



# City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION

P.O. BOX 870

125 NORTH DIVISION STREET, ROOMS 203 & 201

SALISBURY, MARYLAND 21803-4860

410-548-4860

FAX: 410-548-4955



RANDY TAYLOR  
MAYOR

JOHN TULL  
DEPUTY CITY ADMINISTRATOR

JULIE M. GIORDANO  
COUNTY EXECUTIVE

BUNKY LUFFMAN  
DIRECTOR OF ADMINISTRATION

## SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION

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### AGENDA

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**REGULAR MEETING**

**December 21, 2023**

ROOM 301, THIRD FLOOR  
GOVERNMENT OFFICE BUILDING

**1:30 P.M.** Convene, Chip Dashiell, Chairman

**Minutes – Meeting of November 16, 2023**

**1:35 P.M. PUBLIC MEETING - FINAL SUBDIVISION PLAT APPROVAL – STEEPLECHASE, SECTION 8** – Messick Home Improvements, Inc., represented by Donnie Messick – Equestrian Drive, Pemberton Drive, Crooked Oak Lane – R-20 Residential – M. 0037, G. 0021, P. 0348 – (M. Williams)

**REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – VERNON POWELL PHASE II** – Eastdale Enterprises, LLC, rep. by Parker and Associates – 2401 E Naylor Mill Road – Naylor Mill Road & N Mall Drive – General Commercial Zoning District – M-0119, G-0011, P-0240 - #23-029 (A. Rodriguez)

**PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – WESTWOOD COMMERCE PARK NORTH 50** – Parker & Associates Inc. for St. John Properties – Southeast Corner of N. West Road & Naylor Mill Road – Planned Development District #2 – Westwood Commerce Park – M-0029, G-0007, P-0091 - 202301507 (H. Eure)

**PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – WESTWOOD COMMERCE PARK SOUTH 50** – Parker & Associates Inc. for St. John Properties – East Side of Ed Taylor Drive and South of US RT. 50 Bypass – Planned Development District #2 – Westwood Commerce Park – M-0029, G-0013, P-0530 - 202301508 (H. Eure)

**REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – STARBUCKS** – Solutions Integrated Planning, Engineering and Management, LLC for Oak Ridge Baptist Church – Gateway Crossing Shopping Center – Tilghman Road – Regional Commercial Zoning District – M-0110, G-0016, P-4491, Lot 5 - 202301506 (H. Eure)

**PRELIMINARY COMPREHENSIVE SITE PLAN APPROVAL – TIDALHEALTH COMMUNITY CLINIC**  
– TidalHealth Peninsula Regional Inc, rep. by Becker Morgan Group – 805 E Church St – R-5A Residential District – M-0108, G-0003, P-1848 - #23-022 (B. Soper)

**PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – EAST NAYLOR MILL LOT 4** – St. John Properties, Inc., rep. by Parker and Associates – East Naylor Mill Rd – General Commercial District – M-0119, G-0011, P-0240, Lot-4 - #23-032 (B. Soper)

**PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – EAST NAYLOR MILL PARCEL 239** – St. John Properties, Inc., rep. by Parker and Associates – East Naylor Mill Rd – General Commercial District – M-0119, G-0005, P-0239 - #23-031 (B. Soper)

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JACK R. HEATH  
ACTING MAYOR

ANDY KITZROW  
CITY ADMINISTRATOR

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PLANNING AND ZONING COMMISSION  
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## MINUTES

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The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on November 16, 2023, in Room 301, Council Chambers, Government Office Building with the following persons participating:

**COMMISSION MEMBERS:**

Charles "Chip" Dashiell, Chairman  
Jim Thomas  
Mandel Copeland  
Joe Holloway  
Matt Drew  
April Jackson

**PLANNING STAFF:**

Henry Eure, City of Salisbury, Department of Infrastructure and Development ("DID")  
Brian Soper, City of Salisbury, DID  
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")  
Janae Merchant, PZCD

Laura Ryan, City of Salisbury, Department of Law  
Andrew Illuminati, Wicomico County, Department of Law

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The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

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**Announcement: Chairman Dashiell**

Chairman Dashiell announced that one of our members, Mr. Kevin Shertz, was not attending the meeting. I have spoken with Kevin, he has accepted a job offer with a software company that designs products directly related to architectural items. He was very excited about the opportunity, which began on November 13<sup>th</sup>. He expressed his regrets and was very sorry to leave. Chairman Dashiell thanked Mr. Shertz for his service on the Commission and mentioned his expertise was valuable to the Commission. Chairman Dashiell believed his replacement would be present at December's meeting.

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**MINUTES:** The minutes from October 19, 2023, were brought forward for approval. Mr. Joe Holloway submitted a motion to approve, seconded by Ms. April Jackson and duly carried. The minutes from the October 19, 2023 meeting were **APPROVED** as submitted.

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**REVISED SIGN PLAN – THE COMMONS SHOPPING CENTER – Selby Sign Company for RCG-Salisbury, LLC/Pop Shelf – 127 E. North Point Drive – General Commercial Zoning District – M-0029, G-0006, P-0078, Lot 3 - #202301364 (H. Eure)**

Mr. Henry Eure was joined at the table by Mr. Jamie Covington (Selby Sign Co.). Mr. Eure presented the Staff Report.

The applicant requested to add several colors to the existing Sign Plan for The Commons Shopping Center, located on the northerly side of East Point Drive. The colors included purple, black, white, gray, blue, yellow, and green; purple, gray, and green needed to be added to the currently approved colors.

Staff recommended approval of the Revised Sign Plan for Pop Shelf, including the addition of the colors purple, gray, and green to the approved color palette.

Mr. Covington explained what the colors signify for brand colors.

Mr. Joe Holloway inquired, what was a Pop Shelf store. Mr. Eure stated the store is an upgrade over Dollar General; it is part of Dollar General.

As there were no additional comments, Mr. Jim Thomas entered a motion to approve the Revised Sign Plan for Pop Shelf according to the Staff Report. The motion was seconded by Ms. Jackson and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

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**REVISED SIGN PLAN – THE CENTRE AT SALISBURY SHOPPING CENTER – Jones Sign Company for Salisbury Mall Realty Holding LLC/Caliber Collision – 2306 N. Salisbury Blvd – General Commercial Zoning District – M-0119, G-0015, P-0237, Lot-Parcel 5 - #202301366 (H. Eure)**

Mr. Eure stated there were no representatives present for Caliber Collision. Mr. Eure presented the Staff Report.

The applicant submitted a Revised Sign Plan for Caliber Collision (formerly Sears Automotive), located on the south side of North Mall Drive, between Centre Drive and East Naylor Mill Road. There are three (3) wall signs proposed for the north, south, and west building elevations.

Staff recommended approval of the Revised Sign Plan for Caliber Collision as submitted.

Mr. Matt Drew inquired if there were any signs on the east side of the building. Mr. Eure mentioned there are none at this time.

As there were no additional comments, Mr. Thomas entered a motion to approve the Revised Sign Plan for Caliber Collision as submitted. The motion was seconded by Mr. Drew and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

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**SIGN PLAN – OCEAN AISLE – Rinnier Development/ 1501 Sharen Drive-3 LLC – SE corner of Beaglin Park Drive and Old Ocean City Road – Planned Development District #1 (Robertson Farm) – M-0121, G-0005, P-2582, Lots 12AAA & 23AA - #202301367 (H. Eure)**

Mr. Eure was joined at the table by Mr. LB Steele (Rinnier Development). Mr. Eure distributed the sign specifications from Philip Signs that had been received that morning. Mr. Eure presented the Staff Report.

The applicant submitted a Revised Sign Plan for Phases 3 and 4 of Ocean Aisle Apartments, located on the east side of Beaglin Park Drive, between Old Ocean City Road and Sharen Drive. The Plan was for two (2) freestanding signs, consisting of white letters mounted on a stone veneer wall and externally illuminated.

Staff recommended approval of the Revised Sign Plan for Ocean Aisle as submitted, with the following one (1) condition:

1. Provide landscaping along the sign's base to match the existing sign landscaping.

Mr. Steele mentioned the new signs will look similar to the existing sign in front of the Community Center. The new signs will have a straight sign with wings turned at angles. He also said the lettering will be off-white for Ocean Aisle and the seahorse will be more of a brown color; these are compatible with the rest of the development.

Chairman Dashiell asked what landscaping they planned on using near the new signs. Mr. Steele indicated it would be similar to the plants around the other signs, the plants are liriopé.

Mr. Drew inquired if the sign caused any sightline concerns. Mr. Eure responded there is a sight triangle of both intersections, therefore not causing any concerns.

Ms. Jackson wanted to know how the lighting would look for the new signs. Mr. Steele indicated there will be a couple of small spotlights in the grass that shine light on the sign and the structure, there will not be any back illumination.

As there were no additional comments, Mr. Thomas entered a motion to approve the Revised Sign Plan for Ocean Aisle, Phases 3 and 4, with the condition that landscaping be provided along the base of the sign to match the existing signs. The motion was seconded by Ms. Jackson and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

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**Announcement: Chairman Dashiell**

Chairman Dashiell announced a guest in the audience, Mr. Mike Dunn, the President/CEO of

the Greater Salisbury Committee. Mr. Dunn was present to hear about the new Comprehensive Plan being worked on for the City of Salisbury. Chairman Dashiell thanked him for being present and said we appreciate his interest and perspective on this topic.

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### **MEET AND GREET – Consultant for a Comprehensive Plan Update (B. Soper)**

Mr. Brian Soper, Ms. Allysha Lorber (Urban Planner with Mead and Hunt), and Ms. Amanda Pollock (Engineer with Center for Watershed Protection) approached the table. Ms. Lorber and Ms. Pollock have been working on compiling background material and demographics; they have prepared a presentation for the Commission.

Ms. Lorber stated the City's Comprehensive Plan has not been updated since 2010. She utilized a slide presentation to talk about the following items:

- Planning Requirements
- Project Schedule
- Previous Plans and Existing Conditions
- SWOT Analysis and Goals ("Strengths, Weaknesses, Opportunities, and Threats")

Ms. Lorber discussed their next steps:

- Launch Project Website
- Host First Public Meeting
- Develop a Vision and Goals
- Supplement the Existing Conditions Analysis with Stakeholder Input

(The presentation is available electronically if requested.)

Chairman Dashiell thanked Ms. Lorber and Ms. Pollock for the presentation and for getting everyone acquainted with the issues that are in front of us.

Mr. Thomas added the presentation was a good beginning. His concern was with transportation. The Planning Commission has approved several housing cases that required traffic studies. However, the studies were limited to the particular project only and did not look at the overall impact. Mr. Soper said the Move Salisbury Plan is an updated plan to the Bike Master Plan which incorporates more of the pedestrian activity and other types of transit that are not a vehicle. This task is being worked on internally by Staff and the intent is to get a draft together and submit it to the Transportation Manager, then on to the City Council, work through the process, and get public comments.

Ms. Lorber added another suggestion to transportation concerns; the City of Salisbury could consider having a more detailed growth district and transportation study done that would look at all of the growth within the development area. Then each development, as they come in, would have an impact fee assessed based on their contribution to the traffic. This would be an equitable way to say everyone is contributing and not one developer has an unfair distribution on how they were paying for the impact of their development.

Mr. Holloway mentioned there was no mention of crime issues. Ms. Lorber added crime is typically assessed separately but people must think about it when they are deciding where they want to invest or move. There are things that we could incorporate as part of our plan that could be crime prevention strategies. These might include design standards that promote making sure places are visible or there are no dark places for people to hide. It would be good to have someone from the

Police Department be an adviser throughout this process to help identify any issues that might be either preventing or attributing to crime statistics.

Mr. Holloway also inquired about the increase in truck traffic being listed as a threat in the presentation. If truck traffic is decreased, commerce is decreased and smaller municipalities will not be able to have certain items delivered. Ms. Lorber responded that truck traffic is vital for economic development and we have to make sure that we are accommodating freight movement but freight movement can also have an impact on communities. Trucks have a harder time slowing down if they need to make a quick stop, they are noisy, and they vibrate, so in some places, they might not be appropriate. Ms. Jackson interjected stating the roadways are torn up because of the heavy trucks coming through city streets and at one point they pulled all the electrical wires down from the people's houses and I see large trucks being a problem in residential communities.

Mr. Drew recommended that all the Commissioners review the training module available to Planning Commissioners so all could understand our obligations. He said the Commissioners are available to support Mead and Hunt but also, we are here as Planning Commissioners to make sure this Plan represents what our community wants.

Mr. Holloway asked Ms. Pollock to explain the Utility Extension Policy that was passed this past month. Ms. Pollock stated Salisbury has acknowledged there is an environmental crisis and adopted a new policy. There is a new agreement, an out-of-town service agreement for events of well or septic system failures. The Policy lays out how to obtain services because Salisbury does not have the resources to be the entity extending the services. They will look to Wicomico County or to some other entity to say Wicomico County now can have a Sanitary District so they can apply for Public Funding to extend the services to that area.

Chairman Dashiell added the challenge in these types of efforts rests in being sure we get Community input. It is a considerable challenge because residents, for a variety of reasons, do not seem to step up and participate in this kind of effort, and without input, we are not addressing everyone's needs. Of course, we are not going to reach everyone but we have to be intentional about reaching key partners in this effort. He recognizes that you can do a lot with data if you get it, if you do not get the data and do not get the insights and the perspectives of a vast majority of our citizens, the end product is not going to be as good as it could be. Ms. Lorber indicated they would need the assistance of the Planning Commission to spread the word. They will have a public meeting to talk with people and hear some of their ideas, goals, and priorities. They will also have a website where people can go at any time and it will be interactive. There will be a lot of information and a survey where people will answer questions about their goals, priorities, issues, and concerns.

Ms. Jackson inquired about the residents being able to add their goals, priorities, issues, and concerns. If meetings are held at 1:30 p.m., business owners and working residents will not be able to attend the meetings. Chairman Dashiell agreed and added we want to hear that voice so let's be sure we identify all the people who are affected and do the very best to incorporate as many of the voices that will impact the results of this study.

Chairman thanked both Ms. Lorber and Ms. Pollock for their presentation and Mr. Soper for his leadership and for getting them started on the Comprehensive Plan.

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**STAFF ANNOUNCEMENTS**

Mr. Soper said the City will have a very full agenda for December.

Ms. Lori Carter addressed Mr. Andrew Illuminati. Mr. Illuminati said on Tuesday, Director Carter and he met with the Natural Resources Conservation Advisory Committee which is a County committee. A member of this commission sits on the advisory committee and for a while it was Mr. Copeland; however, his term expired and no one has been reappointed so that is something to consider. If someone is interested, they focus on green infrastructure, and with the coming Comprehensive Plan for the County, they're looking at having a more robust role in the process and part of that would be possibly referring stages of the Comprehensive Plan to them for review. Before exploring what their future role would be having a liaison from this Commission to the committee would be helpful to provide them with the updates this Commission is doing but to also receive the concerns that may come from the committee back to the Commission in approving various projects. I don't believe we're looking for action today but just something to consider. I don't know if Mr. Copeland is interested in being reappointed, that may be a starting position but maybe wait until Mr. Schertz's position is filled. Chairman Dashiell asked Ms. Carter to keep that on our agenda so that we can see if there is interest among any of the Commissioners for serving and if so, we will try to fill that spot or choose to do something else if no one is willing.

