus.

IV. APPROVAL HISTORY:

Woodbrooke Medical, which includes several sites in the complex, has an extensive history, dating back to 2004 when the project became a medical office complex. The Planning Commission granted a Revised Comprehensive Development Plan approval for the installation of solar panels in the parking area of the adjoining lot in December of 2022. Preliminary Comprehensive Development Approval was granted by the Commission at the August 2023 meeting with minimal conditions.

V. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires approval of Final Comprehensive Development Plans. Staff notes the following with regard to Zoning Code requirements:

Department of Infrastructure & Development
125 N. Division St., #202 Salisbury, MD 21801
410-548-3170 (fax) 410-548-3107
www.salisbury.md



City of Salisbury

A. Site Plan (Attachment 2)

- 1. Minimum Lot Requirements:** This lot is a total of 6.64 acres, and exceeds the minimum lot size requirement.
- 2. Building Setbacks/Spacing:** The proposed building meets all setback and spacing requirements. The building height will be similar to existing single-story buildings in the complex.
- 3. Parking/Access:** City code standards require 1 vehicular parking space per every 250 sf of floor space for medical offices. The Planning Commission granted a waiver at the August 2023 meeting to allow for the additional parking over the required 24 spaces. The parking plan has been adjusted by the applicant to include a total of 31 vehicular spaces.

Bicycle parking is not indicated on the plan. Code requires a minimum of 3 bicycle spaces, plus 1 per 5,000 square feet of gross floor area. The applicant is required to provide 4 bicycle spaces for this project.

The parking lot will be accessed from a new singular entrance point on Tree Sap Court.

- 4. Refuse Disposal:** Trash collection will remain private. The proposed screened dumpster areas indicated on the plan are in accordance with Ch 17.220.020 of City Code.

B. Building Elevations

Proposed building elevations are included on Sheet 3 of Attachment 2. The building design is consistent with the existing buildings in the complex.

C. Sign Plan

A sign plan was not submitted at this time. Signage will be required to be approved by the Commission prior to integration of signs.

D. Landscaping & Lighting Plan

The updated Landscaping Plan includes the additional plantings requested by the Commission along Phillip Morris Drive to offset the increase in parking. Landscaping for



City of Salisbury

the site includes Crape Myrtles, Knockout Rose bushes, Red Maples, Beardgrass and other native species throughout the site.

The submitted Lighting Plan indicates multiple 25' pole lamps fitted with a 400-watt metal halide fixtures, which was consistent with City Standard 600.01. Streetlights must now comply with City Standard 600.05, requiring the 20' decorative collector fixture. Wall lighting is indicated on the architectural plans and mirrors the other buildings within the complex.

E. Development Schedule

Construction is expected to begin once all approvals have been granted and applicable permits issued. A specific development schedule was not provided by the applicant at this time.

F. Community Impact Statement

This condition was waived by the Commission at the August 2023 meeting.

G. Statement of Intent to Proceed and Financial Capability

This condition was waived by the Commission at the August 2023 meeting.

H. Fire Service

The project has been reviewed by the Salisbury Fire Department. They have no additional comments at this time.

I. Stormwater Management

The applicant is required to submit a Stormwater Management Plan for review by the Salisbury Department of Infrastructure & Development. The applicant states stormwater management will be environmental site design (ESD) to the maximum extent practical (MEP). Two micro-bio retention areas will discharge into the existing large stormwater pond built in Phase I of the complex.

J. Transportation, Streets, and Pedestrians

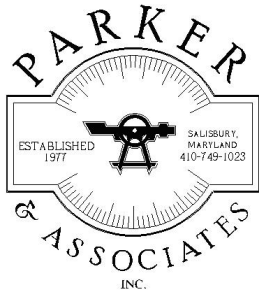
Sidewalks & Crosswalks are indicated throughout the submitted plan and are in accordance with City standards.



VI. RECOMMENDATION

Staff recommends approval of the Final Comprehensive Development Plan/Wellhead Protection Plan for Woodbrooke Medical Center-- Building A with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval and the standards set forth in Ch 17.28 for the Light Business & Institutional District. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure & Development;
2. Provide a corrected Lighting Plan with specifications by Ch 17.196.020 for approval by City Staff;
3. Provide a corrected Landscaping Plan indicating the inclusion of shade trees at the ends of each parking row as required;
4. Submit a detailed Sign Plan that meets all standards set forth in Ch 17.216 of the Zoning Code for approval by the Planning Commission prior to issuance of sign permits;
5. Include the calculated number of bicycle parking spaces as required by code;
6. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

12/5/2023

Attn: Brian Soper, City Planner
Ref: Woodbrook Medical Building-A

Dear Brian,

Attached hereto, please find our proposed final comprehensive development plan for the next building being proposed at the Woodbrook Medical Complex near Route 50 and Mount Herman Road in the City of Salisbury.

As the attached site plan shows, the developer (Mr. Gillis) is proposing one building. The building configuration is 5,755 sf. Representative elevations have also been provided in this submission. Although not final, these tailored elevations have been submitted to illustrate an architectural intent to mirror all of the other buildings in the complex. This building will be designed and constructed to integrate completely and harmoniously into the Woodbrook medical complex.

Associated with the construction of these buildings is one new parking lot on the west side, while incorporating the existing parking lot on the west. A dumpster pad is being proposed on the south side of Tree Sap Court to service this building. The project will have its own stormwater and utilities.

The parking plan has been adjusted for exclusively serve this project. The required number of spaces for this building is 24 spaces with 31 spaces provided. Additional landscaping and/or stormwater management will be provided to provide enhanced treatment/screening of these additional spaces.

Stormwater management will be ESD to the MEP. Meaning, all required water will be filtered for quality assurances prior to being discharged into an existing larger pond built in Phase 1 to minimize/eliminate the potential of downstream flooding. The chosen methodology for treatment will be 2 micro-bio retentions each filtering their own drainage area, then discharging into the existing larger stormwater management pond for further treatment.

Access to the site will be provided via a new single entrance on to Tree Sap Court and the existing entrance to 1615 Tree Sap Court.

Lighting and landscaping are also shown on the plan. Landscaping is proposed to be in keeping of the nature of the rest of the business park.

Furthermore, the use proposed in this building will also be in keeping of and very similar to the uses of the Woodbrook medical complex. Although final end-users have yet to be selected, the end-users here will most likely be that of medical or professional services.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

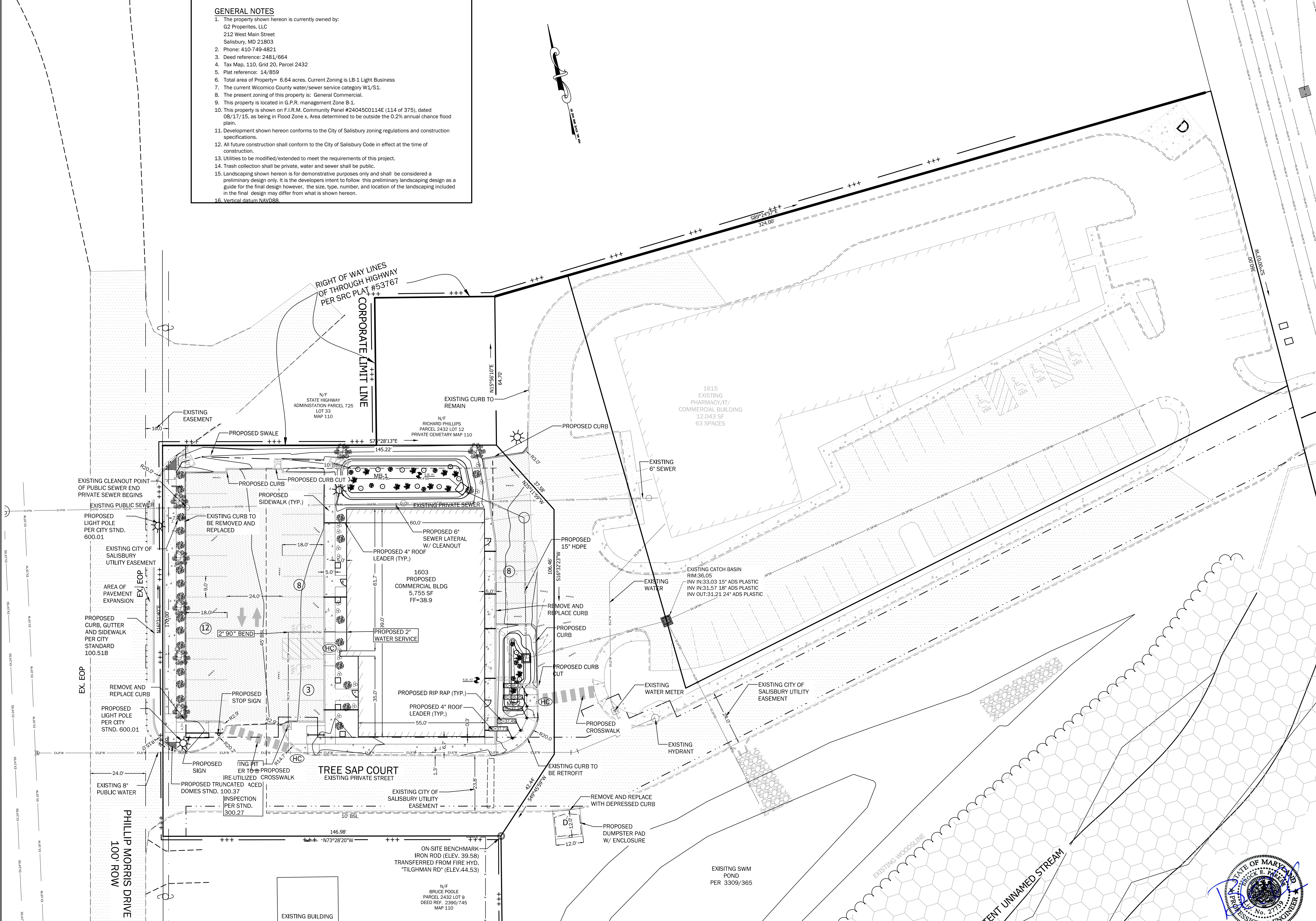
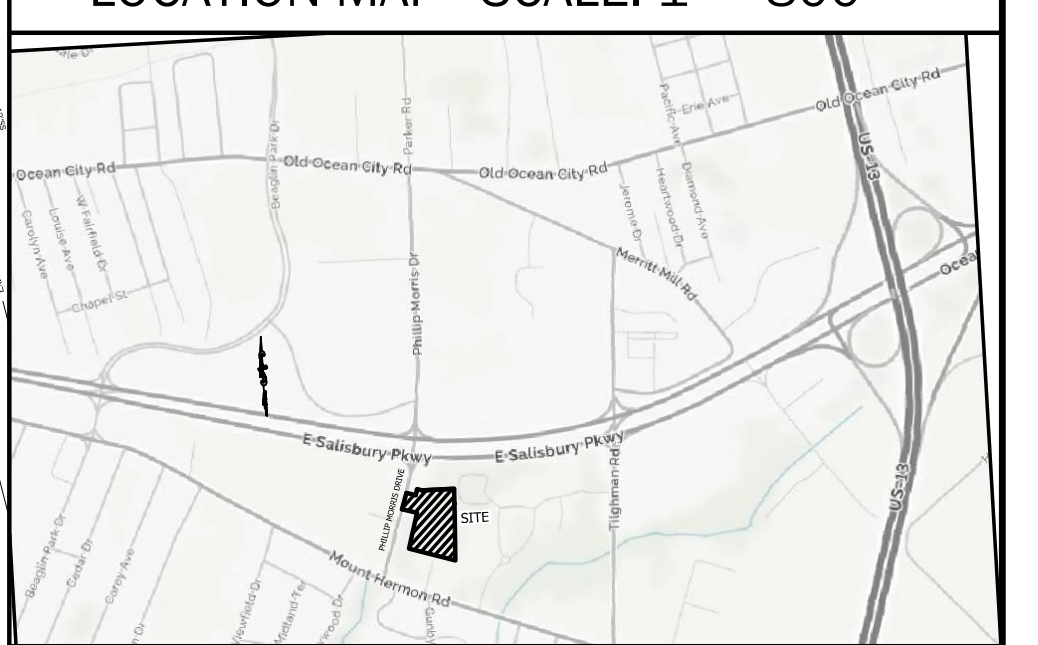
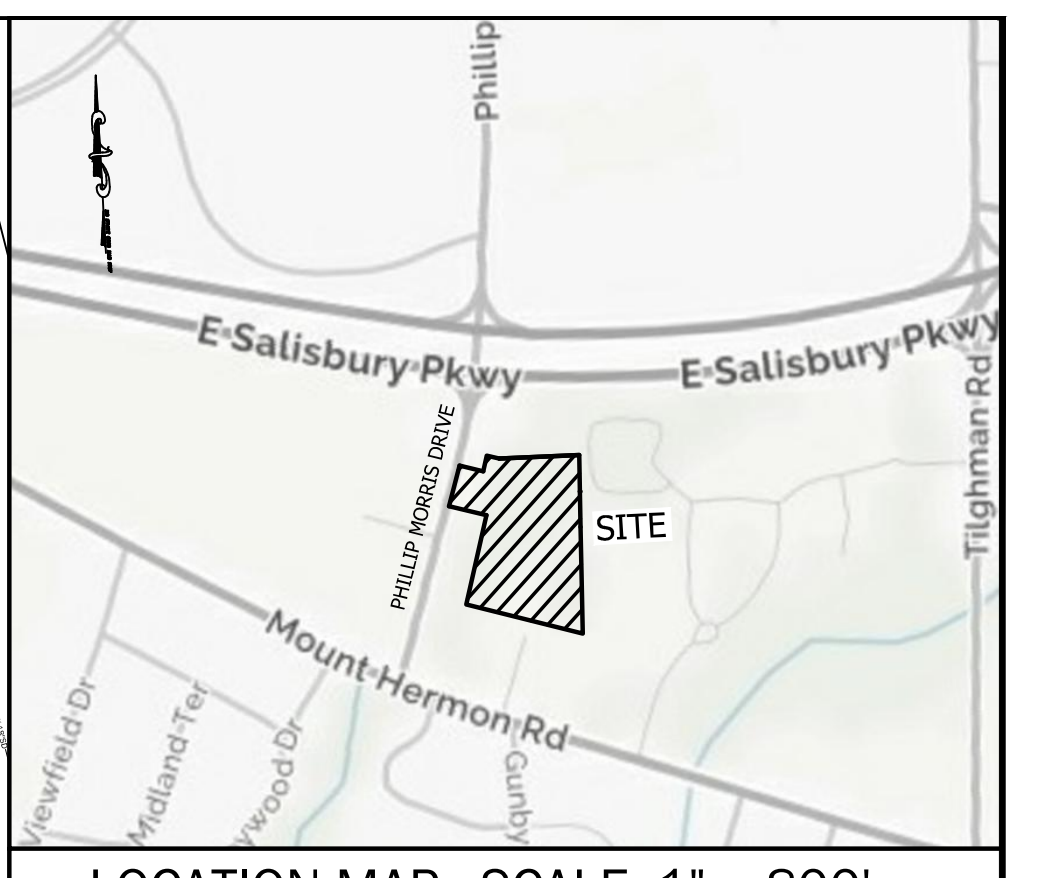
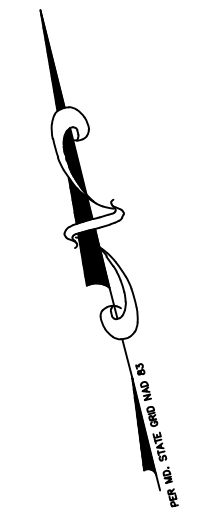
Sincerely,

A handwritten signature in black ink, appearing to read 'BEP', with a long horizontal line extending to the right.

Brock E. Parker, PE, RLS, QP
528 Riverside Drive
Salisbury, MD 21801
Phone: 410-749-1023
Fax: 410-749-1012
Email: mike@parkerandassociates.org

GENERAL NOTES

- The property shown hereon is currently owned by:
G2 Properties, LLC
212 West Main Street
Salisbury, MD 21803
- Phone: 410-749-4821
- Deed reference: 2481/664
- Tax Map, 110, Grid 20, Parcel 2432
- Plat reference: 14/859
- Total area of Property = 6.64 acres. Current Zoning is LB-1 Light Business
- The current Wicomico County water/sewer service category W1/S1.
- The present zoning of this property is: General Commercial.
- This property is located in G.P.R. management Zone B-1.
- This property is shown on F.I.R.M. Community Panel #24045C0114E (114 of 375), dated 08/17/15, as being in Flood Zone X, Area determined to be outside the 0.2% annual chance flood plain.
- Development shown hereon conforms to the City of Salisbury zoning regulations and construction specifications.
- All future construction shall conform to the City of Salisbury Code in effect at the time of construction.
- Utilities to be modified/extended to meet the requirements of this project.
- Trash collection shall be private, water and sewer shall be public.
- Landscaping shown hereon is for demonstrative purposes only and shall be considered a preliminary design only. It is the developers intent to follow this preliminary landscaping design as a guide for the final design however, the size, type, number, and location of the landscaping included in the final design may differ from what is shown hereon.
- Vertical datum NAVD88



LEGEND

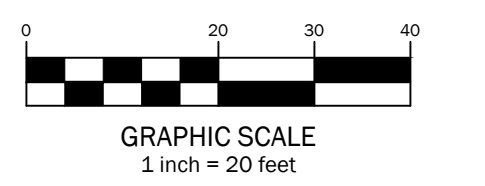
- HC - DENOTES PROPOSED ADA COMPLIANT HANDICAP RAMP
- HC - DENOTES PROPOSED ADA COMPLIANT HANDICAP SPACE
- HD - DENOTES EXISTING HYDRANT
- HW - DENOTES EXISTING WATER VALVE
- WM - DENOTES WATER METER
- UP - DENOTES UTILITY POLE
- SC - DENOTES SEWER CLEANOUT
- SM - DENOTES SEWER MANHOLE
- SD - DENOTES STORM DRAIN INLET
- HL - DENOTES 25' HIGH POLE LAMP, 400 WATT METAL HALID (1) CUT OFF TYPE FIXTURE, (BUILDING ALSO TO BE FITTED WITH WALL PACK LIGHTING. REFER TO ARCHITECTURAL PLANS)
- PL - DENOTES PROPERTY LINE
- SD - DENOTES EXISTING STORM DRAIN
- WM - DENOTES EXISTING WATER MAIN
- SM - DENOTES EXISTING SEWER MAIN
- WS - DENOTES WATER SERVICE
- CC - DENOTES PROPOSED CURBLINE
- EC - DENOTES EXISTING CURBLINE
- BL - DENOTES BUILDING SETBACK LINE
- PS - DENOTES EXISTING PARKING STRIPE
- PP - DENOTES PROPOSED PARKING STRIPE
- SL - DENOTES EXISTING SIDEWALK
- SP - DENOTES PROPOSED SIDEWALK
- PP - DENOTES PROPOSED PAVING

LANDSCAPE LEGEND

- NCM - NATCHEZ CRAPE MYRTLE/LAGERSTROEMIA X FAUREI NACHEZ 8'-10' B&B
- KR - KNOCKOUT ROSE 5 GAL.
- PDL - PURPLE DIAMOND LOROPETALUM/ LOROPETALUM CHINENSIS P.D. 3 GAL.

MICRO-BIORETENTION PLANTING LEGEND

- RM - DENOTES RED MAPLE (ACER RUBRUM)
- WB - DENOTES WINTERBERRY 3 GAL. (LIX VERTICILLATA)
- BG - DENOTES BUSHY BEARDGRASS 3 GAL. (ANDROPOGON GLOMERATUS)



PARKING SUMMARY

MEDICAL BUILDING 1 PER 250 FT²
 5,755 FT² BUILDING PROPOSED
 SPACES REQUIRED 5,755/250 = 24 SPACES
 TOTAL SPACES PROVIDED = 31 SPACES

ESTIMATED WATER & SEWER USAGE

MEDICAL BUILDING: .62 GROSS FT² = 5,755 x .62 = 3,568 GPD
 1 EDU = 250 GPD
 3,568 GPD / 250 GPD = 14 EDU'S

MINIMUM REQUIREMENTS

ZONE: Light Business - LB1
 Minimum Lot Area = 25,000 ft²
 Minimum Interior Lot Width = 100'
 Minimum Corner Lot Width = 120'
 Minimum Setbacks:
 Front: 45' from property line
 Side Interior: 2 required 10' each
 Rear: 30' from property line
 Building Height: 40' Limitation

OWNER'S CERTIFICATION

I hereby certify that these improvements construction plan is being submitted with my full knowledge and consent and is in accordance with my desires as an owner of the subject property.

G2 PROPERTIES, L.L.C. Date _____
 212 WEST MAIN STREET
 SALISBURY, MD 21801
 410-749-4821
 PGillis@glislikerson.com

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed civil engineer under the laws of the State of Maryland, License No. 21759. Expiration Date: July 24, 2024 and a duly licensed land surveyor under the laws of the State of Maryland, License No. 21193. Expiration Date: January 25, 2024.

Brock E. Parker P.E., R.L.S. Date: 12-5-2023
 528 Riverside Drive
 Salisbury, Maryland 21801
 (410) 749-1023 fax: (410) 749-1012