Chairman Dashiell wished everyone a Happy Thanksgiving and hoped all had the opportunity to be with family.

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As there were no additional comments, Chairman Dashiell asked for a motion to adjourn. Upon a motion by Mr. Holloway, seconded by Ms. Jackson, and carried unanimously, the Commission meeting was adjourned at 3:15 p.m.

The next regular Commission meeting will be on December 21, 2023.

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This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

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Charles "Chip" Dashiell, Chairman

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Lori A. Carter, MBA, Secretary

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Janae Merchant, Recording Secretary



**WICOMICO COUNTY, MARYLAND**  
DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT  
125 N. DIVISION STREET, ROOM 203  
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PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano  
County Executive

Bunky Luffman  
Director of Administration

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## COUNTY SUBDIVISION ANALYSIS

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### MEETING OF DECEMBER 21, 2023

**Subdivision Name:** Steeplechase **Section:** 8  
**Location:** Crooked Oak Lane and Pemberton Drive **DPW#:**  
**Map:** 37 **Parcels:** 348 **Grid:** 21 **Acres:** 32.71 +/- acres  
**Subdivision Acreage:** 16.249 +/- acres **Lots:** 27  
**Applicant:** George E. Young, III, P.C.  
1603 Market Street  
Pocomoke, MD 21851  
**Owner:** Messick Home Improvements  
106 Morris Mill Road  
Salisbury, MD 21804  
**Zoning:** R-20  
**Jurisdiction:** Wicomico County **Type of Plat:** Final Plat  
**Type of Development Proposed:** Residential

#### I. EXPLANATION OF REQUEST.

The Sketch Plat for this next section of the Steeplechase subdivision was reviewed by the Planning Commission in March, 2022, and the Preliminary Plat was approved in December, 2022. The plat proposes 27 new lots proposed for on-site septic and community water. The total area of lot development is 16.249 acres, for an average lot size of 26,215 square feet. All lots will be accessed by interior roads, and direct access is denied to Crooked Oak Lane and Pemberton Drive.

**II. RECOMMENDATION.**

The Planning Staff recommends approval of the Final Plat for Steeplechase Section 8 subject to all conditions being met.

**III. SUBDIVISION STATUS.**

**A. WAIVERS REQUIRED:**

N/A

**B. FOREST CONSERVATION:**

Forest conservation regulations were previously met for this section of Steeplechase with Forest Conservation Plan #2005-05.

**C. CHESAPEAKE BAY CRITICAL AREA:**

N/A

**D. PROPOSED CONDITIONS:**

1. The Final Plat shall comply with all requirements of the Wicomico County Subdivision Regulations.
2. Health Department signature on Final Plat prior to recordation.
3. All lots will become members of the Steeplechase Homeowners Association and a revised Declaration of Covenants and Restrictions adding this new section to the Association must be recorded in the land records prior to the recordation of the Final Plat.
5. A deed conveying the newly constructed roads must be prepared prior to the recordation of the Final Plat.
6. A cluster mailbox pad with adequate access is to be constructed outside of all easement areas and in accordance with U.S. Postal Service requirements, or, a letter from the local USPS office confirming individual mail delivery is required prior to the recordation of the Final Plat.
7. This approval is subject to further review and approval and conditions imposed by the Departments of Planning and Zoning and Public Works.

**E. PLANNING/PUBLIC WORKS STAFF COMMENTS:**

The plat for Steeplechase Section 8 has been finalized and health department approval of the septic areas as shown has been confirmed. The stormwater management plan was previously approved, and no changes to the Construction Improvement Plan have been requested.



The Maryland Department of the Environment had previously approved the additional water usage of 300 new lots which were proposed in 2005, and an Amendment to Shared Facility Agreement was recorded in the land records of Wicomico County in Book 2501 Page 311.

COORDINATOR: Marilyn Williams, Technical Review  
DATE: December 11, 2023

**Attachment #A – Aerial view**

**Attachment #B – Final Plat**



# Steeplechase



Attachment A



**OWNER'S CERTIFICATION**  
 The subdivision of land as shown on this plat is with the free consent and in accordance with the desire of the owners, proprietors and trustees, if any, hereof. The requirements of "Real Property" Section 3-103 of the Annotated Code of Maryland, latest edition, as far as it concerns the making of this plat and the setting of markers have been complied with, to the best of our knowledge.  
 Community voter will be available to all lots offered for sale.

OWNER/REPRESENTATIVE: \_\_\_\_\_ Date: \_\_\_\_\_  
 Mosaic Home Improvements, Inc.  
 108 Morris Mill Road  
 Salisbury, MD 21804

**SURVEYOR'S CERTIFICATION**  
 I/We certify that the requirements of "Real Property" Section 3-103 of the Annotated Code of Maryland, latest edition, as far as it concerns the making of this plat and the setting of markers have been complied with, to the best of our knowledge.

\_\_\_\_\_  
 DATE: 01/02/22

SURVEYOR:  
 George E. Young, III  
 Professional Land Surveyor, MD No. 10834  
 Expiration Date: 04/07/2024

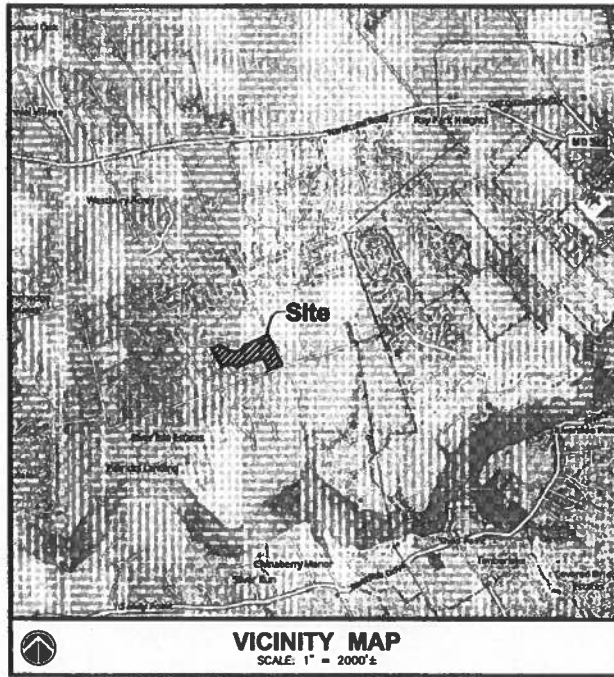
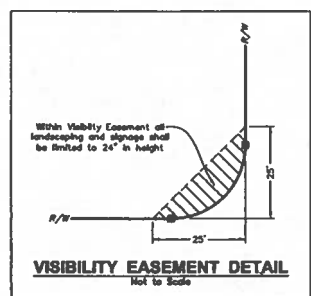


**WICOMICO COUNTY PLANNING & ZONING COMMISSION**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS**  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**WICOMICO COUNTY HEALTH DEPARTMENT**  
 This subdivision is approved for interim individual on-site sewage systems and a community water system and their use is in accordance with the Wicomico County Comprehensive Water and Sewerage Plan.  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**WICOMICO COUNTY FOREST CONSERVATION ACT**  
 This subdivision is founded by the agreement as set forth in FCA # 2005-05 on file in the Planning Office.  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_



# SUBDIVISION PLAT OF STEEPLECHASE SECTION NO. 8

**LOTS 60-67, BLOCK B, LOTS 9-14, BLOCK J,  
 LOTS 5-17, BLOCK K & REMAINING LANDS  
 SALISBURY ELECTION DISTRICT  
 WICOMICO COUNTY, MARYLAND**

- DRAWING INDEX**
- 1 Cover Sheet
  - 2 Key Plan
  - 3 Subdivision Plat
  - 4 Subdivision Plat
  - 5 Coordinate, Curve and Area Tables

**SITE NOTES:**

1. OWNER/DEVELOPER: Mosaic Home Improvements, Inc. 108 Morris Mill Road Salisbury, MD 21804
2. Tax Map No. 37, Ord 21, Parcel 348
3. Deed Ref.: 4709/234
4. Plat Ref.: 18/100
5. Site Address: 27825 Crooked Oak Lane Salisbury, MD 21801
6. Zoned: R-20
7. Setbacks: Front = 45' min. for 40' wide streets or as shown  
 Side = 10'  
 Rear = 30'
8. 10' to be reserved on lots, adjacent to street right-of-way, for sidewalks and utilities.
9. Maximum Building Height = 35'
10. Maximum Lot Coverage = 35%
11. Total Site Area = 8.32,773 Acres
12. Total Lot Area = 818,248 Acres  
 Average Lot Size = 28,215 sq. ft.  
 Road Area = 82,073 Acres  
 Total Linear Footage of New Roads = 2,198.40'  
 Area of Remaining Lands = 214,450 Acres
13. By scaled map location and graphic plotting only, the subject property appears to be entirely in Zone X (Areas determined to be outside the 0.25% annual chance floodplain) according to the Flood Insurance Rate Map for Wicomico County, MD, Community Flood No. 240450023E, Effective Date August 17, 2015.
14. Based on the Maryland Environmental Resources and Land Information Network (MELIN) this site does not lie within the Chesapeake Bay Critical Area and does not contain any wetlands.
15. This subdivision is subject to a Shared Facilities Urban Service Agreement recorded in Liber MSB 1388, folio 54 and an Amended Shared Facilities Agreement recorded in Liber MSB 2501, folio 311.
16. This subdivision is subject to a Dedication of Easements & Restrictions recorded in Liber MSB 1360, folio 517-520 and Liber MSB 2494, folio 4.
17. Lots B, Block K, Lot 8, Block K, Lot 10, Block K and Lot 11, Block K are subject to a 10' landscape buffer of Loblolly Cypress along Crooked Oak Lane per Dedication of Easements & Restrictions recorded in Liber MSB 1360, folio 517-520 and Liber MSB 2494, folio 4.
18. This subdivision is subject to a Maintenance & Inspection Agreement of Private Stormwater Management Facilities recorded in Liber MSB 2421, folio 727.
19. All street intersections within this subdivision are subject to a Visibility Easement. See detail this sheet.
20. The purpose of this plat is to subdivide Parcel 348 into 27 residential lots.
21. Coordinates are based on Plat Ref. MSB 18/100.
22. All lots will become part of the Steeplechase Homeowners Association, Inc.

**GENERAL NOTES**

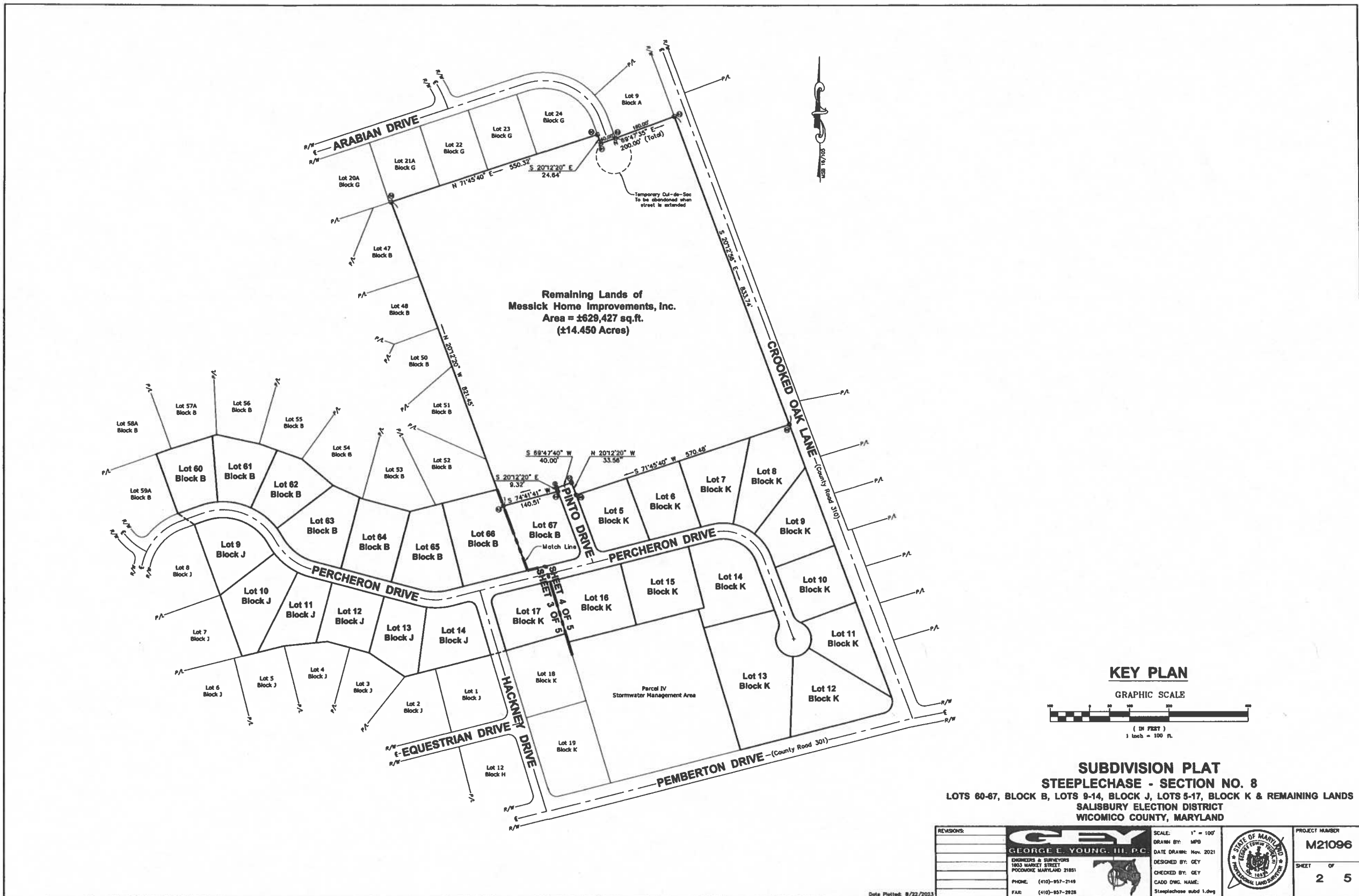
- The following notes are standard notes required by the Wicomico County Department of Public Works on all subdivision plats.
1. This property may be susceptible to periodic localized drainage problems. Lot owners are encouraged to prepare the site and construct structures so as to minimize the impact of these potential storm drainage problems.
  2. The approval of the Wicomico County Department of Public Works does not relieve the applicant of the responsibility to comply with all other applicable federal, state and local laws.
  3. Final plat approval certifies that the subdivision has been reviewed for stormwater drainage affecting only streets and public areas within its own boundaries and not individual lots.
  4. All future construction shall conform to the Wicomico County Zoning Code in effect at the time of construction.
  5. Proposed use & development of approved lot shall conform to Chapter 225 (Zoning) of the Wicomico County Code.
  6. Within the areas designated as "Drainage and Maintenance Easement" objects (such as structures, fences, sidewalks, paved driveways and/or utilities) which may act as an obstruction to the intended use and/or maintenance of this easement, shall not be permitted.

**WICOMICO COUNTY HEALTH DEPARTMENT NOTES**

1. G.P.R. Management Zone B1
2. The sewage reserve area(s) shown on this plat are not to be impacted during any phase of construction, grading or storm water management activities, otherwise the site may be deemed not buildable.
3. Each sewage reserve area shall remain exclusive of structures, easements, right of ways, and driveways.
4. Sewage system designs are based on undisturbed grades which were observed during the field evaluation process. Any alterations of elevation or change in grade may void approvals.
5. All foundations must be a minimum of 10' from sewage reserve areas (25' from sand mounds) and 30' from a potable well.
6. Utilities are to be located outside of the sewage disposal areas.
7. The approved wastewater flows is based on residential use. Other uses may reduce the flow.
8. State Water Appropriation No. W19920148

REVISIONS: 11/10/22 - changes per Wic. Co. P&Z		SCALE: None DRAWN BY: MPB DATE DRAWN: Nov. 2021 DESIGNED BY: GEY CHECKED BY: GEY CADD DWG. NAME: Steeplechase.mxd 1.dwg	PROJECT NUMBER <b>M21096</b> <hr/> SHEET OF <b>1 5</b>
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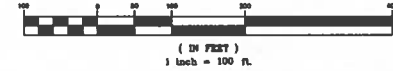
Date Plotted: 8/23/2023



Remaining Lands of  
Messick Home Improvements, Inc.  
Area = ±629,427 sq.ft.  
(±14.450 Acres)

**KEY PLAN**

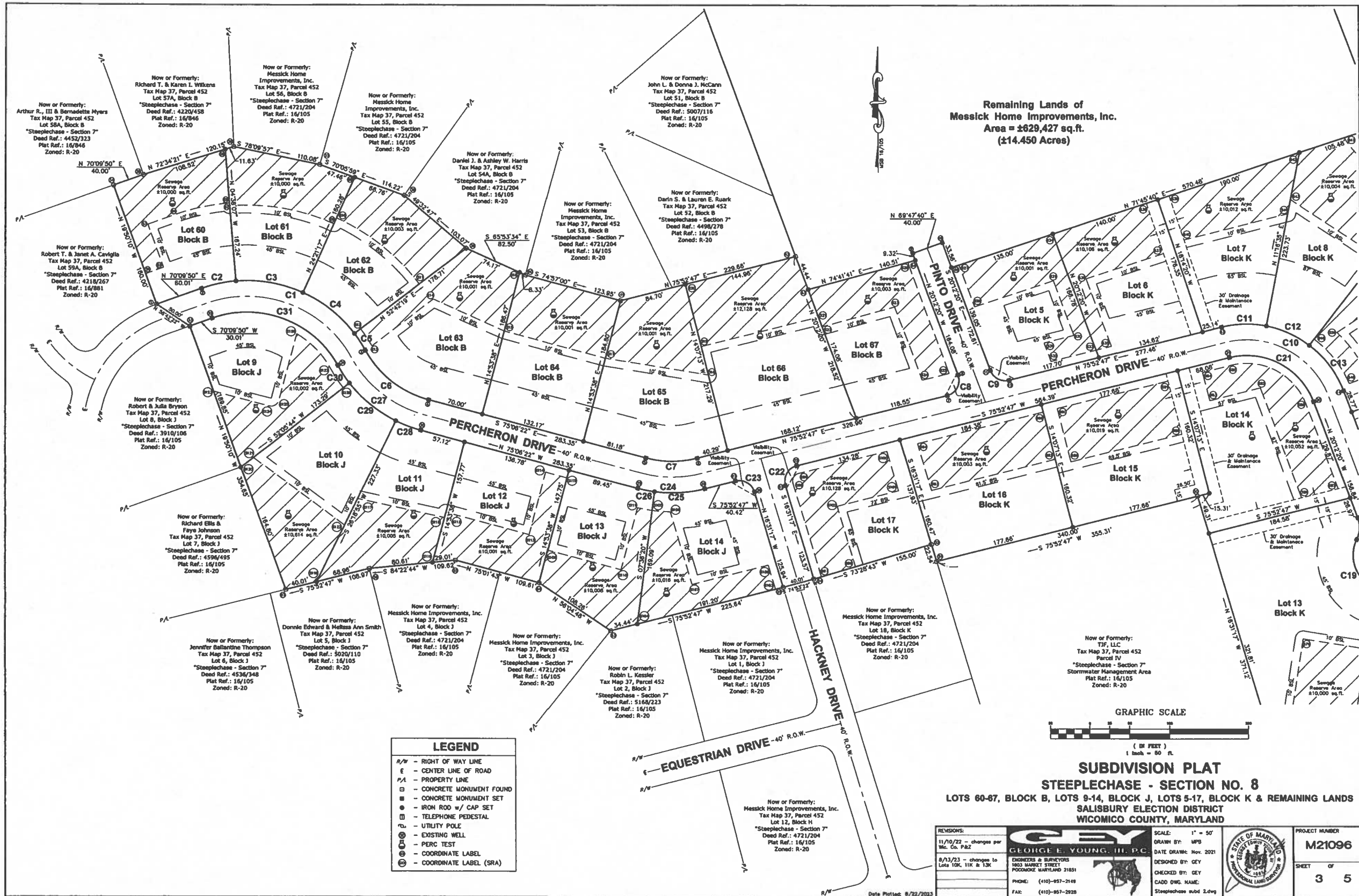
GRAPHIC SCALE



**SUBDIVISION PLAT**  
**STEEPLECHASE - SECTION NO. 8**  
LOTS 60-67, BLOCK B, LOTS 9-14, BLOCK J, LOTS 5-17, BLOCK K & REMAINING LANDS  
SALISBURY ELECTION DISTRICT  
WICOMICO COUNTY, MARYLAND

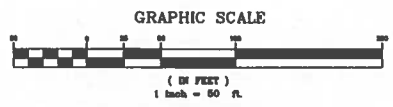
REVISIONS:		SCALE: 1" = 100'		PROJECT NUMBER
		DRAWN BY: MPB		M21096
		DATE DRAWN: Nov. 2021		
		DESIGNED BY: GEY		
		CHECKED BY: GEY		
		CADD DWG. NAME:		
		Steeplechase subd 1.dwg		
				SHEET OF
				2 5

Date Plotted: 8/22/2023



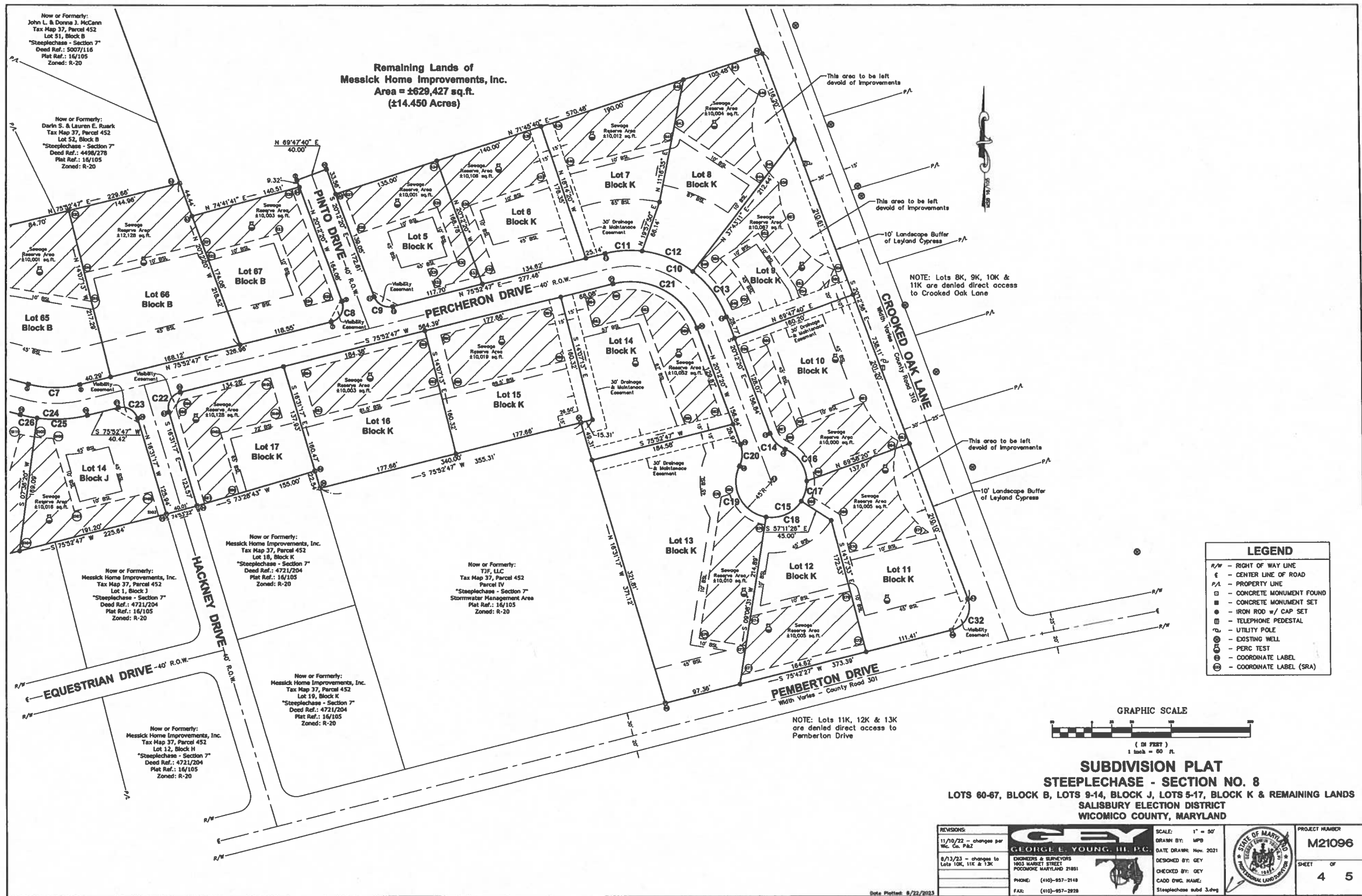
Remaining Lands of  
Messick Home Improvements, Inc.  
Area = ±629,427 sq. ft.  
(±14.450 Acres)

LEGEND	
R/W	- RIGHT OF WAY LINE
E	- CENTER LINE OF ROAD
PA	- PROPERTY LINE
□	- CONCRETE MONUMENT FOUND
■	- CONCRETE MONUMENT SET
⊙	- IRON ROD w/ CAP SET
⊕	- TELEPHONE PEDESTAL
⊖	- UTILITY POLE
⊗	- EXISTING WELL
⊘	- PERC TEST
⊙	- COORDINATE LABEL
⊚	- COORDINATE LABEL (SRA)



**SUBDIVISION PLAT**  
**STEEPLECHASE - SECTION NO. 8**  
LOTS 60-67, BLOCK B, LOTS 9-14, BLOCK J, LOTS 15-17, BLOCK K & REMAINING LANDS  
SALISBURY ELECTION DISTRICT  
WICOMICO COUNTY, MARYLAND

REVISIONS: 11/10/22 - changes per Md. Co. P&Z 8/13/23 - changes to Lots 10K, 11K & 13K	<b>GEY</b> GEORGE E. YOUNG, III, P.C. SURVEYORS & ENGINEERS 1803 MARKET STREET P.O. BOX 21831 WILMINGTON, DE 19804 PHONE: (410) 697-2148 FAX: (410) 697-2928	SCALE: 1" = 50' DRAWN BY: MPB DATE DRAWN: Nov. 2021 DESIGNED BY: GEY CADD DWG. NAME: Steeplechase subd 2.dwg	PROJECT NUMBER <b>M21096</b> SHEET OF <b>3 5</b>
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Now or Formerly:  
John L. & Doris J. McCann  
Tax Map 37, Parcel 452  
Lot 51, Block B  
"Steeplechase - Section 7"  
Deed Ref.: 5007/116  
Plat Ref.: 16/105  
Zoned: R-20

Now or Formerly:  
Darin S. & Lauren E. Rusark  
Tax Map 37, Parcel 452  
Lot 52, Block B  
"Steeplechase - Section 7"  
Deed Ref.: 4496/278  
Plat Ref.: 16/105  
Zoned: R-20

Now or Formerly:  
Messick Home Improvements, Inc.  
Tax Map 37, Parcel 452  
Lot 1, Block J  
"Steeplechase - Section 7"  
Deed Ref.: 4721/204  
Plat Ref.: 16/105  
Zoned: R-20

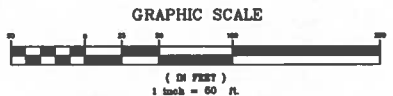
Now or Formerly:  
Messick Home Improvements, Inc.  
Tax Map 37, Parcel 452  
Lot 18, Block K  
"Steeplechase - Section 7"  
Deed Ref.: 4721/204  
Plat Ref.: 16/105  
Zoned: R-20

Now or Formerly:  
TJF, LLC  
Tax Map 37, Parcel 452  
Parcel IV  
"Steeplechase - Section 7"  
Stormwater Management Area  
Plat Ref.: 16/105  
Zoned: R-20

Now or Formerly:  
Messick Home Improvements, Inc.  
Tax Map 37, Parcel 452  
Lot 19, Block K  
"Steeplechase - Section 7"  
Deed Ref.: 4721/204  
Plat Ref.: 16/105  
Zoned: R-20

Now or Formerly:  
Messick Home Improvements, Inc.  
Tax Map 37, Parcel 452  
Lot 12, Block H  
"Steeplechase - Section 7"  
Deed Ref.: 4721/204  
Plat Ref.: 16/105  
Zoned: R-20

LEGEND	
R/W	RIGHT OF WAY LINE
CL	CENTER LINE OF ROAD
P/A	PROPERTY LINE
□	CONCRETE MONUMENT FOUND
■	CONCRETE MONUMENT SET
●	IRON ROD w/ CAP SET
⊕	TELEPHONE PEDESTAL
⊙	UTILITY POLE
⊗	EXISTING WELL
⊘	PERC TEST
⊙	COORDINATE LABEL
⊙	COORDINATE LABEL (SRA)



<b>REVISIONS</b> 11/10/22 - changes per Wic. Co. P&Z 8/13/23 - changes to Lots 10K, 11K & 13K	 ENGINEERS & SURVEYORS 1003 MARKET STREET POCOMOCK MARYLAND 21851 PHONE: (410)-857-2148 FAX: (410)-857-2928	<b>SCALE:</b> 1" = 50' <b>DRAWN BY:</b> MPB <b>DATE DRAWN:</b> Nov. 2021 <b>DESIGNED BY:</b> GEY <b>CHECKED BY:</b> GEY <b>CADD DWG. NAME:</b> Steeplechase subd 3.dwg	<b>PROJECT NUMBER</b> <b>M21096</b> <b>SHEET OF</b> <b>4 5</b>
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NOTE: Lots 11K, 12K & 13K  
are denied direct access to  
Pemberton Drive

NOTE: Lots 8K, 9K, 10K &  
11K are denied direct access  
to Crooked Oak Lane

This area to be left  
devoid of improvements

This area to be left  
devoid of improvements

10' Landscape Buffer  
of Leyland Cypress

This area to be left  
devoid of improvements

10' Landscape Buffer  
of Leyland Cypress







## **Infrastructure and Development Staff Report**

**December 21, 2023**

### **I. BACKGROUND INFORMATION:**

Infrastructure and Development Case No.: 23-029  
Project Name: Vernon Powell Shoe Company Phase II  
Applicant/Owner: Parker & Associates for Eastdale Enterprises LLC  
Nature of Request: Revised Comprehensive Development Plan Approval  
Location of Property: 2401 E Naylor Mill Road—E Naylor Mill Road and N Mall Drive— Tax  
Map: 119 Grid: 11 Parcel: 240  
Existing Zoning: General Commercial Zoning District

### **II. SUMMARY OF REQUEST:**

Parker and Associates, on behalf of the owner, has submitted a Revised Final Comprehensive Development Plan (Attachment 2) for a 15,000 square foot addition to the existing shopping center building, a future 9,600 square foot retail space and a 9,600 square foot warehouse.