SHEET 1 OF 1

REVISIONS

DATE	BY

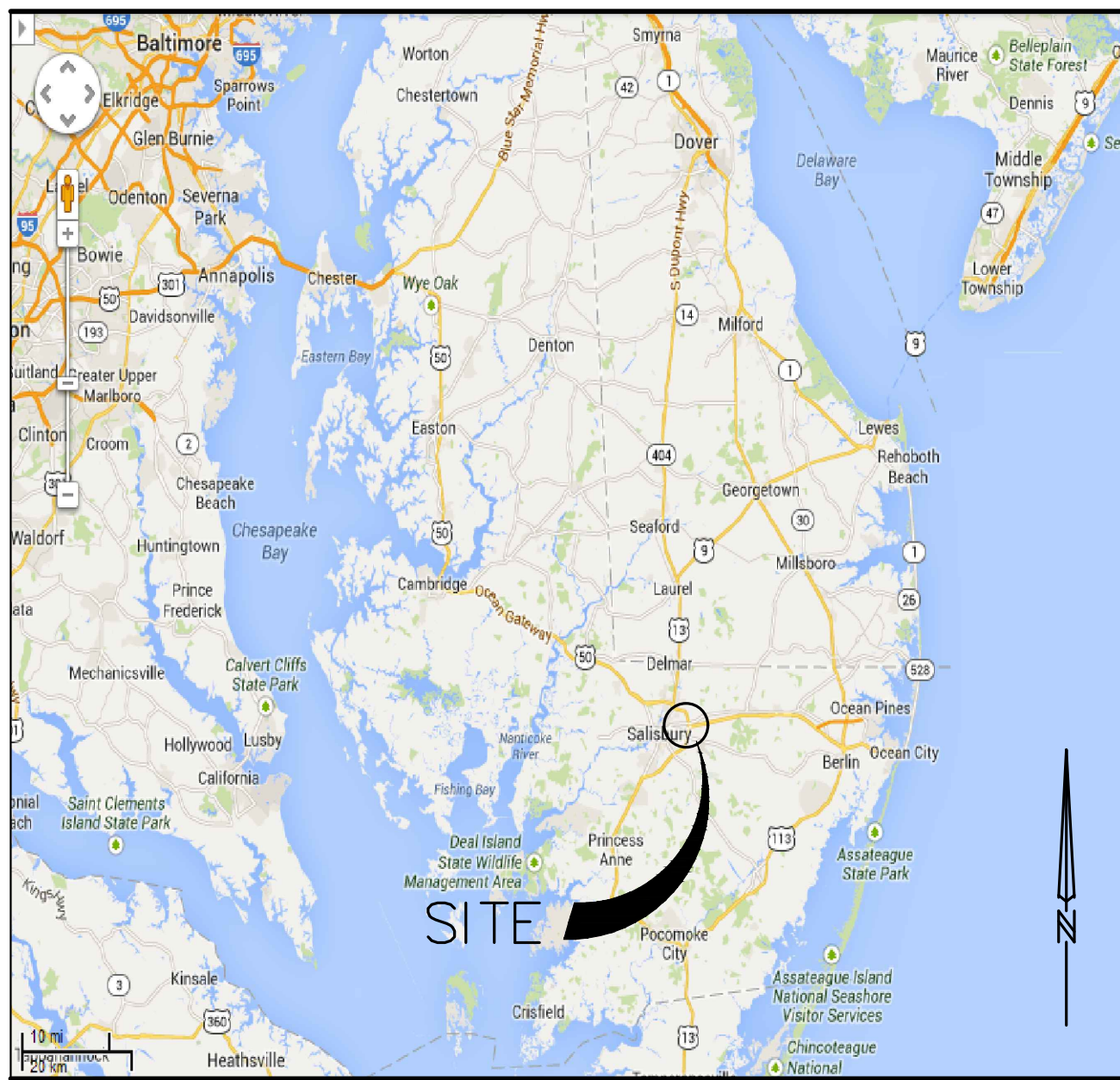
COMPREHENSIVE DEVELOPMENT PLAN

PROPOSED COMMERCIAL BUILDING
 PHILLIP MORRIS BUSINESS PARK

LOCATION: PARSONS ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

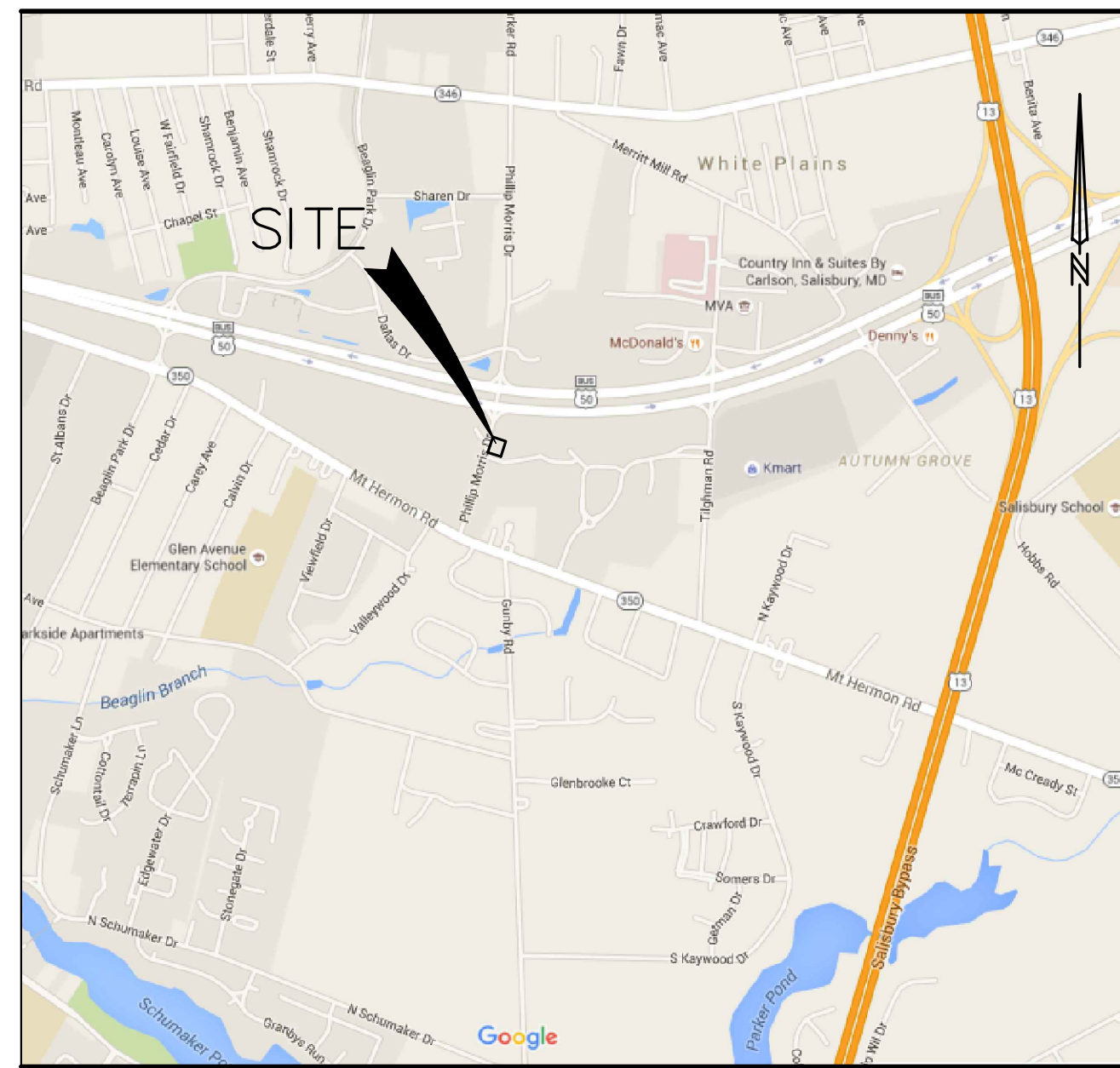
SCALE: 1" = 20' DATE: 6/8/2025 TAXMAP: 110 GRID: 20
 FORM: SI906 DRAWN BY: MAV PARCEL: 2432





LOCATION MAP

Google Maps - ©2013 Google



VICINITY MAP

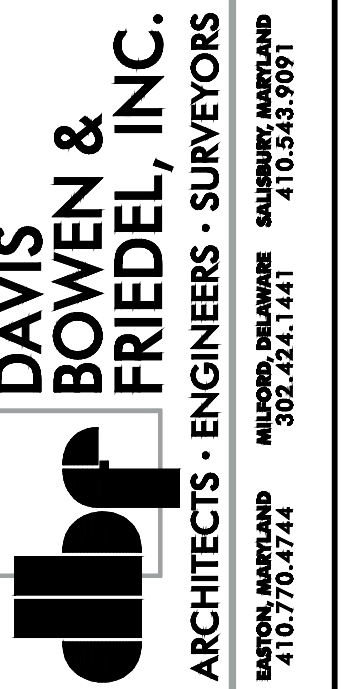
Google Maps - ©2013 Google



BUILDING SHELL 1603 TREE SAP COURT SALISBURY, MARYLAND

PERMIT SET
MAY 4, 2023
DBF # 0032A086.A01

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect in the State of Maryland License No. 11115. Expiration Date: 09/24/2024.



**BUILDING SHELL
1603 TREE SAP COURT
SALISBURY, MARYLAND**

MATERIAL LEGEND

- NEW MASONRY WALL
- NEW STUD WALL
- NEW WOOD STUD WALL
- MASONRY IN ELEVATION
- ROOF SHINGLES IN ELEVATIONS
- CONCRETE IN PLAN OR DRYWALL IN SECTION
- CONCRETE
- EARTH
- POROUS FILL
- WOOD (FINISH) IN SECTION
- WOOD (ROUGH) IN SECTION
- BRICK
- CONCRETE MASONRY
- BATT INSULATION
- RIGID INSULATION
- PLYWOOD

GRAPHIC SYMBOL LEGEND

- EXISTING WALL AND DOOR TO BE REMOVED
- EXISTING WALL AND DOOR TO REMAIN
- CENTER LINE
- HIDDEN LINE
- DEMOLITION
- FENCE LINE
- PROPERTY LINE
- COLUMN LINE
- REVISION, WINDOW & ROOM SYMBOLS
- LINEL NUMBER AND EQUIPMENT NUMBER
- POINT ELEV. EXIST., POINT ELEV. NEW, CONTOURS EXIST., NEW (NOTED HIGH SIDE)
- LEVEL LINE
- DETAIL SECTION OR EXTERIOR ELEV.
- WALL SECTION CUT
- NORTH ARROW