### **III. DISCUSSION:**

The applicant proposes to expand the existing Vernon Powell Shopping Center by an additional 24,600 square feet of retail space and 9,600 square feet of warehouse space. Phase I of this project was constructed in 2000, and a portion of Phase II of this project was constructed in 2007. The property is bound by Naylor Mill Road to the west. It is adjacent to Designer's Edge Salon to the south, property owned by Thomas H. Ruark to the east, as well as Naylor Mill Self Storage and privately-owned property to the north. There is existing infrastructure on site, including improved parking areas, sidewalks, landscaping, and stormwater management practices.

### **IV. APPROVAL HISTORY:**

The Final Comprehensive Development Plan was approved in August 2006. A Special Exception for a shopping center exceeding 30,000 square feet of gross floor space was granted by the Board of Zoning Appeals in October 2006. In February 2007 per a Maintenance Agreement with the City, the Developer was required to construct, improve and maintain private stormwater management facilities for future expansion of this property





and the 7 surrounding lots.

## V. **COMPREHENSIVE DEVELOPMENT PLAN REVIEW:**

The Zoning Code requires approval of Revised Final Comprehensive Development Plans. Staff notes the following with regard to Zoning Code requirements:

### A. **Site Plan (Attachment 2)**

1. **Minimum Lot Requirements:** This lot is a total of 5 acres, and exceeds the 10,000 square foot minimum lot requirement.
2. **Building Setbacks/Spacing:** The code requirements for setbacks in the General Commercial District are as follows:
  - Front setback – 25'
  - Rear setback – 15'
  - Side setback – 10', or two, not less than 20' total in any combination
  - Height requirement- Not to exceed 50'

The proposed buildings meet all setback requirements. While the height of the proposed buildings was not indicated on the plan, the elevations of the addition show flush rooflines with the existing building, at a height of 42.70 feet.

3. **Parking/Access:** City code standards require 1 space per every 300 sf of floor space for retail, plus 1 space per employee and 1 space per vehicle for the warehouse. The maximum parking for this site would be 198 spaces. The applicant is providing a total of 208 spaces per this plan. Per Ch 17.196.020 H, the Planning Commission may grant a waiver to permit the additional 10 parking spaces. If the Planning Commission grants this waiver, the City is requesting additional landscaping.

Bicycle parking is not included on the plan. Code requires a minimum of 1 bicycle space, plus 1 per 5,000 square feet of gross floor area for retail establishments. The applicant is required to provide 10 bicycle spaces, to be adequately disbursed throughout the shopping center.

Parking lots will be accessed from the two existing entrances off of Naylor Mill Road.



# City of Salisbury

- 4. Refuse Disposal:** Trash collection will remain private. Any new dumpster areas indicated on the plan will be required to be screened in accordance with Ch 17.220.020 of City Code.

## **B. Building Elevations**

Proposed building elevations and color schematics are included on Sheet 3 of Attachment 2. The addition to the existing shopping center and additional retail space designs are consistent with the existing construction and façades. The warehouse will be a pole barn-style building with 2 garage bays.

## **C. Sign Plan**

A sign plan was not submitted at this time. Signage will be required to be approved by the Commission prior to integration of signs.

## **D. Landscaping Plan**

A separate landscaping plan has not been provided. Preliminary lighting and landscaping have been shown on the submitted plan. A final landscaping plan, including additional landscaping in the area of Buildings A & B to offset the increase in parking spaces shall be submitted to City staff for approval prior to development.

## **E. Development Schedule**

Construction on the addition to the existing structure and new construction for Building A is expected to begin once all approvals have been granted and applicable permits issued. A specific development schedule was not provided by the applicant; however, Building B is proposed for future construction.

## **F. Community Impact Statement**

This condition was waived with the previous approvals granted in 2006.

## **G. Statement of Intent to Proceed and Financial Capability**

This condition was waived with the previous approvals granted in 2006.



# City of Salisbury

## **H. Fire Service**

The project is subject to further review and approval by the Salisbury Fire Department.

## **I. Stormwater Management**

The applicant is required to submit a Stormwater Management Plan for review by the Salisbury Department of Infrastructure & Development. The applicant states stormwater management will be environmental site design (ESD) to the maximum extent practical (MEP). Micro-bio retention will discharge into swales that will tie into the Parsons Lake stormwater facilities.

## **J. Transportation, Streets, and Pedestrians**

Preliminary staff comments will not require the applicant to provide a Traffic Impact Study (TIS). A trip calculation will be required to determine the impacts to the intersection at N Mall Drive & E Naylor Mill Rd.

Sidewalks are indicated throughout the submitted plan and are in accordance with City standards.

## **VI. RECOMMENDATION**

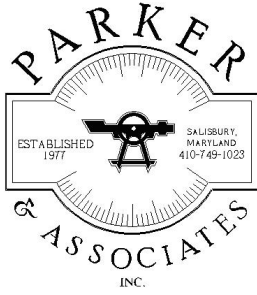
Staff recommends approval of the Revised Final Comprehensive Development Plan for Vernon Powell Shoe Company Phase II with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval and the standards set forth for shopping centers in Ch 17.212 of the Zoning Code;
2. Provide a final Landscaping and Lighting Plan with specifications, including the increase in landscaping as required by Ch 17.196.020 for approval by City Staff;
3. Submit a Sign Plan for additional signage not previously approved in 2006 that meets all standards set forth in Ch 17.216 of the Zoning Code for approval by the Planning Commission;
4. Provide a specific Development Schedule;



# City of Salisbury

5. Provide a Trip Calculation to the Department of Infrastructure & Development for future intersection improvements;
6. Include the calculated number of bicycle parking spaces as required by code;
7. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



528 RIVERSIDE DRIVE  
SALISBURY, MD 21801  
PHONE: 410-749-1023  
FAX: 410-749-1012  
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING      CIVIL ENGINEERING      •      LAND PLANNING      FORESTRY SERVICES

City of Salisbury  
Department of Infrastructure & Development  
City of Salisbury  
125 N. Division Street  
Salisbury, MD 21801

09/21/2023

Attn: Jessica Crenshaw  
Ref: Vernon Powell Phase 2

Dear Jessica,

Attached hereto, please find our proposed preliminary comprehensive development plan for Phase 2 of the Vernon Powell Shopping Center located along Naylor Mill Road in the commercial district in the City of Salisbury.

As the attached site plan shows, the developer (Eastdale Enterprises LLC) is proposing a 15,000 sf addition to the existing shopping center building, a future 9,600 sf retail space that does not have a tenant yet and a 9,600 sf warehouse. Representative elevation renderings have also been provided in this submission. Although not final, these tailored elevations have been submitted to illustrate an architectural intent. The proposed extension to the existing shopping center as well as the new future retail space will be built of the same materials of the existing shopping center. The proposed warehouse space will be of metal in a pole barn style construction. The colors of all proposed buildings will match the existing shopping center. A color pallet has been included on sheet AR-1.

Associated with the construction of this building is parking, stormwater and landscaping. The parking is per the City code for retail and warehouse spaces. The site is required to have 198 spaces and we are providing for 208. The parking lots will be accessed from two existing entrances off of Naylor Mill Road.

Both water and sewer will be from City mains along Naylor Mill Road. EDU totals for the addition and both new buildings were based off of COMAR 26.04.02.05.M of the Maryland Department of the Environment commercial guidelines for sewer usage. A total of 6 new EDU's will be required for this site. Trash will be provided in a dumpster location at the back of the building and be privately maintained.

Stormwater management will be ESD to the MEP. Meaning, all required water will be filtered for quality assurances prior to being discharged into a larger pond. The chosen methodology for treatment will be micro-bio retention. The micro-bios will then discharge into swales that tie into Parson's Lake.

Preliminary lighting and landscaping are also shown on the plan. At this point, being preliminary, most of the landscaping shown are placeholders with typical planting specifications being provided.

Additionally, I would also like to respectfully request waivers of the community impact statement, the letter of financial capability, and of intent to proceed.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

Sincerely,

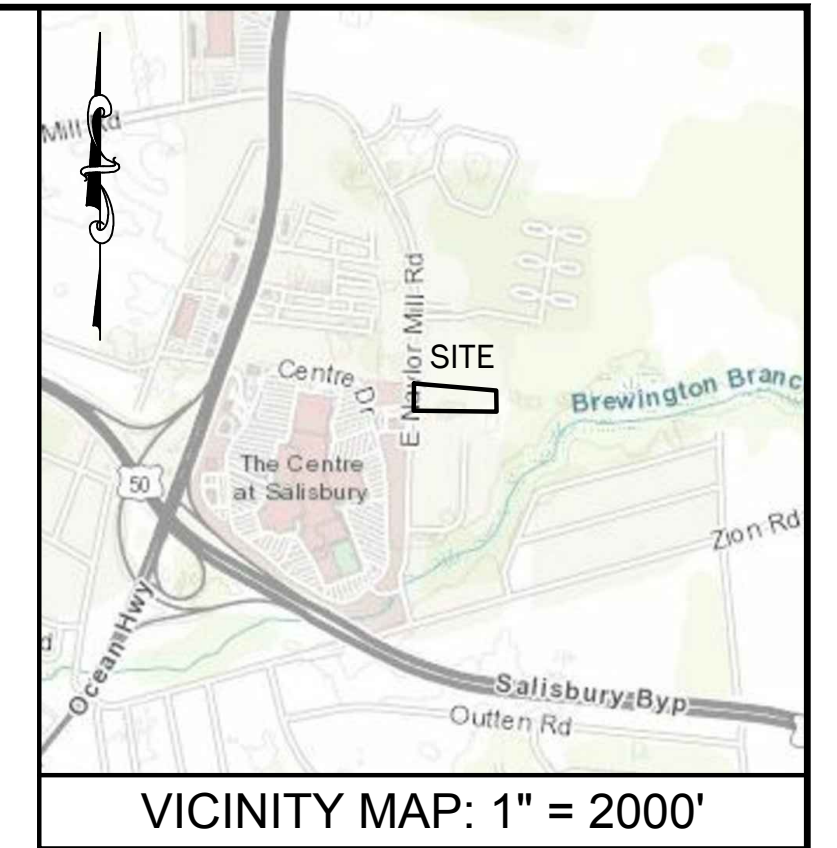
A handwritten signature in black ink, appearing to read 'BEP', with a long horizontal line extending to the right.

Brock E. Parker, PE, RLS, QP  
528 Riverside Drive  
Salisbury, MD 21801  
Phone: 410-749-1023  
Fax: 410-749-1012  
Email: [brock@parkerandassociates.org](mailto:brock@parkerandassociates.org)

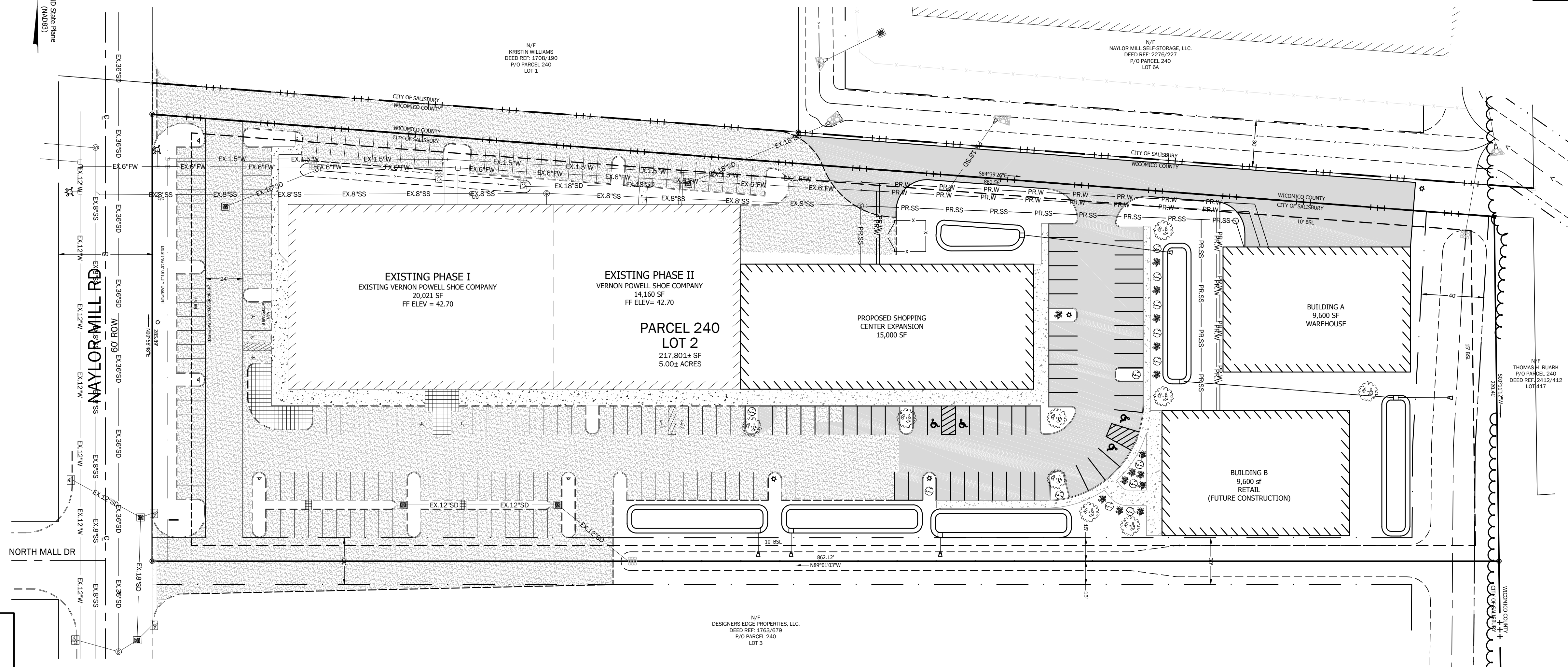


# VERNON POWELL SHOE COMPANY

## NAYLOR MILL ROAD COMPREHENSIVE DEVELOPMENT PLAN



Sheet List Table	
Sheet Number	Sheet Title
CO-1	TITLE SHEET
SP-1	SITE PLAN
AR-1	ARCHITECTURAL RENDERINGS



### GENERAL NOTES

- THE PROPERTIES SHOWN HEREON IS CURRENTLY OWNED AND BEING DEVELOPED BY:  
EASTDALE ENTERPRISES, LLC  
C/O JOE WRIGHT  
2401 EAST NAYLOR MILL ROAD  
SALISBURY, MARYLAND 21801  
PHONE: (410) 749-4561  
FAX: 410-749-8453
- PLAT REF: 11/360
- DEED REF: 1708/296
- AREA OF PROPERTY: 5.00
- TAX MAP: 119 GRID: 11 PARCEL: 240
- THE PRESENT ZONING OF THIS PROPERTY IS: COMMERCIAL
- FRONT SETBACK = 50'
- REAR SETBACK = 10' EACH  
SIDE SETBACKS = 100'
- THIS PROPERTY IS LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
- THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1. CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
- THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
- THIS PROJECT IS INTENDED TO BE SERVED BY A THOROUGH TITLE SEARCH, AND PRIVATE TRASH COLLECTION.
- ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL GRASS FACILITIES LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- THE CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY. ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS SHALL BE ALLOWED.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
- PRIVATE UTILITY MAINS REQUIRED INSPECTION BY CITY PLUMBING INSPECTOR. VERTICAL DATUM IS BASED ON NAVD88.