ARCHITECTURAL WORKING DRAWING ABBREVIATIONS

SYMBOLS used as abbreviations

- ABBREVIATIONS**
- ABV above
- AC air conditioning
- AD access floor
- ADT adjustable
- AGG aggregate
- AL aluminum
- ALT alternate
- AND and/or
- APX approximate
- ARCH architect (year)
- ASB asphalt
- AUTO automatic
- BBD bulletin board
- BEL below
- BET between
- BLDG building
- BKHD bulkhead
- BLK block
- BKLG blocking
- BM beam
- BOT bottom
- BRP bearing plate
- BRK brick
- BRZ breeze
- BS both sides
- BSMT basement
- BUR built up roofing
- BWL beveled
- BW both ways
- CAB cabinet
- CB catch basin
- CEM ceramic
- CF cold-formed
- CFT counterflashing
- CFE cubic feet
- CHAM chamfer
- CHD chalkboard
- CHT ceiling height
- CPC cast-in-place-concrete
- CR circle
- CRK circumference
- CJT control joint
- CK caulking
- CL contract limit line
- CLR ceiling
- CLR clear or clearance
- CMU ceramic masonry unit
- CO column
- COMB combination
- CONC concrete
- CONST construction
- CONT continuous or continue
- CONTR contract (or)
- CORR corrugated
- CPR copper
- CPT cupped
- CRS cold-rolled
- CS course (s)
- CSMT casement
- CTER ceramic tile
- CTR center
- CTSK countersink screw
- CYD cubic yard
- D dryer
- DA double acting
- DEM demolish, demolition
- DF drinking fountain
- DH double hung
- DA diameter
- DIAG diagonal
- DL dead load
- DP damp proofing
- DR damper
- DR door
- DRN drain
- DS dropout
- DTL drain tile
- DTL detail
- DWR drawer
- DWC drawing
- E expansion bolt
- EIFS exterior insulated finish system
- EJ expansion joint
- ELEV elevation
- EMER emergency
- ENC enclose
- EP electrical panelboard
- EQ equal
- EOP equipment
- EST estimate
- EW electric water cooler
- EXCA excavate
- EXC existing
- EXH exhaust
- EXP exposed
- EXT exterior
- FA fire alarm
- FAS fasten, fastener
- FB face brick
- FBO fiberboard
- FBO furnished by others
- FD floor drain
- FE fire extinguisher
- FEC fire extinguisher cabinet
- FF factory finish
- FTE finished floor elevation
- FFL finished floor line
- FGL fiberglass
- FIN finish (ed)
- FLCO floor cleantout
- FLG flashing
- FLPL floor plate
- FLR floor (ing)
- FLUR fluorescent
- FN fence
- FND foundation
- FOC face of concrete
- FOF face of finish
- FOM face of masonry
- FOS face of studs
- FR fireplace
- FR frame (d) (ing)
- FRP fiberglass reinforced plastic
- FTG footing
- FUR furled (ing)
- FUT future
- GA gage, gauge
- GB grab bar
- GC general contract (or)
- GD grade, grading
- GL glass, glazing
- GLB glass block
- GPDW gypsum drywall
- GT grout
- GALV galvanized
- GVL gravel
- HB hose bib
- HBO hardboard
- HC hollow core
- HD heavy duty
- HDPE high-density polyethylene
- HDR hardware
- HDR header
- HM hollow metal
- HSR horizontal
- HP handicapped
- HT height
- HTC heating
- HVC heating/ventilation/air conditioning
- HWD hardwood
- HWH hot water heater
- ID inside diameter
- INCL include (d) (ing)
- INSN insulate (d) (ing)
- INT interior
- INV invert
- JAN junior's closet
- JST joint
- JT joint
- KIT kitchen
- KO knockout
- KPL kickplate
- L length
- LAD ladder
- LAM laminate
- LAV lavatory
- LB lag bolt
- LBL label
- LB left hand
- LL live load
- LI left hand
- LIT lintel
- LVR louver
- MAS masonry
- MAX maximum
- MBR member
- MC medicine cabinet
- MECH mechanic (d)
- MEI metal
- MFD metal floor decking
- MFR manufacture (er)
- MH machine
- MIN minimum
- MIR mirror
- MISC miscellaneous
- MLD molding, moulding
- MMB membrane
- MO masonry opening
- MOD modular
- MOV movable
- MR moisture resistant
- MRD metal roof decking
- MT mount (ed) (ing)
- MTR metal furring
- MTHR metal threshold
- MTL material (s)
- MUL mullion
- MWK millwork
- NAT natural
- NIC not in contract
- NOM nominal
- NTS not to scale
- OB overall
- OBS obscure
- OC on center (s)
- OD outside diameter
- OH overhead
- OP opaque
- OPG opening
- OPH opposite hand
- OPP opposite
- OWJ open-web joist
- PAR parallel
- PTG pane bar
- PBD particle board
- PCC pre-cast concrete
- PCF pounds per cubic foot
- PCPL cement plaster (portland)
- PERF perforate
- PERF perimeter
- PFB prefabricated
- PFN prefinished
- PG plate glass
- PK parking
- PL property line
- PLAM plastic laminate
- UNQ unless noted otherwise
- UR urinal
- VAT vinyl asbestos tile
- VB vapor barrier
- VCB vinyl base
- VCT vinyl composition tile
- VERT vertical
- VG vertical grain
- VN vinyl
- VN veneer
- VNR veneer
- VPM veneer
- VTV vinyl tile
- VTR vent thru roof
- W washing machine
- W wood base
- WB water closet
- WCV wallcovering
- WD wood
- WD wood
- WH wall hung
- WB wheel bumper
- WH window
- WM wire mesh
- W/o without
- WP waterproofing
- WS waterstop
- WST waistcoat
- WTH wide, width
- WTF welded wire fabric
- QT quarry tile
- R riser
- RA return air
- RB rubber base
- RBT rabbit, rebate
- RCP reflected ceiling plan
- RD roof drain
- REIN reinforcement (d) (ing)
- REF reference
- REFR refrigerator
- REG register
- REM remove
- REQD required
- RES resilient
- RET return
- REV revision (s), revised
- RFG roofing
- RFL roof hatch
- RFL reflect (ed) (ive)
- RH right hand
- RL rail (ing)
- RM room
- RO rough opening
- ROW right of way
- R.S. reverse (side)
- RTU roof top unit
- RWC rain water collector
- SC solid core
- SSA schedule
- SON screen
- SD storm drain
- SEC section
- SG sheet glass
- SH shelf, shelving
- SHO shore (d) (ing)
- SHIT sheet
- SHTH sheathing
- SHW similar
- SKL skylight
- SL sleeve
- SMT sealant
- SPC spacer
- SPEC specification (s)
- SPR special
- SPR single-ply roofing
- SQ square
- STA station
- STD static dissipative tile
- STG seating
- STL steel
- STO storage
- STR structural
- SSK service sink
- SSS stainless steel
- SUSP suspended
- SYN symmetric (ical)
- SYN synthetic
- SYS system
- T tread
- TB towel bar
- TEL telephone
- T&G tongue and groove
- TGL tempered glass
- THK thick (ness)
- THR threshold
- TKBD tackboard
- TKS tackstrip
- TOF top of footing
- TOL tolerance
- TOM top of masonry
- TOW top of wall
- TRTD treated
- TPTN toilet partition
- TPD toilet paper dispenser
- TSL top of slab
- TST top of steel
- TR transom
- TRANS transverse
- TV television
- TYP typical
- TRZ terrazzo
- UC undercut
- UNF unfinished
- UNQ unless noted otherwise
- UR urinal

LIST OF DRAWINGS

- G-001 TITLE SHEET
- A-101 FLOOR PLAN AND ELEVATIONS
- A-201 BUILDING SECTION AND DETAILS
- S-101 STRUCTURAL PLANS
- S-201 STRUCTURAL DETAILS
- S-202 STRUCTURAL DETAILS
- S-203 STRUCTURAL NOTES

CODE DATA

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE (IBC) 2018
NFPA 101 LIFE SAFETY CODE 2018
INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018

OCCUPANCY: B BUSINESS
CONSTRUCTION TYPE: TYPE VB (NOT SPRINKLERED) (IBC 601)

ALLOWABLE HEIGHT: 2 STORIES,
ACTUAL HEIGHT: 28'-0", 1 STORY
ALLOWABLE BUILDING AREA: 9,000 SF; IBC 506.3
PROPOSED BUILDING: 5,765 SF

EXITS: 2 REQUIRED, 4 PROVIDED
FIRE RESISTIVE RATINGS: STRUCTURAL FRAME 0 HR
EXT. BEARING WALLS 0 HR
NON-BEARING WALLS 0 HR
CORRIDORS 0 HR

FIRE EXTINGUISHERS: YES
FIRE ALARM: NO

GENERAL NOTES:

1. THESE DRAWINGS ARE PROVIDED FOR THE EXCLUSIVE USE OF GILLIS GILKERSON, INC. OWNER/ARCHITECT SERVICES AGREEMENT IS FOR ARCHITECTURAL/ENGINEERING DRAWINGS AND SPECIFICATIONS ARE NOT PART OF THE OWNER/ARCHITECT AGREEMENT. MECHANICAL & ELECTRICAL DESIGN, COORDINATION & CODE COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OTHER CONSULTANTS.
2. IT IS AGREED THAT THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO OR INCLUDE THE REVIEW OR OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
4. ANY CHANGE OR FIELD ALTERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
5. ANY ITEMS NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH ARE REASONABLY INCIDENTAL TO AND NECESSARY FOR THE SATISFACTORY COMPLETION OF THE PROJECT IN ACCORDANCE WITH INDUSTRY STANDARDS, ARE INCLUDED WITHIN THE INTENT OF THESE DRAWINGS.
6. BUILDING CODE COMPLIANCE, CONSTRUCTION DETAILING, AND COORDINATION RESULTING FROM THE USE OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. NO BOLTS, HOOKS, OR SIMILAR DEVICES SHALL BE USED. INSTALLATION SHALL BE IN ACCORDANCE WITH IBC BUILDING CODE, LATEST EDITION.
8. CIVIL/SITE ENGINEERING PERFORMED BY OTHERS. REFER TO THOSE DOCUMENTS FOR SITE RELATED ITEMS, INCLUDING BUT NOT LIMITED TO GRADING, WALKS AND STOODS, ADA ACCESS, ZONING CRITERIA, FINISH FLOOR ELEVATIONS, ETC.

DATE

SCALE

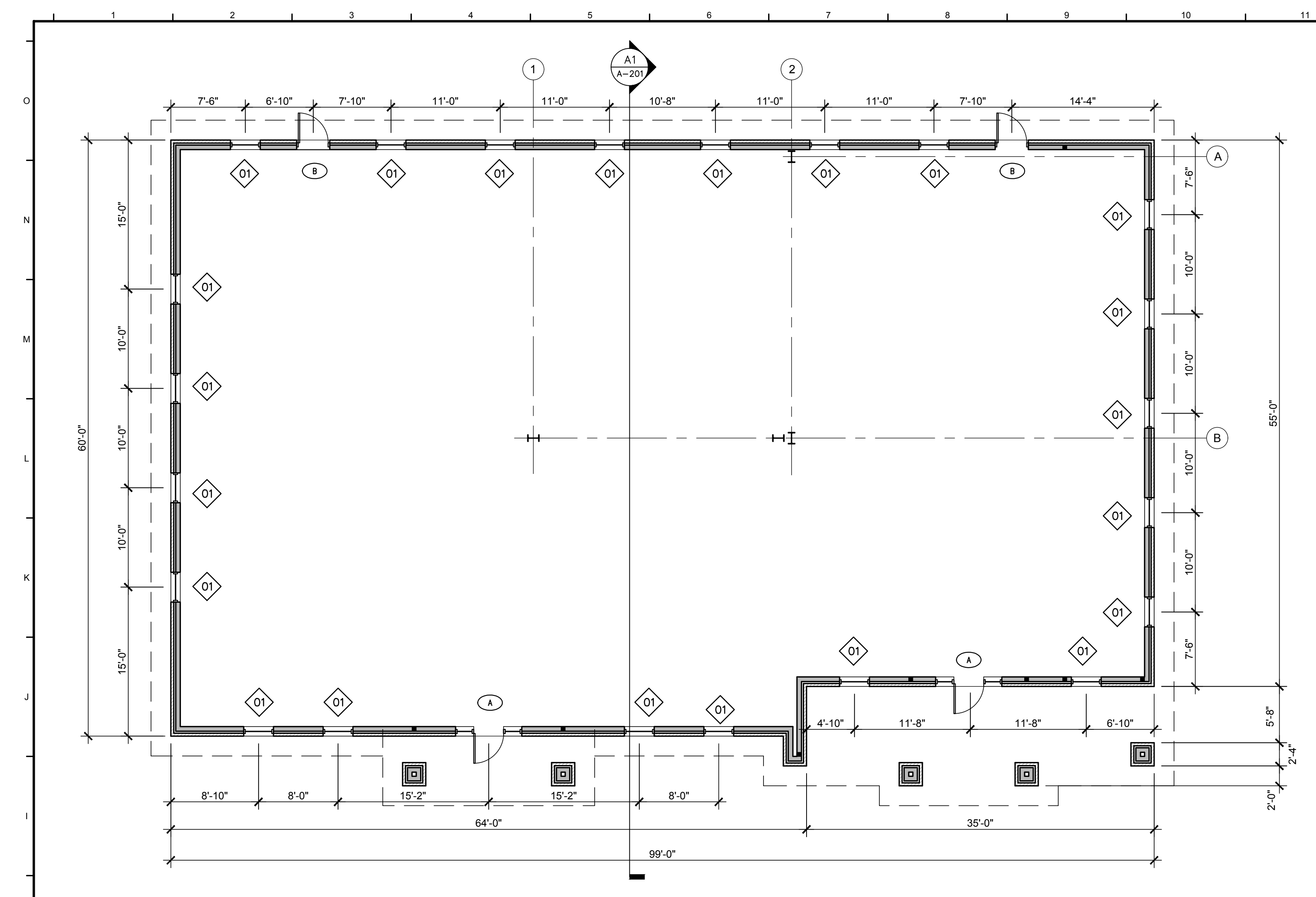
Dwn By:

Proj No.:

PERMIT SET

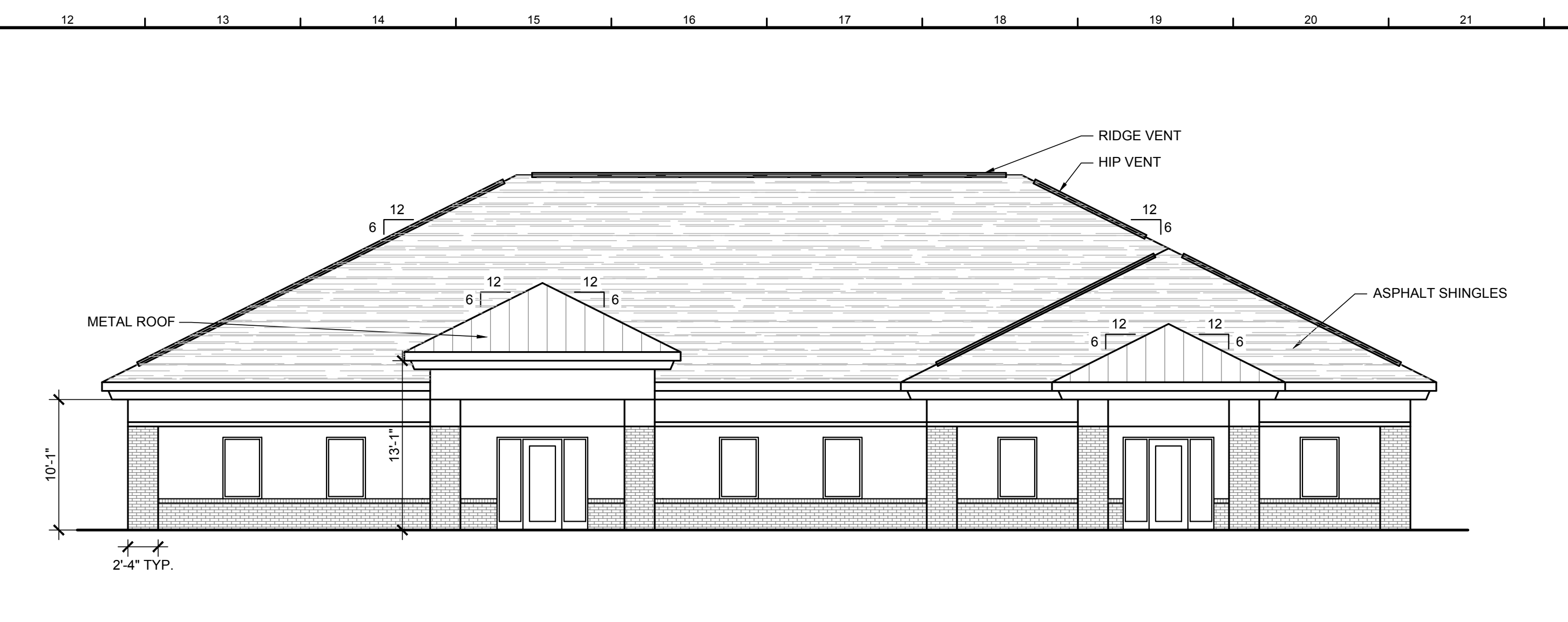
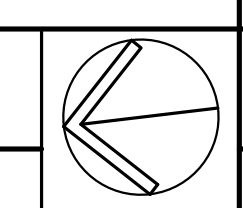
Dwg No.:

G-001



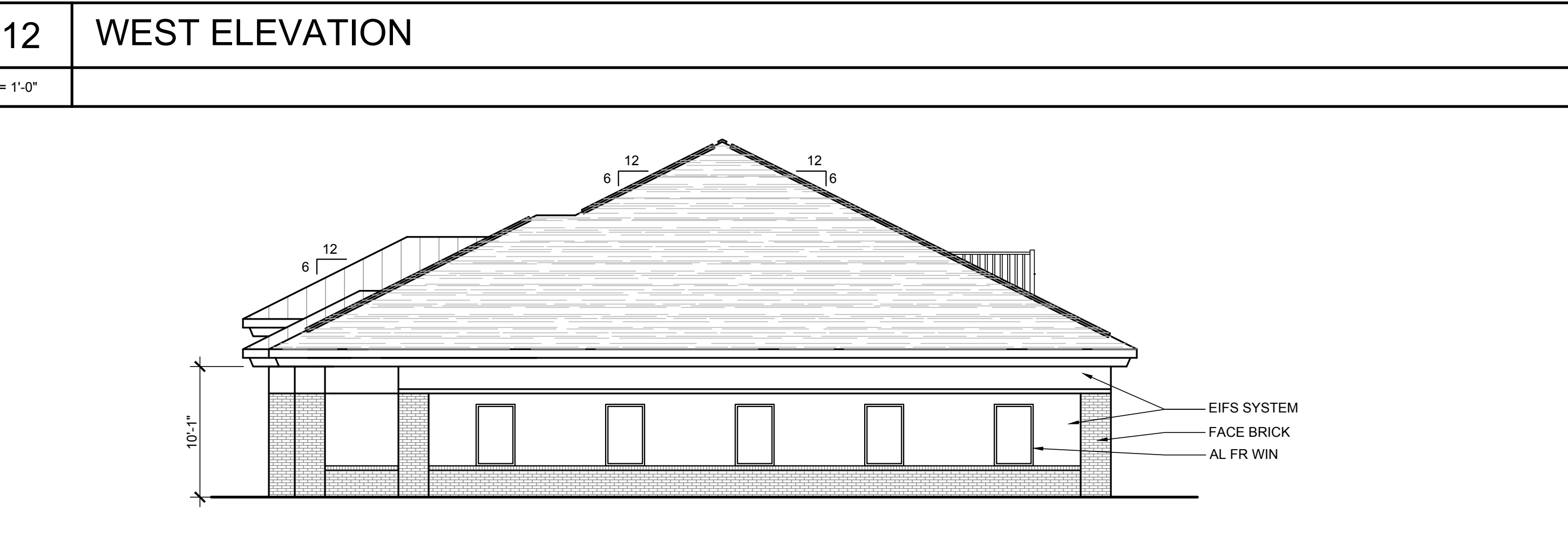
H1 FLOOR PLAN

1/8" = 1'-0"



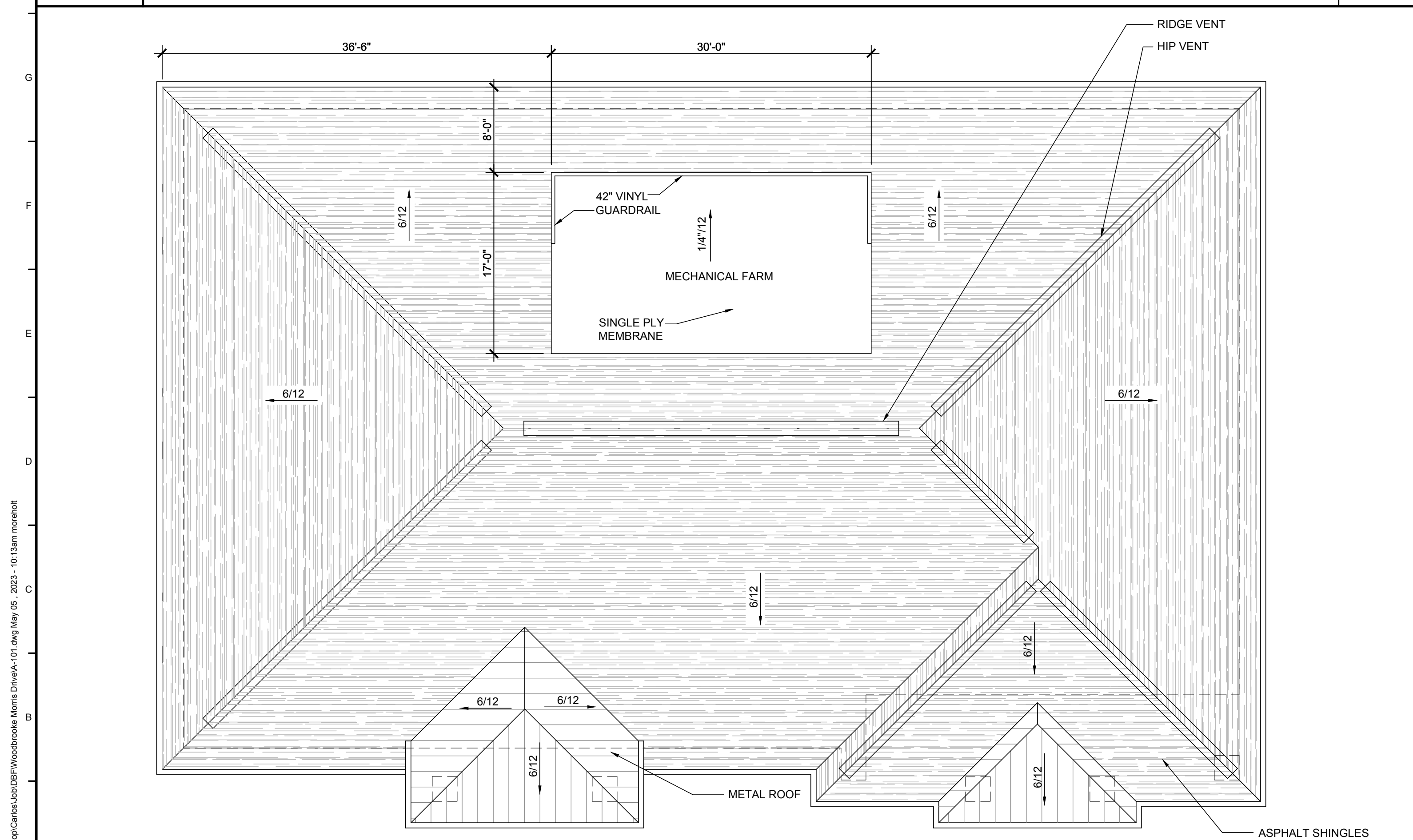
L12 WEST ELEVATION

1/8" = 1'-0"



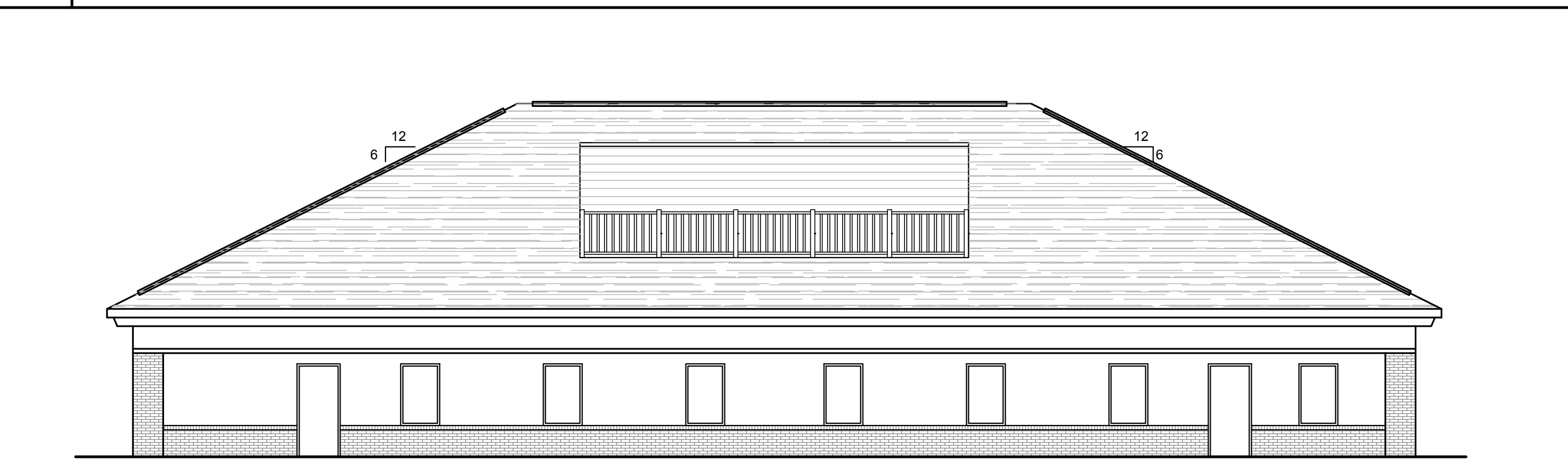
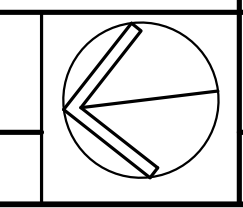
H12 SOUTH ELEVATION

1/8" = 1'-0"