### LEGEND:

- PROPOSED SITE LIGHTING
- EXISTING STORM DRAIN INLET
- EXISTING CATCH BASIN
- EXISTING FLARED END SECTION
- EXISTING STORM DRAIN MANHOLE
- EXISTING HYDRANT
- EXISTING SEWER MANHOLE
- EXISTING SEWER CLEAN OUT
- PROPOSED OUTFALL STRUCTURE
- PROPOSED FLARED END SECTION
- PROPERTY LINE
- BUILDING SETBACK
- CORPORATE LIMITS LINE
- EXISTING WATER MAIN
- EXISTING SEWER LINE
- EXISTING STORM DRAIN PIPE
- PROPOSED WATER MAIN
- PROPOSED SEWER LINE
- PROPOSED STORM DRAIN PIPE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- SILT FENCE / LIMIT OF DISTURBANCE
- PROPOSED PAVING
- PROPOSED SIDEWALK

### LANDSCAPE LEGEND

SYMBOL	DESCRIPTION	COUNT
	3" SMALL DECIDUOUS FLOWERING ORNAMENTAL SPECIMEN TREE PLANTING LOCATION, TO CONSIST OF NATCHEZ CREPE MYRTLE, TUSCARORA CREPE MYRTLE, FLOWERING KWAZAZAN CHERRY, OR SIMILAR SPECIMEN TREE.	9
	KNOCKOUT ROSE - 3 GAL	13
	BAREBERRY - 3 GAL	13

### PROPOSED EDU DATA

COMMERCIAL RETAIL: 0.05 GPD PER SQ. FT.  
WAREHOUSE: 0.03 GPD PER SQ. FT.

RETAIL: 24,600 SF X .05 (PER MDE & COMAR 26.04.02.05.M) = 1,230 GPD

WAREHOUSE: 9,600 X 0.03 = 288 GPD

1,230 GPD + 288 GPD = 1,518 GPD

1,518 GPD / 250 GPD PER EDU = 6 EDUS

### PARKING TABULATION

REQUIRED PARKING SHOPPING CENTER: 1 SPACE PER EVERY 300 SF OF GROSS FLOOR SPACE  
WAREHOUSE: 1 SPACE PER EVERY EMPLOYEE, 1 PER VEHICLE MAINTAINED

TOTAL RETAIL FLOOR SPACE (ALL PHASES): 58,781 SF  
PARKING REQUIRED: 58,781/300 = 196 SPACES REQUIRED  
WAREHOUSE = 9,600 SF - 2 EMPLOYEES  
TOTAL WAREHOUSE = ( 1 EMPLOYEE, 1 VEHICLE = 1 SPACE) 2x1 = 2 SPACES REQUIRED

TOTAL PARKING REQUIRED: 198 SPACES  
TOTAL PARKING PROVIDED: 208 SPACES

### SITE DATA

LIMIT OF DISTURBANCE  
AREA OF PROPERTY: 15.00 ACRES  
LOD AREA: 22.20 ACRES

EXISTING/PROPOSED IMPERVIOUS  
EXISTING IMPERVIOUS: 2.55 ACRES  
PROPOSED TOTAL IMPERVIOUS: 3.51 ACRES

### OWNER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN. DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL (SETTING OF WATER METER) TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN, AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

*Joe Wright* DATE: 08/21/23  
EASTDALE ENTERPRISES LLC  
2401 E NAYLOR MILL ROAD  
SALISBURY, MD 21804  
PHONE: 410-749-4561  
EMAIL: JOW

### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21739 - EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21193 - EXPIRATION DATE: JANUARY 25, 2024.

*Brock E. Parker* DATE: 08/21/23  
BROCK E. PARKER P.E., R.L.S.  
528 RIVERSIDE DRIVE  
SALISBURY, MARYLAND 21801  
PHONE: (410) 749-1023 FAX: (410) 749-1012  
EMAIL: brock@parkerandassociates.org

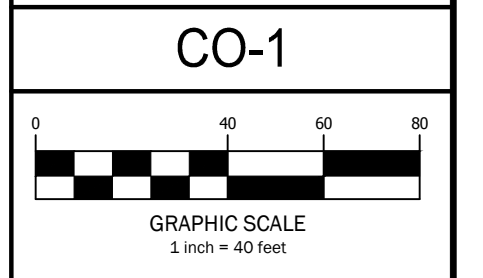
PLAN APPROVED BY WICOMICO SOIL CONSERVATION DISTRICT

TRICK GLASGOW SUPERVISOR DATE

APPROVED: CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT  
RICHARD D. BALDWIN DIRECTOR

CITY PROJECT # \_\_\_\_\_  
UTILITY CONTRACT # \_\_\_\_\_

DATE \_\_\_\_\_ DATE



REVISIONS	DATE	BY	NO.

COMPREHENSIVE DEVELOPMENT PLAN

TITLE SHEET

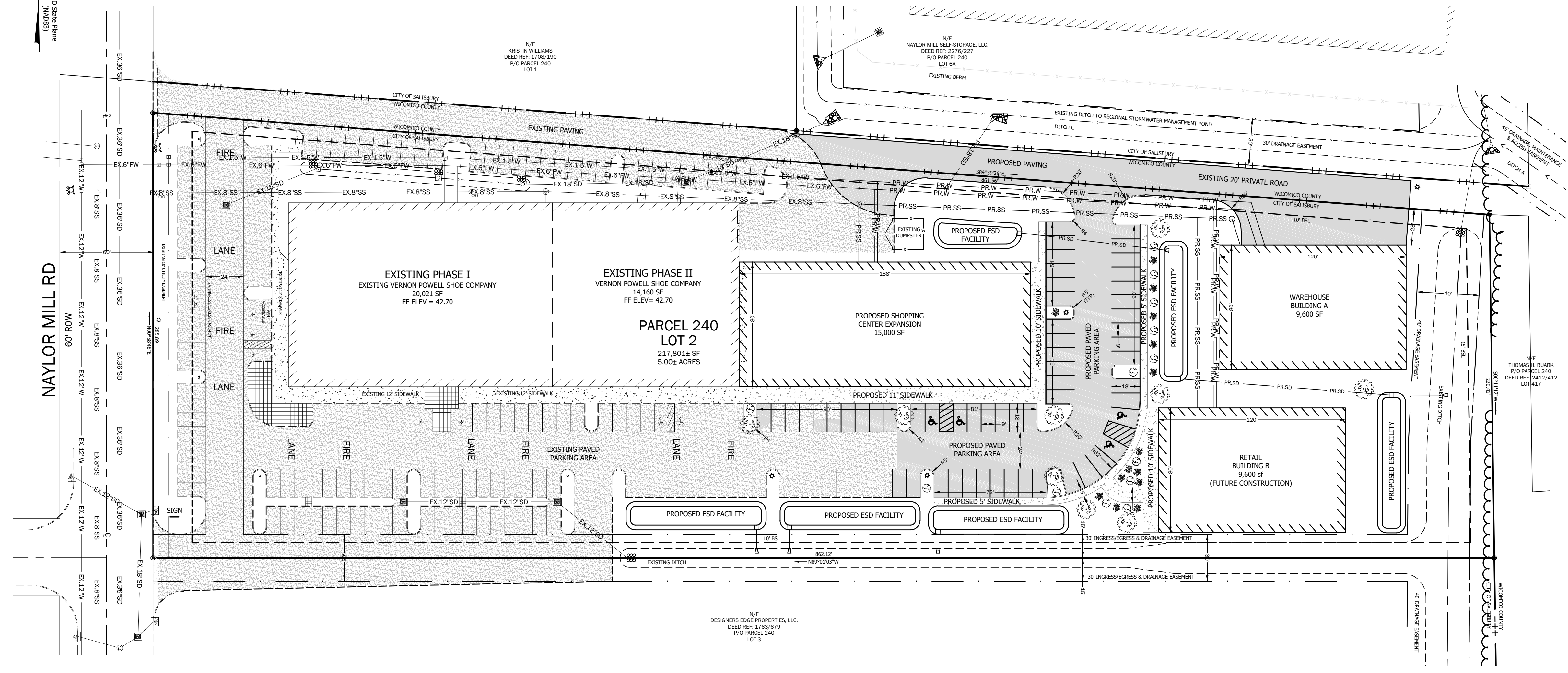
VERNON POWELL SHOE COMPANY

ROAD NAME: NAYLOR MILL ROAD  
FOR: PHIL WRIGHT  
PARSONS ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

DATE: 08/21/23  
DRAWN BY: RBA  
SCALE: 1" = 40'  
SHEET NO. 11 OF 11  
PARCEL: P/O 240







SP-1

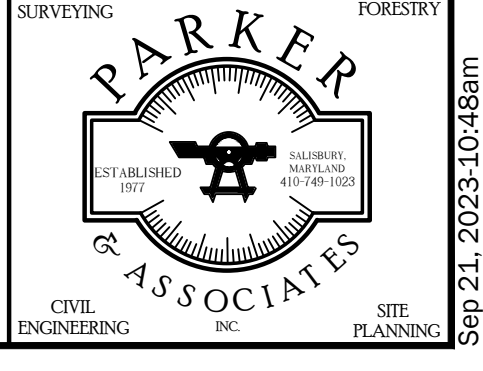
GRAPHIC SCALE  
1 inch = 40 feet

REVISIONS	DATE	BY

**SITE PLAN**  
**VERNON POWELL SHOE COMPANY**

ROAD NAME: NAYLOR MILL ROAD  
FOR: PHIL WRIGHT  
PARSONS ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

SCALE: 1" = 40'  
DATE: 08/21/23  
DRAWN: RBA  
CHKD: P/O 240



Sep 21, 2023 10:48am





EXISTING VERNON POWELL SHOE COMPANY BUILDINGS AND PROPOSED SHOPPING CENTER EXPANSION  
NOT TO SCALE



EXISTING VERNON POWELL SHOE COMPANY BUILDINGS AND PROPOSED SHOPPING CENTER EXPANSION  
NOT TO SCALE



PROPOSED SHOPPING CENTER EXPANSION AND FUTURE RETAIL CONSTRUCTION  
NOT TO SCALE



PROPOSED WAREHOUSE  
NOT TO SCALE



PROPOSED WAREHOUSE COLORS  
NOT TO SCALE  
(SELECTED COLORS TO BEST MATCH EXISTING AND PROPOSED SHOPPING CENTER)



AR-1

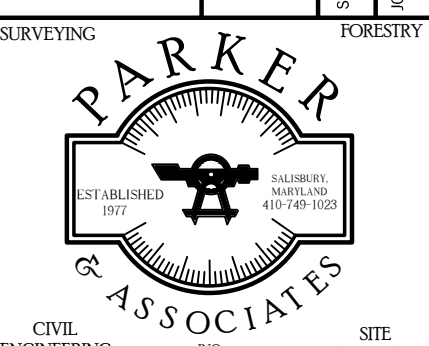
NOT TO SCALE

REVISIONS	DATE	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN

ARCHITECTURAL RENDERINGS  
VERNON POWELL SHOE COMPANY

ROAD NAME/ANR MILL ROAD  
FOR: PHIL WRIGHT  
PARSONS ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND  
DATE: 08/27/23  
DRAWN BY: RBA  
SCALE: NTS  
JOB NO.: 230805 TELEPHONE: 410-326-1111  
SHEET: 11  
P/O: 240



SEP 21, 2023 10:58am





## Infrastructure and Development Staff Report December 21, 2023

### I. BACKGROUND INFORMATION:

Project Name: Westwood Commerce Park North 50  
Applicant/Owner: Parker & Associates Inc. for St. John Properties  
Case No.: 202301507  
Nature of Request: Preliminary Comprehensive Development Plan and Paleochannel Approval  
Location of Property: Southeast Corner of N. West Road and Naylor Mill Road  
Map: 0029; Grid: 0007; Parcel: 0091  
Existing Zoning: Planned Development District #2 – Westwood Commerce Park

Parker and Associates, on behalf of the owner, has submitted a request for the construction of eight (8) flex/R&D buildings and two (2) retail-type buildings with drive-thru windows, located at the southeast corner of N. West Road and Naylor Mill Road. For definition purposes and compliance with the City's Zoning Code, Staff has determined the proposed development as a "Multi-Use Facility," which is defined as follows: *Multi-use facility" means two or more similar or different uses on a lot or parcel that are conducted in physically separate areas and permitted inherently or otherwise in the district in which located, provided that the lot or parcel and improvements thereon satisfy the total parking, lot area and other requirements of the uses; the facility shall not be deemed to be a shopping center if the total floor area of the uses in which the principal activity is on-site retail sales does not exceed one-third of the gross floor area of the entire facility.*

### II. DISCUSSION:

The applicants propose to construct eight (8) single-story flex/R&D buildings ranging from 26,320 sq. ft. to 48,120 sq. ft. on the 36.17 acre lot. Two (2) 8,125 sq. ft. retail-type buildings with drive-thru windows are also proposed. Onsite delivery vehicle storage and employee parking is also proposed for the site. **(Attachments 1 - 3)**

### III. APPROVAL HISTORY:

Westwood Commerce Park has an extensive history dating back to 2007, but this site has not had any prior approvals, and is unimproved. **(Attachment 2)**

#### IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:

##### A. Site Plan

1. **Parking/Streets:** The developer has proposed parking to be provided at one (1) space for every 350 sq. ft. of floor area, which are the standards for a mixed-use building, as there are no parking standards for a multi-use facility. This calculation results in 934 required spaces, whereas 936 spaces, including 35 van accessible spaces are proposed. The Planning Commission may permit up to a 20% increase in total parking, with the inclusion of additional landscaping. Loading spaces are shown at the rear of the buildings, and are compliant with Zoning Code standards. The site plan indicates that 40 bicycle parking spaces are provided throughout the site. An additional two (2) spaces are required at each retail-type building. **(Attachments 3 & 4)**

Multiple access points to the site will be available along both Naylor Mill Road and N. West Road.

2. **Refuse Disposal:** Code requires refuse disposal areas to be screened on three (3) sides. No dumpster areas are shown on the submitted site plan.
3. **Building Setbacks/Spacing:** The proposed buildings meet or exceeds all setback standards. **(Attachments 3 & 4)**
4. **Height:** The building height will average approximately 20 ft. in height, with parapets extending up to 23.5 ft. in height, which is well below the maximum allowable building height of 50 ft. **(Attachments 5 - 8)**
5. **Streets/Sidewalks/Streetlights:** Sidewalks are not shown along both street frontages but are expected to be provided per City standards. Collector streetlights are required along the Naylor Mill Road frontage.

##### B. Building Elevations

Building elevations indicate the flex buildings will consist of brick veneer with concrete piers interspersed throughout the buildings. Glass storefronts and windows will be provided on the front and ends of each building. The retail-type buildings will consist of brick veneer, dryvit, and awnings over 10 ft. tall glass storefronts. Specific colors have not been provided at this time. **(Attachments 5 - 8)**



# City of Salisbury

## **C. Sign Plan**

A Preliminary Sign Plan has been submitted, and indicates that two (2) freestanding business park signs are proposed; one (1) along a Naylor Mill Road entrance, and another at the N. West Road cul-de-sac. A third freestanding address sign is proposed at the N. West Road entrance. No details were submitted regarding building signs. A Final Sign Plan shall be approved prior to the installation of any signs. **(Attachment 9)**

## **D. Landscaping Plan**

Deciduous shade trees are proposed for parking lot islands, as required by the Zoning Code. Additional ornamental landscaping has been provided as required for the proposed parking increase. More detailed landscaping plans will be provided at the Final Comprehensive Development Plan review. **(Attachment 10)**

## **E. Development Schedule**

A development/phasing schedule was not provided.

## **F. Community Impact Statement**

A Community Impact Statement was not provided, but will be expected for the Final Comprehensive Development Plan.

## **G. Statement of Intent to Proceed and Financial Capability**

Statements of Intent to Proceed and Financial Capability were not provided, but will be expected for the Final Comprehensive Development Plan.

## **H. Fire Service**

The project is subject to further review by the Salisbury Fire Department.

## **I. Stormwater Management**

The Stormwater Management Plan will be reviewed by the Salisbury Department of Infrastructure & Development.



#### **J. Forest Conservation Program**

Forest Conservation Program requirements will be met prior to issuance of building permits.

#### **K. Traffic**

A Traffic Impact Study is required and should be combined with other nearby projects.

#### **L. Paleochannel Protection District**

The site is located within the Paleochannel Protection District. The expected uses typically have only minimal amounts of hazardous materials stored on site. Additionally, the proposed sitework will be compliant with the City's stormwater management regulations, and should not pose a threat to the environment.

### **V. PLANNING COMMENTS**

Staff finds the proposed development consistent with the purpose of Westwood Commerce Park, and compatible with the existing uses in the park. The final site plan should include added bicycle parking at the retail buildings. Screened dumpster locations should also be identified on the site plan.

### **VI. RECOMMENDATION**

Staff recommends approval of the Preliminary Comprehensive Development Plan and Paleochannel Protection District approval for the Westwood Distribution Center, with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. The final site/landscaping plan shall display dumpster locations and screening.
3. Provide a minimum of two (2) bicycle parking spaces at each retail building.
4. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits;



# City of Salisbury

5. Provide a Development Schedule, Community Impact Statement, and Statements of Intent to Proceed and Financial Capability; and
6. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



PLANNING COMMISSION SUBMITTAL

RECEIVED  
NOV 06 2023  
CITY OF SALISBURY D.J.D.

#23-034

November 2, 2023

City of Salisbury  
PLANNING AND ZONING COMMISSION  
Govt. Bldg., 3rd Floor, Council Chambers  
125 N Division Street  
Salisbury, MD 21801

To Whom It May Concern,

This letter is to provide a project narrative for the Preliminary Comprehensive Development Plan application for St. John Properties' proposed construction within Westwood Commerce Park.

With this application, St. John Properties (SJP) proposes to construct eight (8) Flex/R&D buildings and two (2) Drive-Thru Retail buildings within the Westwood Commerce Park on Parcel 91. SJP has been developing and constructing Flex/R&D and Retail buildings in the greater Baltimore metropolitan area for over 50 years, and have begun over the past 20 years to expand into other markets outside of Baltimore. At the time of this letter, SJP owns and operates almost 24 million square feet of commercial space throughout the United States, with a vast majority of that space being Flex/R&D.

Flex/R&D buildings are a remarkable hybrid solution providing space for a wide array of commercial tenants. SJP constructs the shell of the building and then works with each tenant to build out a space customized for their specific needs. Some tenants in SJP buildings are light manufacturing/assembly type uses, where the finished space would only include 1-2 offices and a restroom. Other SJP tenants require full office buildouts. The Flex/R&D can be tenanted and re-tenanted as the market demands, without constructing new buildings or additions.

The Drive-thru inline Retail buildings are an excellent complement to the Flex/R&D buildings in larger parks. The tenants of these buildings are typically those service-oriented business that support the employees of the Flex/R&D and surrounding areas. Restaurants, Salons, and Coffee Shops are a few of the many tenants in our inline retail buildings.

This application is requesting approval to construct eight (8) flex buildings totaling 310,600 sf and two (2) retail buildings totaling 16,250 sf, for a combined total of 326,850 sf. The application also proposes the construction of all of the requisite parking, drive-aisle, stormwater management, landscape, and lighting improvements commensurate with a development of this scope.

We appreciate your time and attention in reviewing this matter and look forward to adding to both your employment and tax base.

Thank you,

Andrew Roud  
Regional Partner

2560 Lord Baltimore Dr      Ofc 410 788 0100  
Baltimore MD 21244      Fax 410 788 0851

www.sjpi.com







023

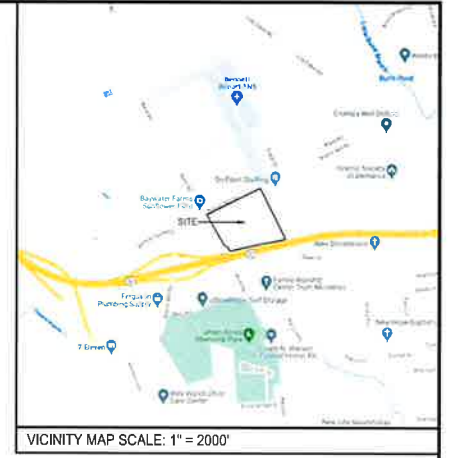
Attachment 2



# WESTWOOD COMMERCE PARK NORTH 50

## CITY OF SALISBURY PROJECT #

### COMPREHENSIVE DEVELOPMENT PLAN



#### GENERAL NOTES

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY WESTWOOD DEVELOPMENT LLC C/O COLLEEN HAZEL 3134 FRED ADAMS RD PARSONSBURG MD 21849
- THE PROPERTY SHOWN HEREON IS CURRENTLY BEING DEVELOPED BY ST JOHN PROPERTIES INC C/O MATTHEW DESTINO 2560 LORD BALTIMORE DRIVE WINDSOR MILL MD 21244 443 464 1316 mdestino@sjpi.com
- PARCEL 91 (MAP 29) DEED REF 1731/465 36.17 ACRES
- PRESENT ZONING OF THIS PROPERTY PLANNED DEVELOPMENT DISTRICT #2 WESTWOOD COMMERCE PARK
- FRONT MINIMUM SETBACK 20'
- REAR MINIMUM SETBACK 15'
- SIDE SETBACKS 10' (TWO REQUIRED)
- MINIMUM LOT SIZE 1.5 ACRES
- MAXIMUM BUILDING HEIGHT 50'
- THESE PROPERTIES ARE LOCATED WITHIN G P R MANAGEMENT ZONE A
- THE CURRENT WICOMICO COUNTY WASTEWATER PLAN SERVICE CATEGORY W 1/2 S 1 CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS EXISTING FACILITIES OR STRUCTURES DIFFER FROM THAT SHOWN HEREON CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410 749 1023
- THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENGINEER'S RESTRICTIONS EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH
- THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER PUBLIC WATER AND PRIVATE TRASH COLLECTION
- ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE FINISH GRADES ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS
- CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION SIDEWALKS DRAINAGE OR OTHER SUCH PUBLIC USE WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION NO STRUCTURAL IMPROVEMENTS TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY
- ALL NON CITY UTILITIES SUCH AS BUT NOT LIMITED TO ELECTRIC TELEPHONE GAS AND C A T V SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS PERPENDICULAR CROSSINGS WILL BE ALLOWED
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS
- PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR
- VERTICAL DATUM IS BASED ON NAVD83

#### LAND USE SUMMARY

SITE AREA	36.17 AC
PROPOSED BREAKDOWN	
BUILDING	336 850 SF
PAVING	686 343 SF
CONCRETE	65 137 SF
TOTAL	
IMPERVIOUS	24.15 AC
PERCENT IMP	66.4%

#### PARKING TABULATION

SHOPPING CENTER 1 PARKING SPACE PER 250 SF	
MIXED USE BUILDINGS 1 PARKING SPACE PER 350 SF	
16 250/250 = 65	
310 600/350 = 888	
TOTAL = 953 MAX	
916 SPACES PROVIDED INCLUDING 35 ADA ACCESSIBLE SPACES	
(ADA CALCULATIONS BASED ON 2010 ACCESSIBILITY GUIDELINES AND STANDARDS AS APPLIED TO EACH INDIVIDUAL PARKING STRUCTURE/LOT)	

#### ESTIMATED WATER & SEWER USAGE

CALCULATIONS BASED ON OFFICE SPACE	
GROSS AREA X 0.09 = GPD	1 EDU = 290 GPD
PROJECT USAGE	326 600 X 0.09 = 29 394 GPD
	29 394 / 250 = 118 EDU

#### LIST OF CITY STANDARDS USED

STANDARD INSTALLATION FIRE HYDRANT	STD NO 300 55
STANDARD CURB AND GUTTER	STD NO 309 11A

#### LEGEND:

	WATER METER
	BIKE RACK
	SITE LIGHTING
	DUMPSTER
	EXISTING SEWER MANHOLE
	TELEPHONE/COMMUNICATIONS PEDESTAL
	EXISTING UTILITY POLE
	ACCESSIBLE PARKING AND ACCESS WAY
	PROPERTY LINE
	BUILDING SETBACK
	EXISTING CURB
	PROPOSED CURB
	EDGE OF PAVEMENT
	PROPOSED PARKING STRIPE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND ELECTRIC
	SIDEWALK/CONCRETE
	ASPHALT/PAVEMENT
	EXISTING ROADWAY
	PROPOSED BUILDING FOOTPRINT

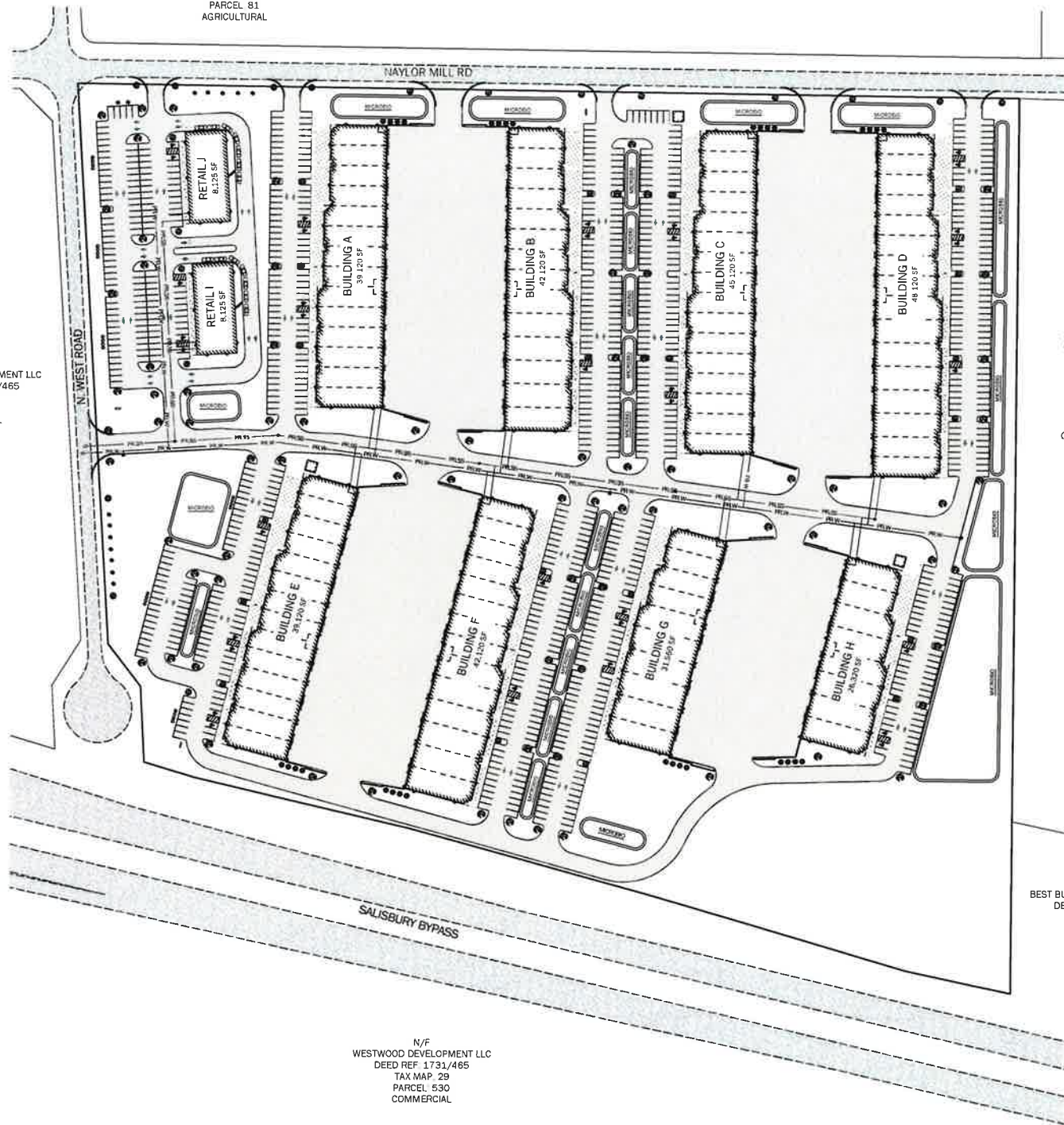
N/F  
MT HERMON RD SALISBURY MD LLC  
DEED REF 4705/398  
TAX MAP 29  
PARCEL 81  
AGRICULTURAL