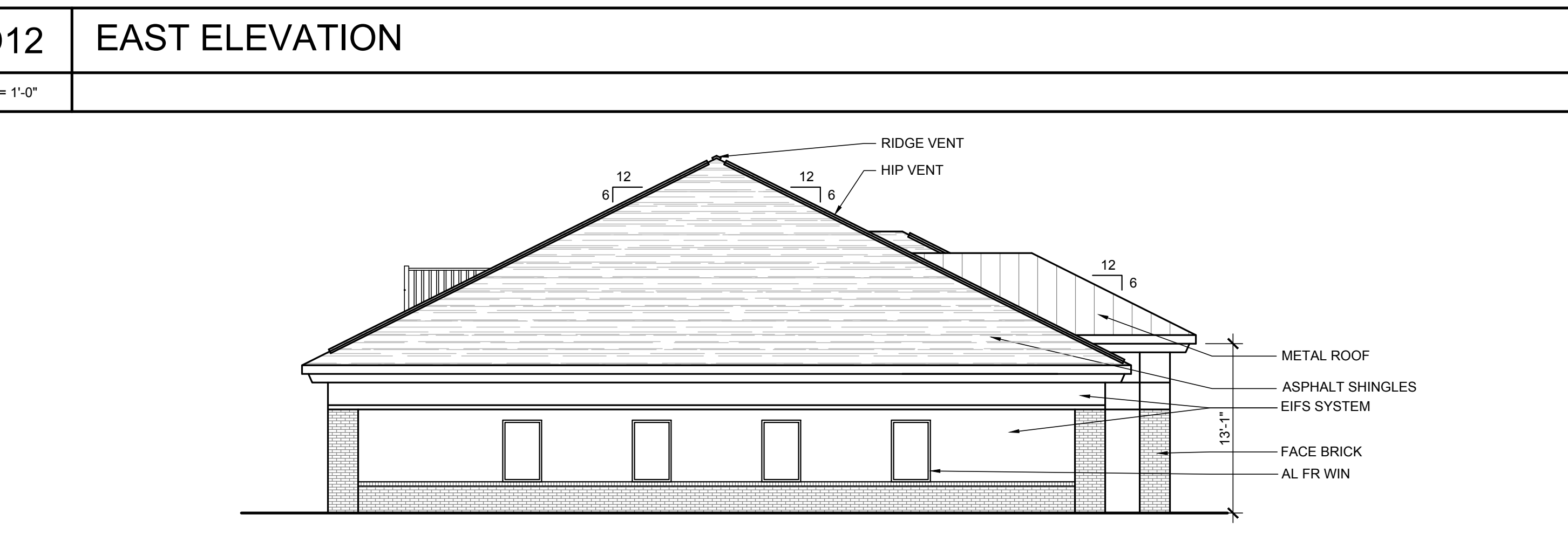
A1 ROOF PLAN

1/8" = 1'-0"



D12 EAST ELEVATION

1/8" = 1'-0"



A12 NORTH ELEVATION

1/8" = 1'-0"

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Architect in the State of Maryland License No. 11119. Expiration Date: 09/24/24.

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS • ENGINEERS • SURVEYORS

MILFORD, DELAWARE SALISBURY, MARYLAND
302.241.1441 410.343.9991

BUILDING SHELL
1603 TREE SAP COURT
SALISBURY, MARYLAND

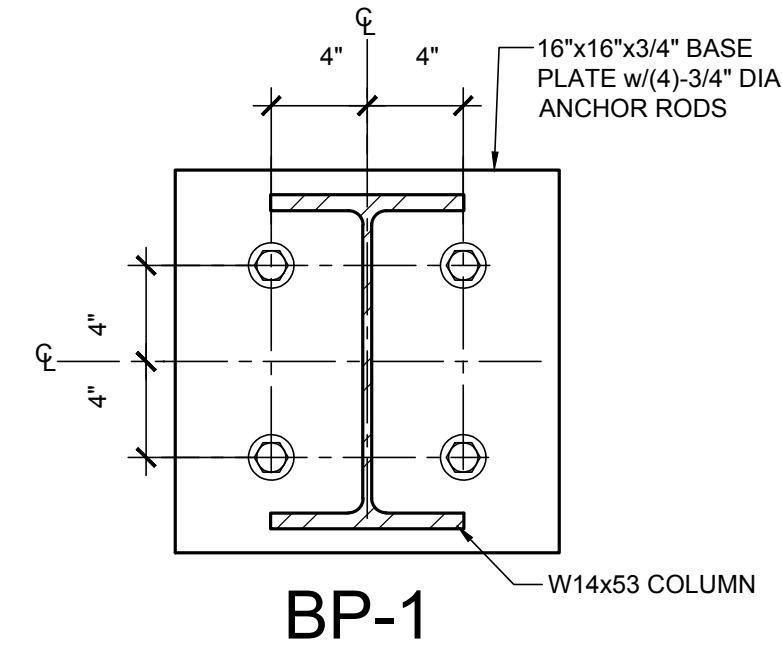
DATE	COMMENTS

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Proj No.:	0032A086.A01

PERMIT SET

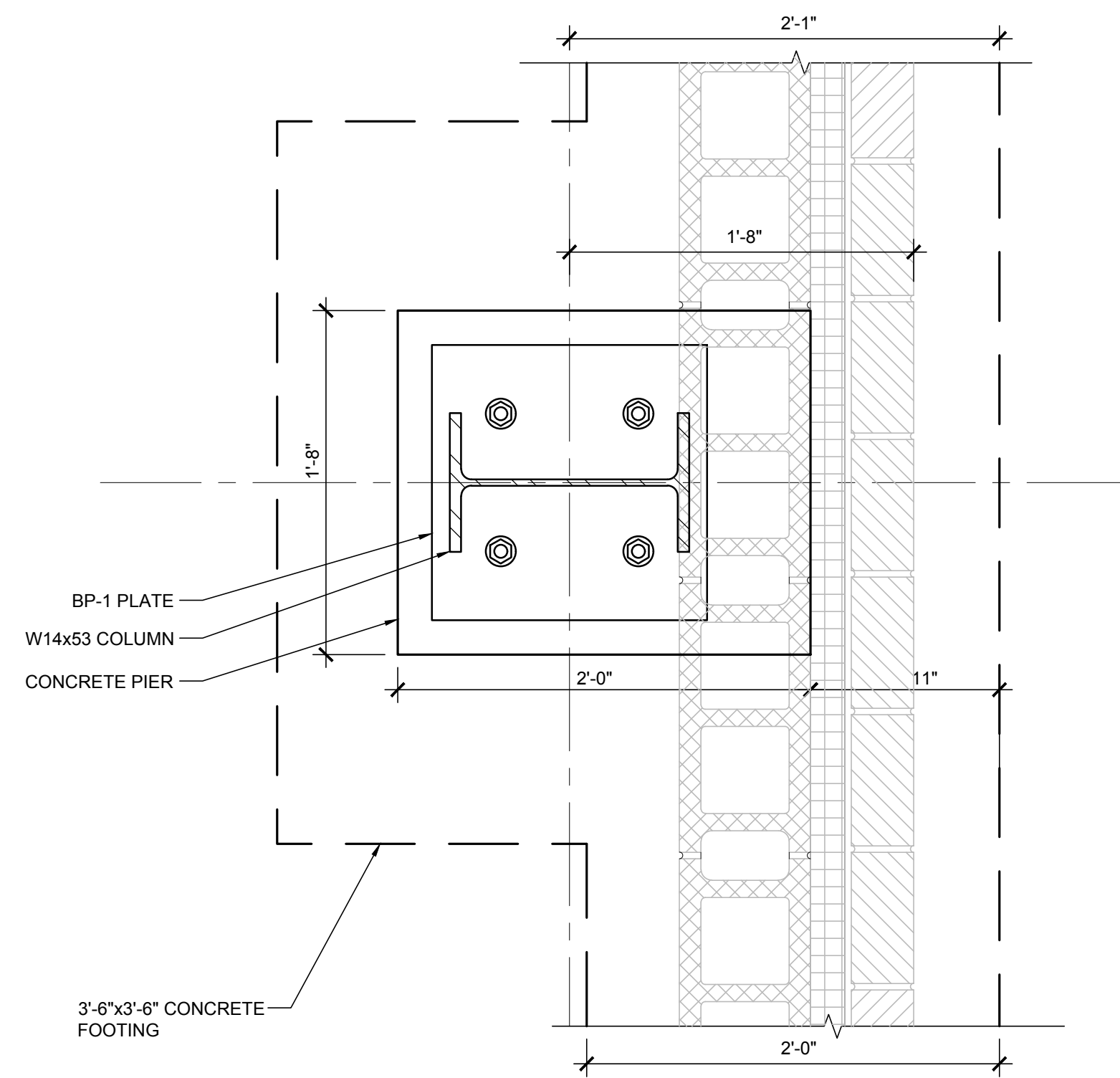
FLOOR PLANS
ELEVATIONS

Dwg No.:
A-101



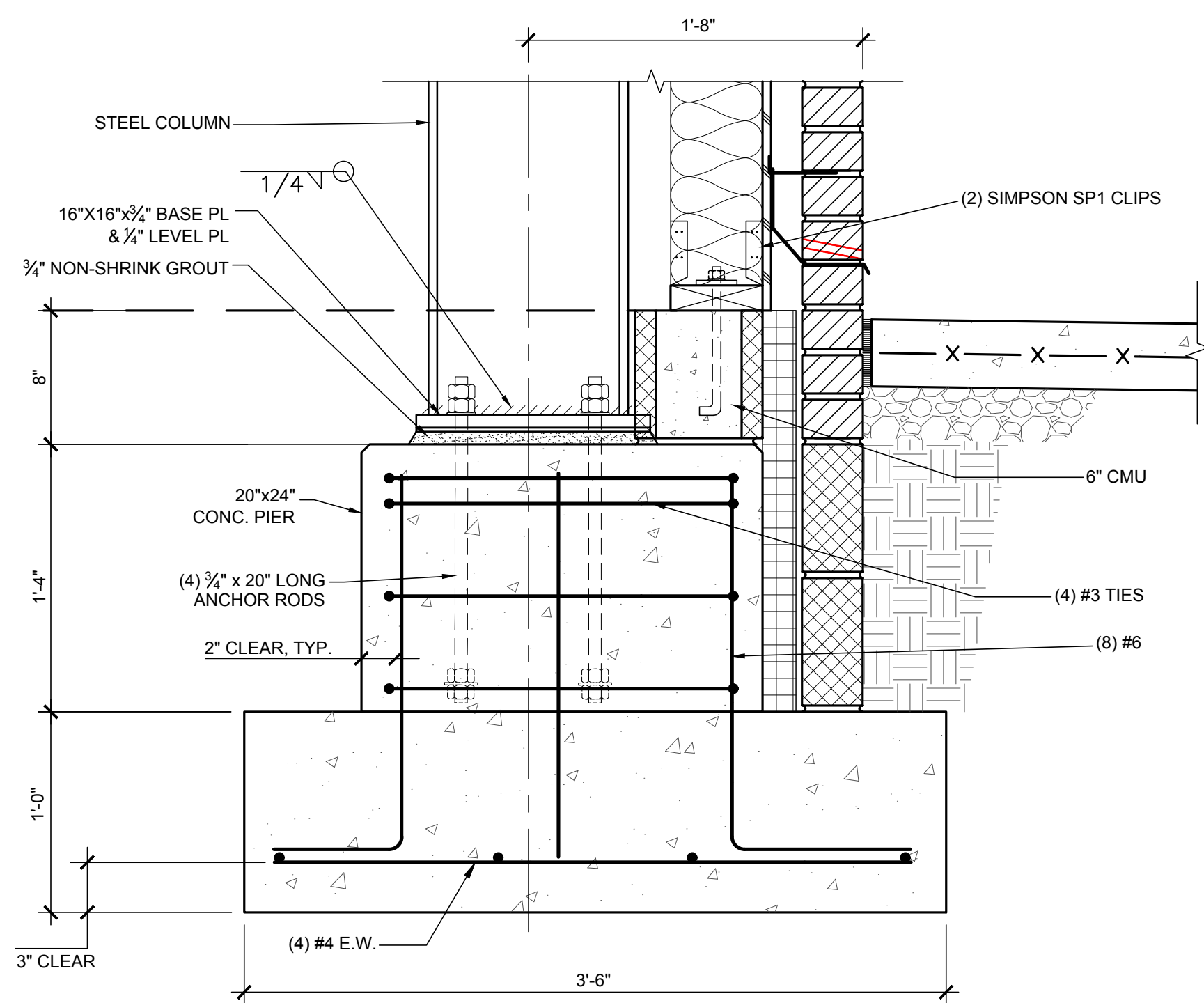
M1 BASE PLATE DETAIL

N.T.S.