N/F  
WESTWOOD DEVELOPMENT LLC  
DEED REF 1731/465  
TAX MAP 28  
PARCEL 271  
COMMERCIAL

N/F  
WESTWOOD DEVELOPMENT LLC  
DEED REF 1731/465  
TAX MAP 29  
PARCEL 530  
COMMERCIAL

N/F  
DONTÉ T WARD  
GARY T WARD SR & ETAL  
DEED REF 3193/370  
TAX MAP 29  
PARCEL 92  
RESIDENTIAL

N/F  
BEST BUDD MULTI SERVICES LLC  
DEED REF 4969/341  
TAX MAP 29  
PARCEL 374  
RESIDENTIAL



#### SHEET LIST

TITLE SHEET	SHEET 1
SITE PLAN	SHEET 2
LANDSCAPE & LIGHTING PLAN	SHEET 3
SIGNAGE DETAIL SHEET	SHEET 4
ARCHITECTURAL FLEX ELEVATIONS	A-1
ARCHITECTURAL FLEX ELEVATIONS	A-2
ARCHITECTURAL RETAIL ELEVATIONS	A-3
ARCHITECTURAL RETAIL ELEVATIONS	A-4

**DEVELOPER'S CERTIFICATION**  
HEREBY CERTIFY THAT THESE DOCUMENTS AND CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS A DEVELOPER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSEMINATION OF FLOW, MIN DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL, SETTING OF WATER METERS TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS SEALED BY A PROFESSIONAL LAND SURVEYOR OR PROPERTY LINE SURVEYOR OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

ST JOHN PROPERTIES DATE  
C/O MATTHEW DESTINO  
2560 LORD BALTIMORE DRIVE  
WINDSOR MILL, MD 21244  
443-464-1316  
mdestino@sjpi.com

**PROFESSIONAL CERTIFICATION**  
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21739, EXPIRATION DATE JULY 24, 2024 AND A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21823, EXPIRATION DATE JANUARY 25, 2024.

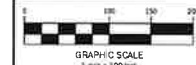
BIRD & PARKER P.E. & S.  
508 HIGHLAND DRIVE  
SALISBURY, MARYLAND 21801  
PHONE: (410) 749-1023 FAX: (410) 749-1012  
EMAIL: BIRD@PARKERANDASSOCIATES.ORG

APPROVED CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT  
Renard D Baldwin Director DATE

CITY PROJECT # UTILITY CONTRACT # DATE



SHEET 1



REVISIONS	DATE	BY	CDP FILE

**COMPREHENSIVE DEVELOPMENT PLAN**

**TITLE SHEET**

**WESTWOOD COMMERCE PARK - NORTH 50**

Road Name: Naylor Mill Rd, West Rd, Salisbury Bypass  
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND  
1" = 100'  
DATE: 10/30/23  
DRAWN: EAL  
CHECKED: JAL  
DATE: 10/30/23

**PARKER**

3-103109m





N/F  
MT HERMON RD SALISBURY MD LLC  
DEED REF. 4705/398  
TAX MAP 29  
PARCEL: 81  
AGRICULTURAL

N/F  
WESTWOOD DEVELOPMENT LLC  
DEED REF. 1731/465  
TAX MAP 28  
PARCEL: 271  
COMMERCIAL

N/F  
DONTÉ T WARD SR & ETAL  
DEED REF. 3193/370  
TAX MAP 29  
PARCEL: 92  
RESIDENTIAL

N/F  
BEST BUDD MULTI SERVICES LLC  
DEED REF. 4969/341  
TAX MAP 29  
PARCEL: 374  
RESIDENTIAL



SHEET 2



REVISIONS	DATE	BY	CHK.	CDP Site

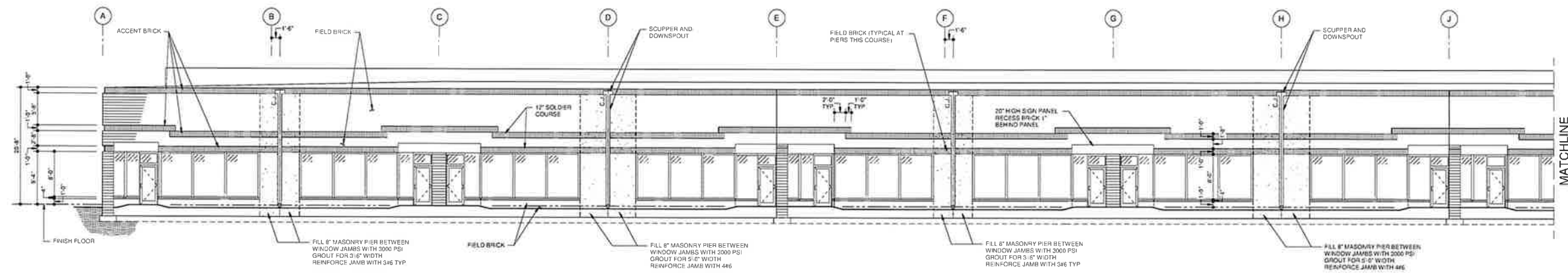
COMPREHENSIVE DEVELOPMENT PLAN

**SITE PLAN**  
**WESTWOOD COMMERCE PARK - NORTH 50**

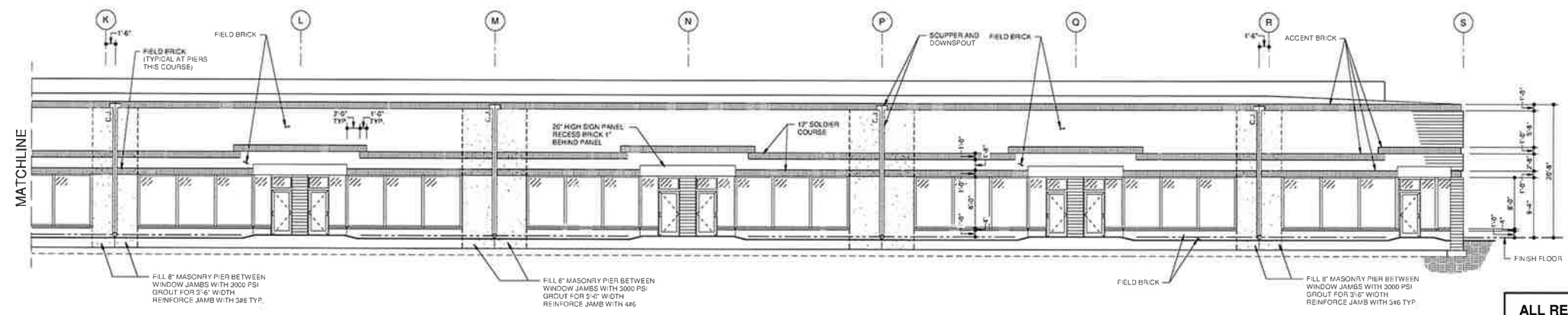
Road Name: Naylor Mill Rd, West Rd, Salisbury Bypass  
For: St Johns Properties, Inc.  
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND  
1" = 60'  
DATE: 10/20/23  
SCALE: EAL  
PARCEL: 29  
SHEET: 7  
TOTAL SHEETS: 91





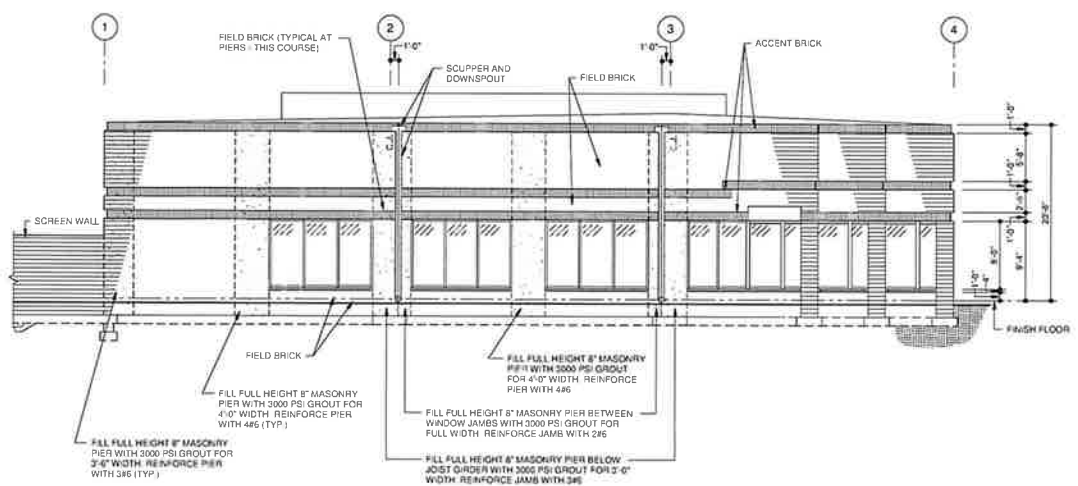


FRONT ELEVATION

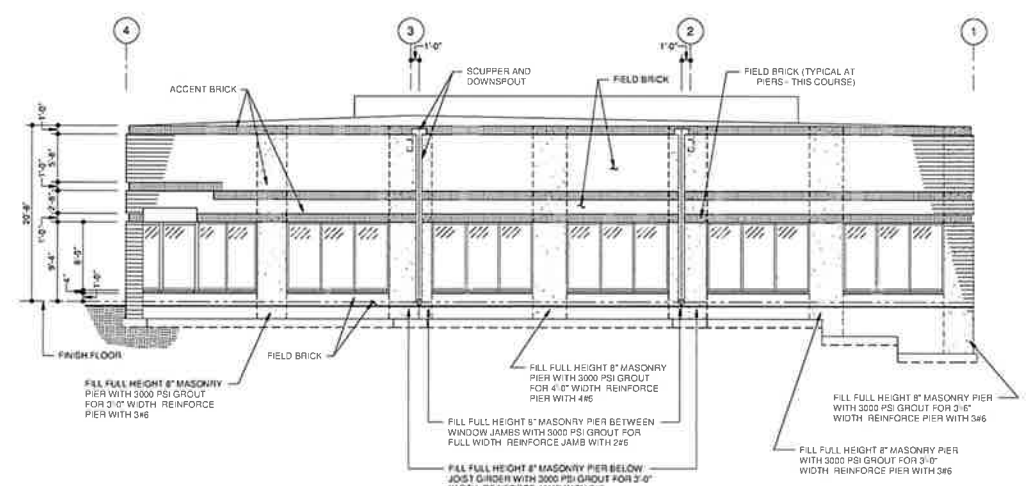


FRONT ELEVATION

ALL REINFORCING BARS IN  
BLOCK WALLS SHALL EXTEND  
FROM TOP OF FOOTING TO  
TOP OF WALL. LAP SPLICE  
ALL BARS 36" MINIMUM.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Seal:

Professional Certification - (Seal) (Seal) (Seal)  
Baltimore, MD 21202-1472  
www.stjohnsproperties.com

**ST. JOHN'S**  
PROPERTIES  
2560 LORD BALTIMORE DRIVE  
BALTIMORE, MD 21244  
410-788-0100

**PENZA+BAILEY**  
ARCHITECTS  
401 Woodbourne Avenue  
Baltimore, Maryland 21212  
410-433-6677 | 410-433-6568  
www.penzaandbailey.com

**morabito**  
consultants  
10000 Regency Park Way, Suite 400  
Baltimore, MD 21287  
410-528-2277 | www.morabitoconsultants.com  
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No.	Date	Revisions

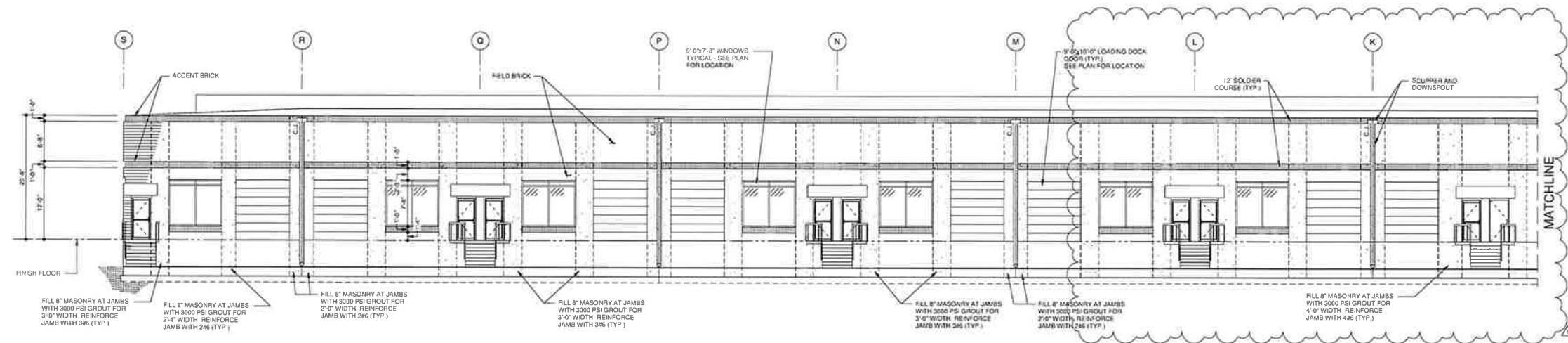
DESIGNED: KAP DRAWN: KAP  
CHECKED: JAM APPROVED: JAM

Project No.: 21028  
Date: 02-19-21

Scale: 1/8" = 1'-0"

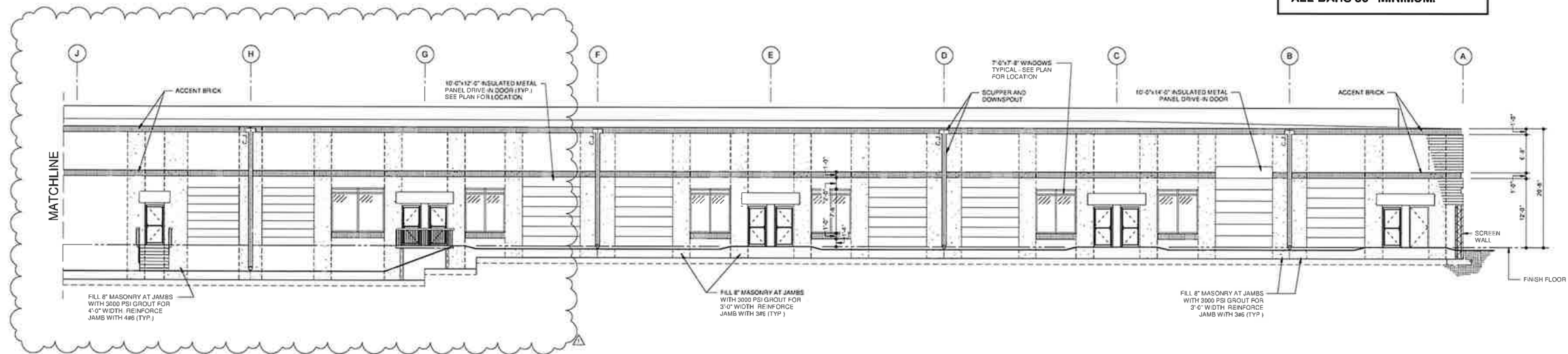
Sheet Title:

Sheet No.:



REAR ELEVATION

ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL. LAP SPLICE ALL BARS 36" MINIMUM.