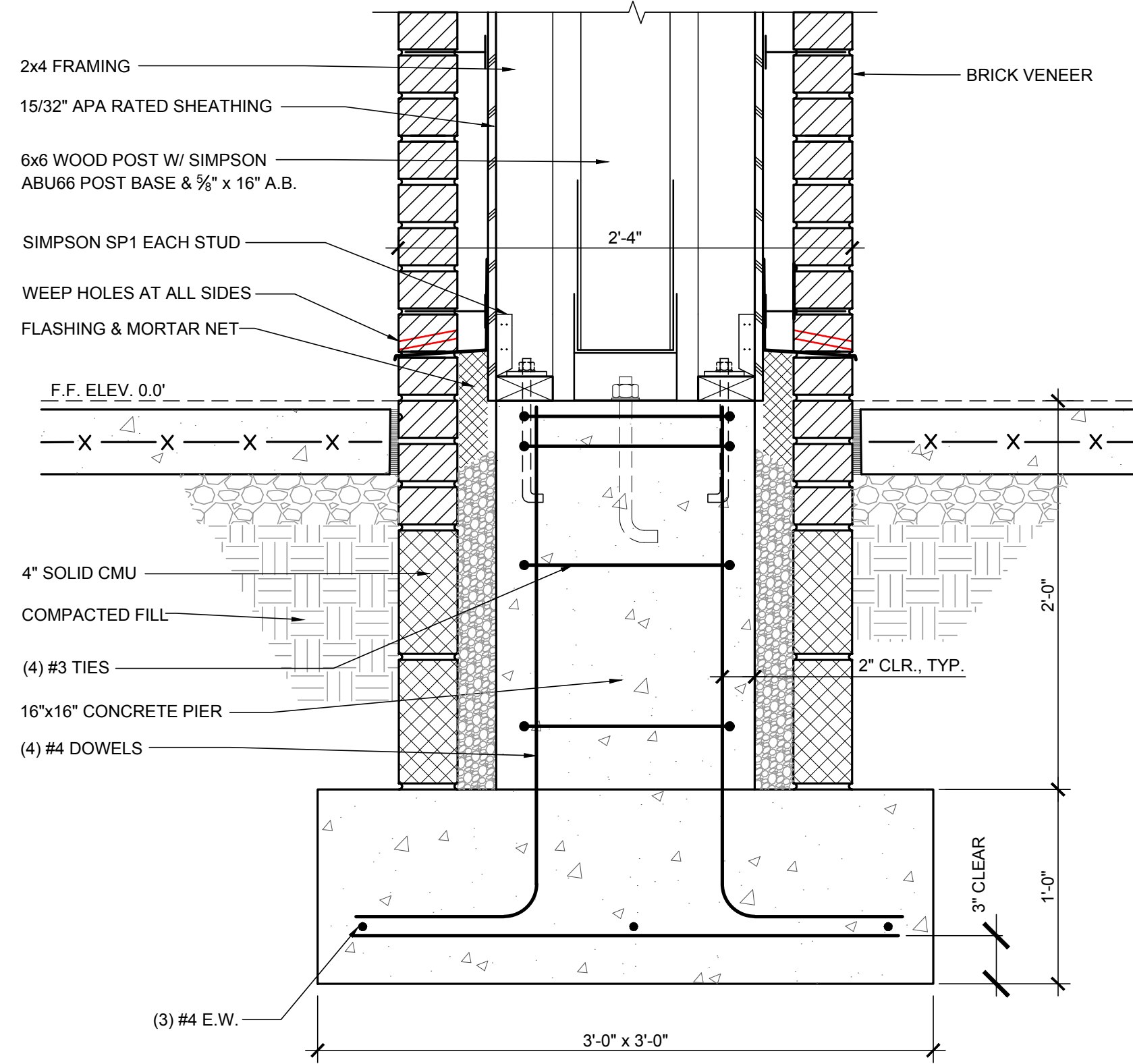
G1 EXTERIOR COLUMN FOUNDATION PLAN

1 1/2"=1'-0"



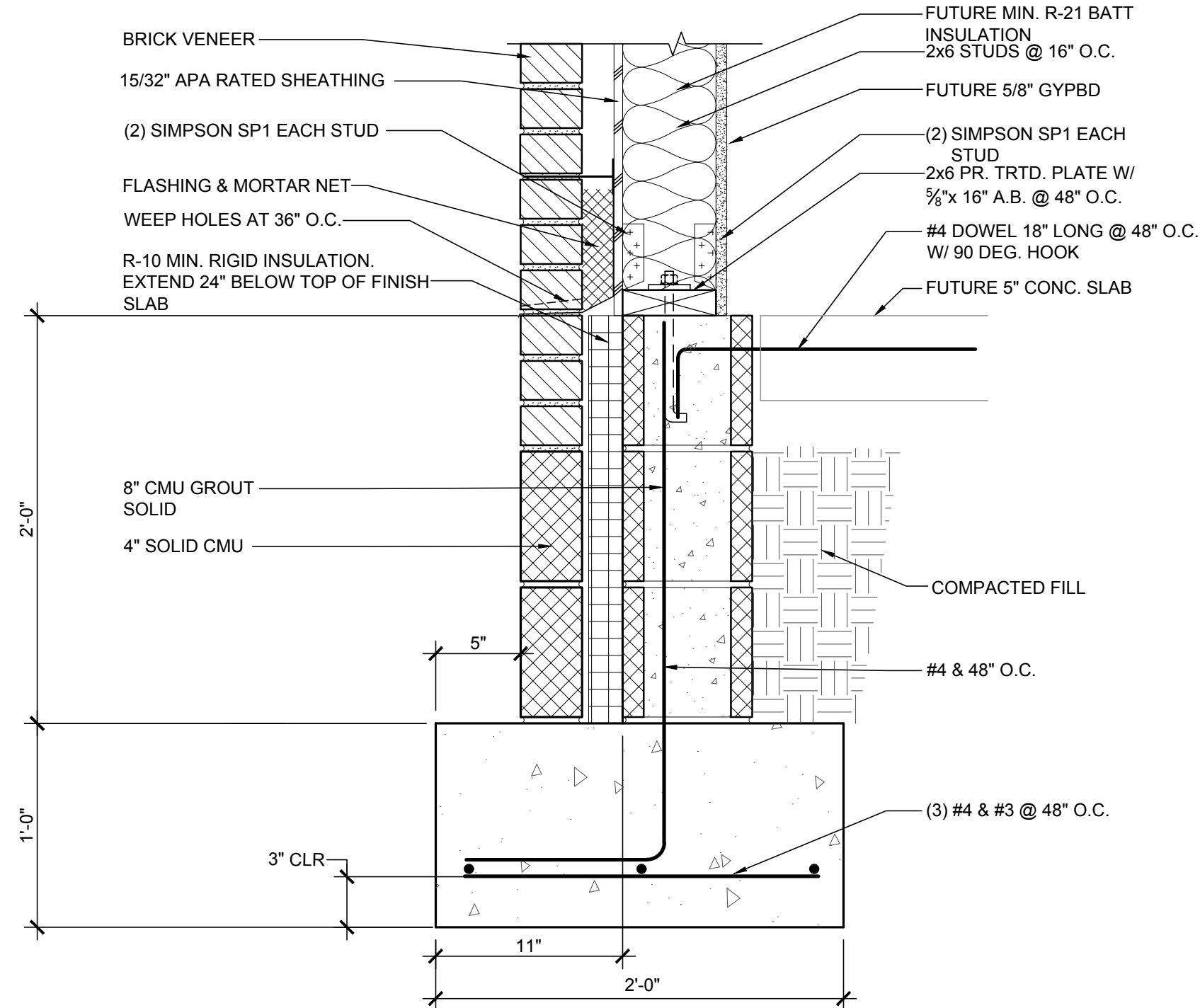
A1 EXTERIOR COLUMN FOUNDATION SECTION

1 1/2"=1'-0"



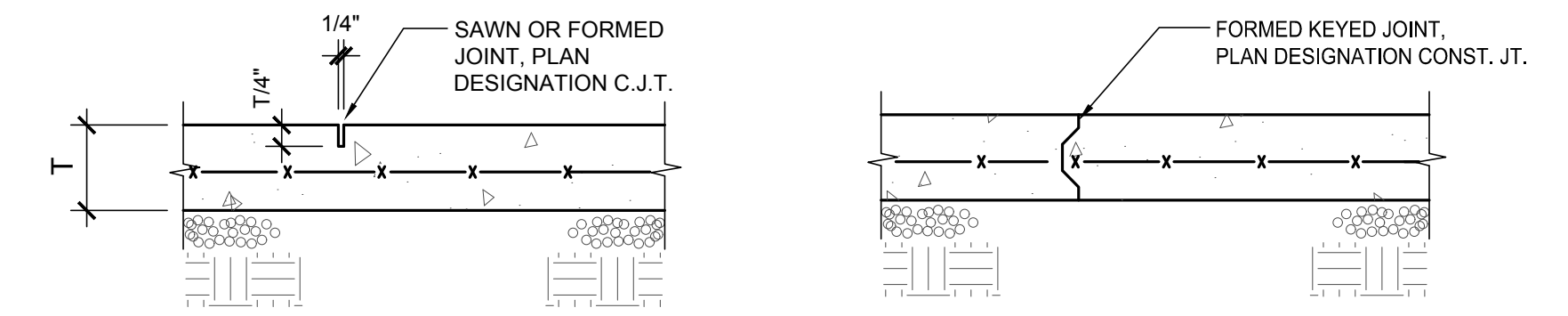
G8 PIER SECTION DETAIL

1 1/2"=1'-0"



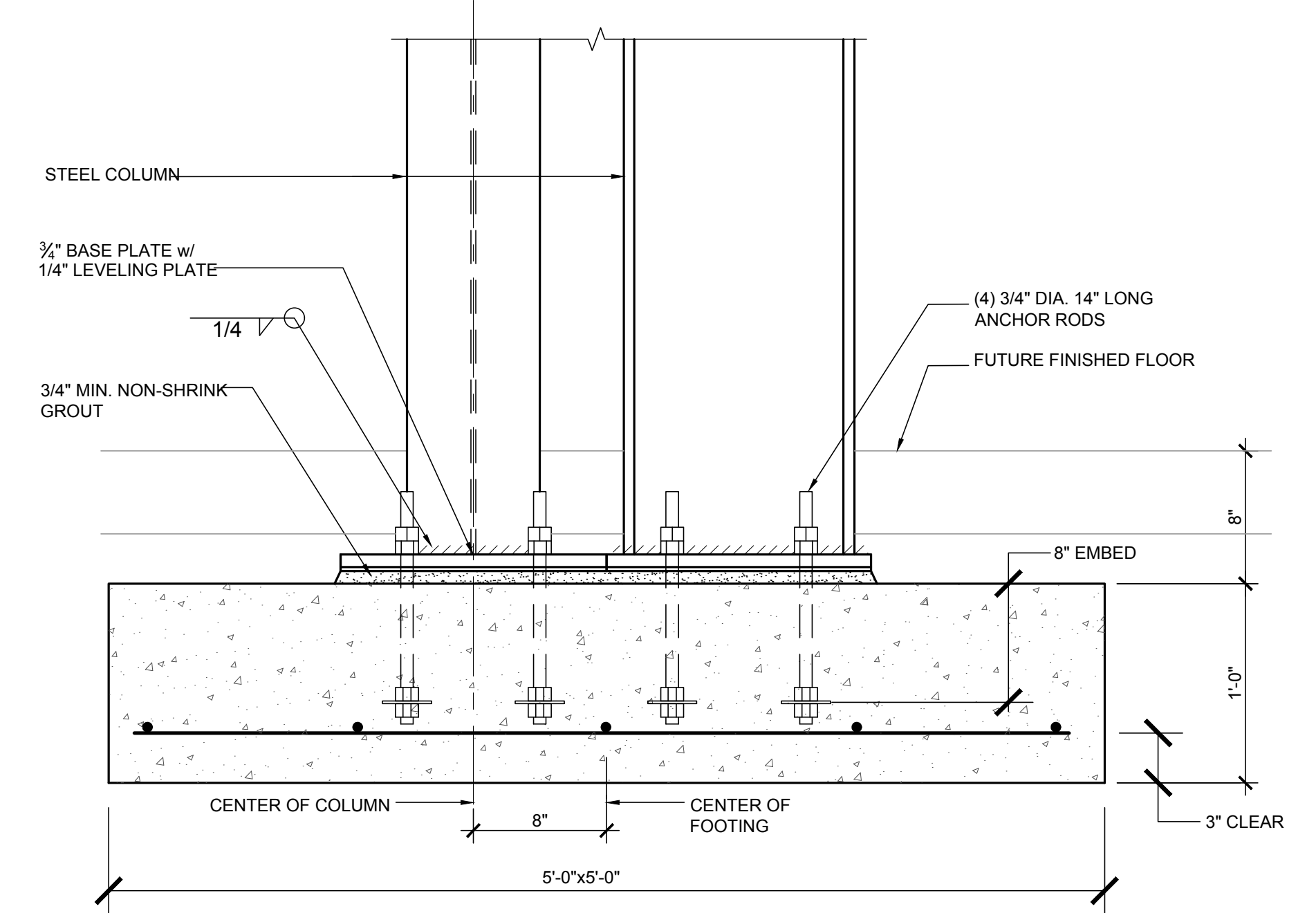
A8 FOUNDATION DETAIL SECTION

1 1/2"=1'-0"



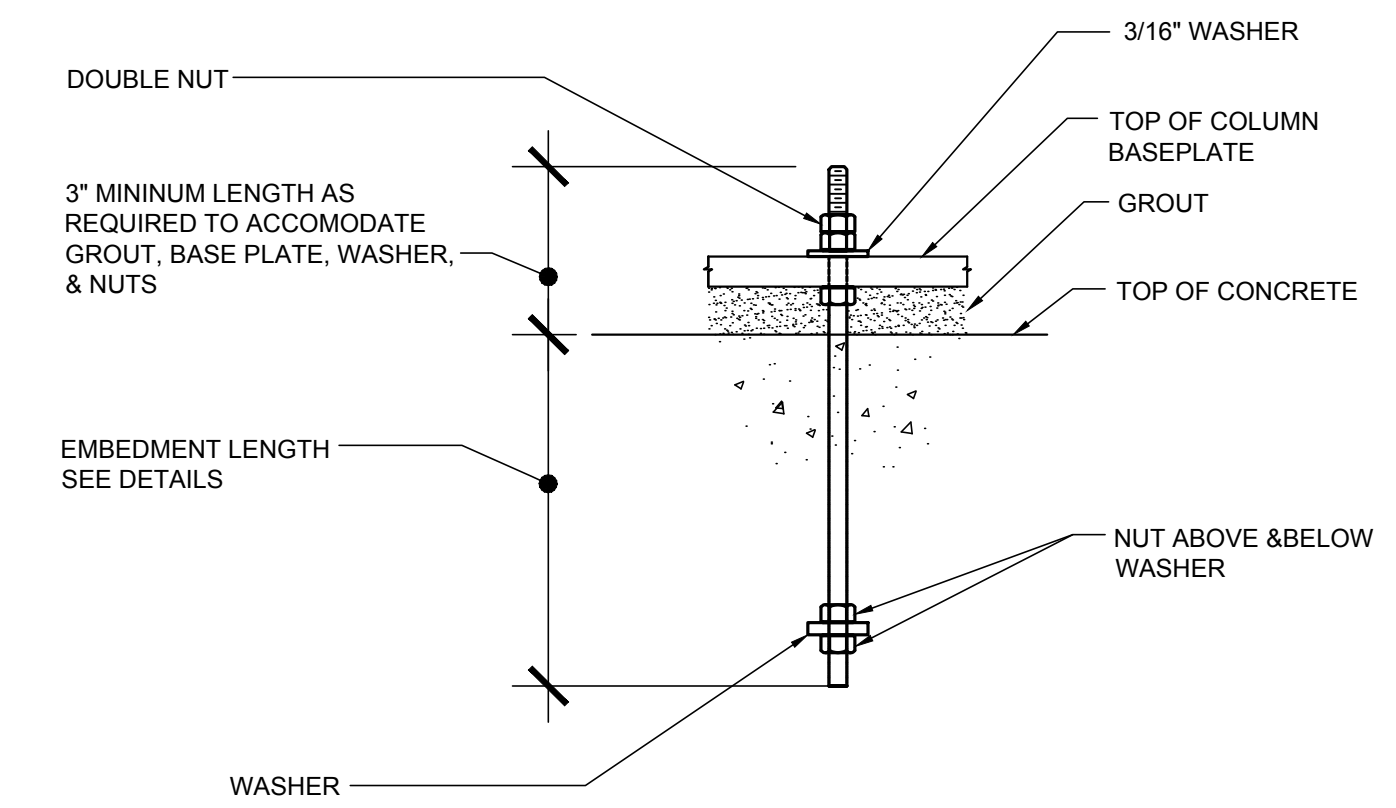
M15 FUTURE SLAB CONSTRUCTION JOINT

N. T. S.



G15 INTERIOR COLUMN FOUNDATION DETAIL

1 1/2"=1'-0"



A15 ANCHOR ROD DETAIL

N.T.S.

NOTES:
1. SEE BASE PLATE DETAILS FOR ANCHOR ROD SIZES.
2. ANCHOR ROD SHALL BE ASTM F-1554 GRADE 36.

Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Professional Engineer in the laws of the State of Maryland License No. 18124. Expiration Date: 01/17/25

DAVIS BOWEN & FRIEDEL, INC.
ARCHITECTS - ENGINEERS - SURVEYORS
1100 W. 70th Ave
Suite 200, Denver, CO 80231
303.756.1471
410.543.9091

BUILDING SHELL
1603 TREE SAP COURT
SALISBURY, MARYLAND

DATE COMMENTS

Date: MAY 4, 2023
Scale: AS NOTED
Dwn By: CAM
Proj No.: 0032A086.A01

STRUCTURAL DETAILS

Dwg No.: **S-201**



City of Salisbury

To: Salisbury – Wicomico County Planning and Zoning Commission
From: Brian Soper, City Planner *BS*
Date: January 18, 2024
Re: Critical Area Map Update

In the Spring of 2008, legislation was passed and signed into law that required the State to work cooperatively with local governments to update the Critical Area Maps in all affected jurisdictions. The legislation directed the Department of Natural Resources to prepare a Statewide Base Map that includes a State-determined shoreline and landward boundary of tidal wetlands and a digitally generated, geo-referenced 1,000-foot Critical Area boundary, as appropriate for integration into a Geographic Information System.

As the mapping update project progressed, the draft updated maps were made available to the public, so that additional review and comment on the maps can take place. The Critical Area Commission notified 74 property owners with a greater than 1% change in November 2021. On February 9, 2022 the Critical Area Commission transferred the maps to the City.

The proposed map is attached showing a net loss of 40 acres. This loss is not unexpected as the original map used the 1972 State Wetland maps to determine the boundary. GIS and recent aerial imagery provide a more accurate assessment of wetlands and shorelines used to draw the boundary. In addition, a large portion of the City's shoreline is hardened with bulkheading or revetments that would limit change.

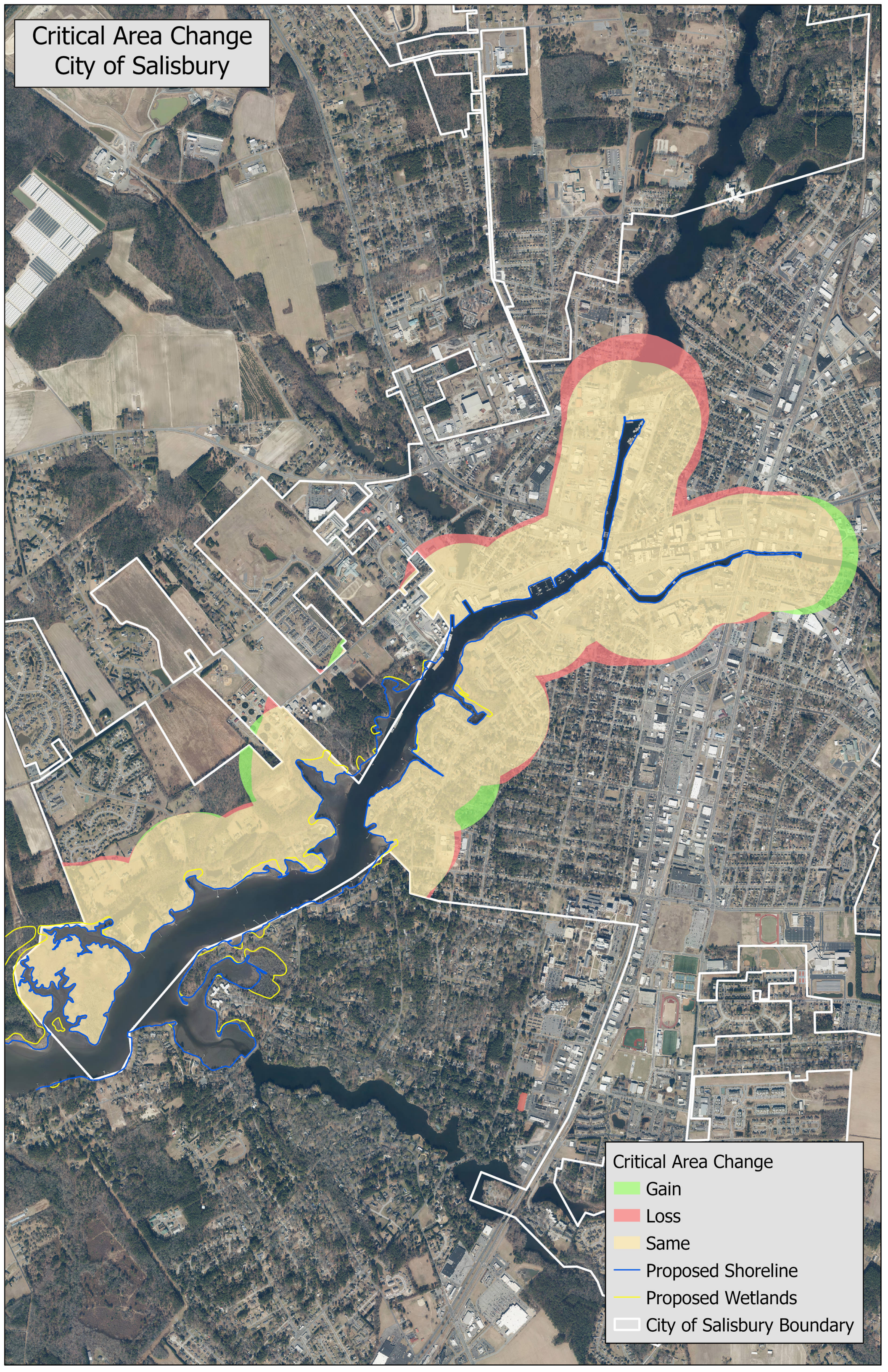
Amendments to the Critical Area District require a public hearing by the Planning Commission and recommendation to the City Council for their consideration at a public hearing prior to adoption.

Proposed next steps:

1. Public Hearing at the next Planning Commission meeting; February 15, 2024.

Attachments: Critical Area Change Map

Critical Area Change City of Salisbury



Critical Area Change

- Gain
- Loss
- Same
- Proposed Shoreline
- Proposed Wetlands
- City of Salisbury Boundary