REAR ELEVATION

Soat:

Professional Seal for use: (Professional Seal) - None  
 This document is not to be used for any other project without the written consent of the architect.  
 License No. 22863  
 Expiration Date: 03/31/2022

**ST. JOHN**  
 PROPERTIES

2560 LORD BALTIMORE DRIVE  
 BALTIMORE, MD 21244  
 410-784-9100

**PENZA+BAILEY**  
 ARCHITECTS  
 401 Woodbourne Avenue  
 Baltimore, Maryland 21212  
 T 410-435-8677 | F 410-435-6568  
 www.penzabailey.com

**morabito**  
 consultants

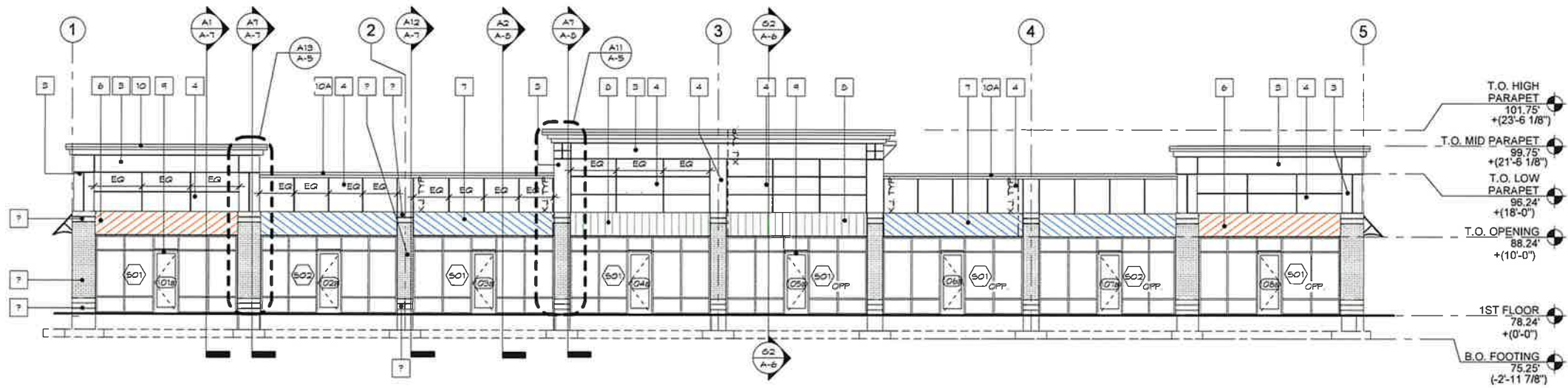
Structural Engineers / Parking Consultants  
 4328 Spingrove Hill Drive  
 Sparks, MD 21152-9475  
 410-432-2777 | www.morabitoconsultants.com  
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No.	Date	Revisions
1	2-2-22	LOADING DOCK SHIFT

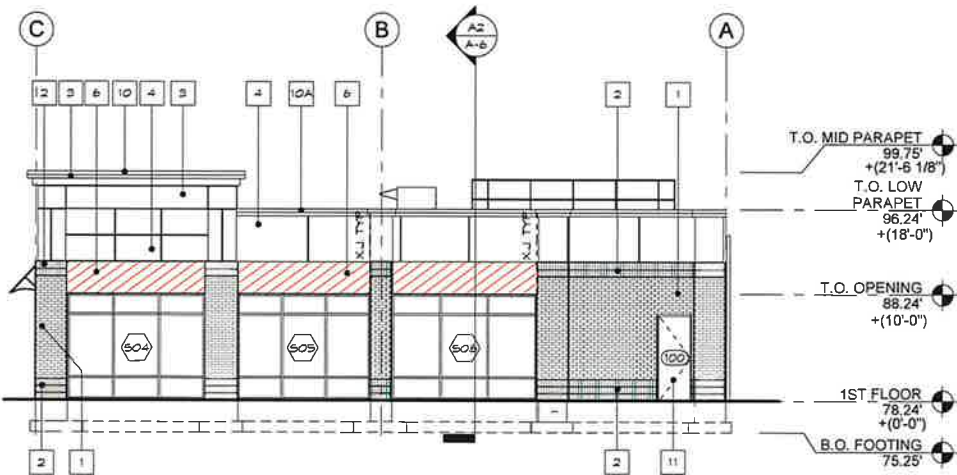
DESIGNED: KAP DRAWN: KAP  
 CHECKED: JAM APPROVED: JAM

Project No.: 21028  
 Date: 02-19-21  
 Scale: 1/8" = 1'-0"  
 Sheet Title:

Sheet No.:  
**A-2**



**H3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0" A-2



**B3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" A-2

**EXTERIOR MATERIAL SCHEDULE**

ITEM NUMBER	DESCRIPTION	ITEM NUMBER	DESCRIPTION
1	MANUFACTURER : MATSON TOWN DESCRIPTION : 'CLOSURE' 3'-5/8" x 3'-5/8" x 1'-5/8" FACEBRICK FINISH : COLOR: LATROBE KT, MORTAR ARGOS CORDOVA TAN	6	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100% SOLUTION DYED FIRE RESIST AWNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME W/ POWDER COATING FINISH : COLOR: TBD
2	MANUFACTURER : MATSON TOWN DESCRIPTION : 'CLOSURE' 3'-5/8" x 3'-5/8" x 1'-5/8" SOLDIER COURSE FINISH : COLOR: MANHASSET KT, MORTAR ARGOS PECAN	4	MANUFACTURER : YKK DESCRIPTION : YES 45 TV STOREFRONT SYSTEM FINISH : BLACK CAULK: TREMCO SPECTREM 4T5 'BLACK'
3	MANUFACTURER : DRYVIT DESCRIPTION : EIFS FINISH : COLOR: #456 OYSTER SHELL, TEXTURE- SANDPEBBLE NT	10	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: STONE WHITE
4	MANUFACTURER : DRYVIT DESCRIPTION : EIFS FINISH : COLOR: #110 VAN DYKE, TEXTURE- SANDPEBBLE NT	10A	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: TBD
5	MANUFACTURER : NOT USED DESCRIPTION : FINISH :	10B	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: TBD
6	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100% SOLUTION DYED FIRE RESIST AWNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME W/ POWDER COATING FINISH : COLOR: TBD	11	MANUFACTURER : SHERWIN WILLIAMS DESCRIPTION : DOOR AND TRIM PAINTED TO MATCH ADJACENT FINISH : COLOR: TBD
7	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100% SOLUTION DYED FIRE RESIST AWNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME W/ POWDER COATING FINISH : COLOR: TBD	12	MANUFACTURER : TBD DESCRIPTION : PRE-FINISHED METAL THRU-WALL SCUPPER AND DOWNSPOUT FINISH : COLOR: TBD

NOTE 1 FINISH MATERIAL MOCK-UP PANEL TO BE ERECTED ON SITE PRIOR TO FINAL SELECTION OR ORDERING OF MATERIALS.  
2 MINIMUM 4 X 12 COLOR DRAWN- DOWNS TO BE SUPPLIED FOR ALL COATINGS, INCL EIFS

**BRASHER DESIGN**  
ARCHITECTURE DESIGN PLANNING INTERIORS  
5664 BRASSETT PI, SUITE 100, COLLEGE PARK, MARYLAND 21044  
410.985.9151 MO 301.871.8330 DC 410.855.0339 FX  
email: brasher.design@gmail.com

REV. NO.	DATE	DESCRIPTION
09/05/2021	15% SET	
09/21/2021	ISSUED FOR PERMIT	

PROJECT NAME  
for  
**ST. JOHN PROPERTIES**

SHEET TITLE	PROJECT NUMBER	FIRST RELEASE DATE	SHEET NUMBER
<b>ELEVATIONS</b>	<b>20-163</b>	05-05-2021	



REV. NO.	DATE	DESCRIPTION
05/05/2021	15% SET	
09/21/2021	ISSUED FOR PERMIT	

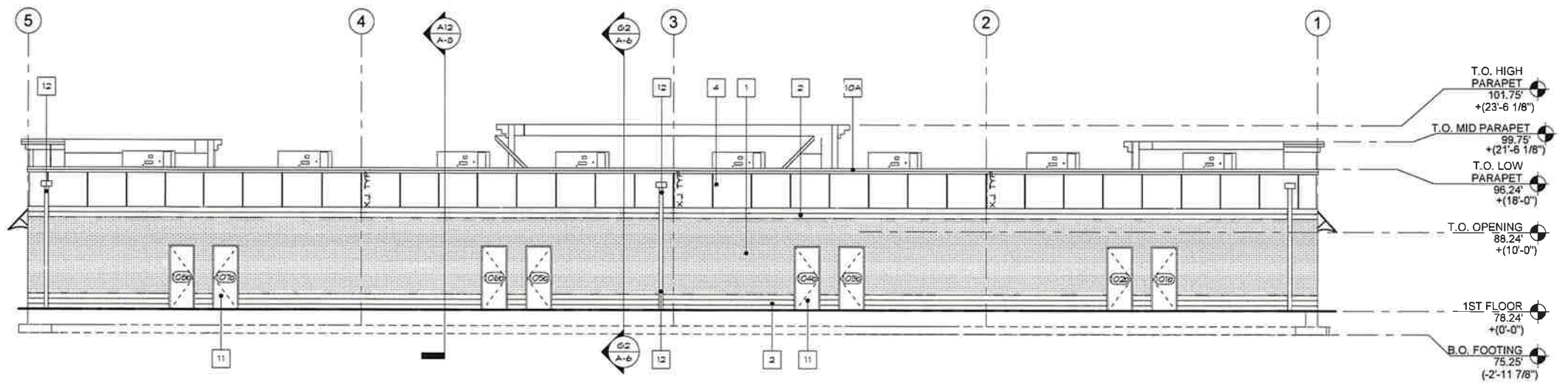
PROJECT NAME  
 for  
**ST. JOHN PROPERTIES**

SEAL

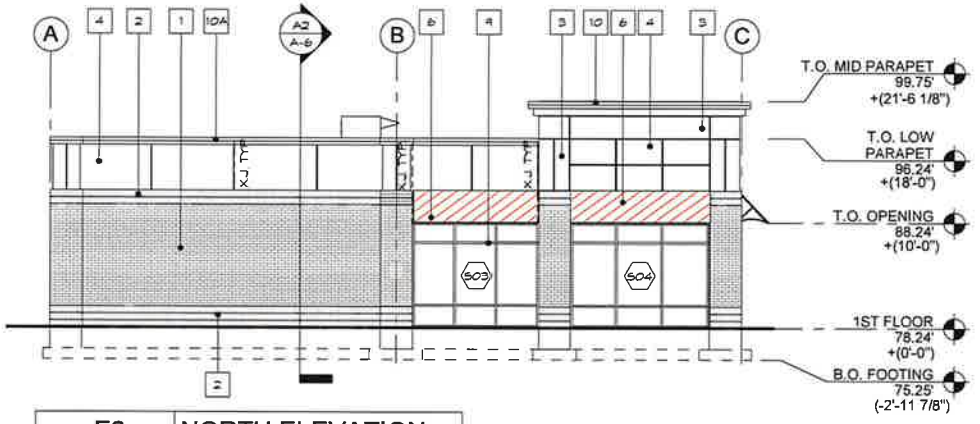
SHEET TITLE  
**ELEVATIONS**

PROJECT NUMBER  
**20-163**  
 FIRST RELEASE DATE  
 05-05-2021  
 SHEET NUMBER

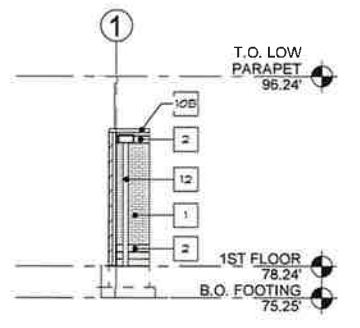
**A-4**



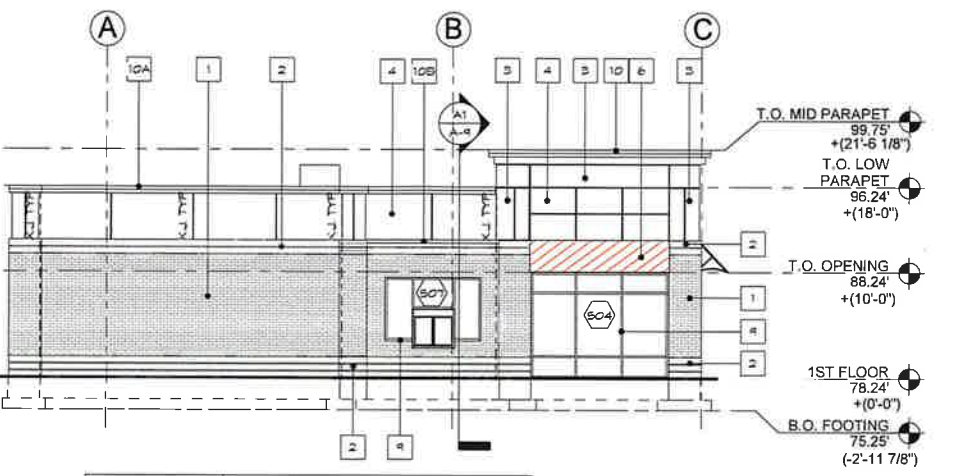
**J4 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0" A-2



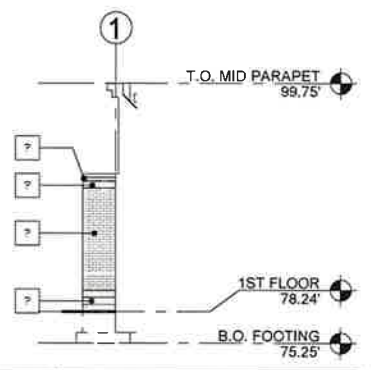
**E2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0" A-2



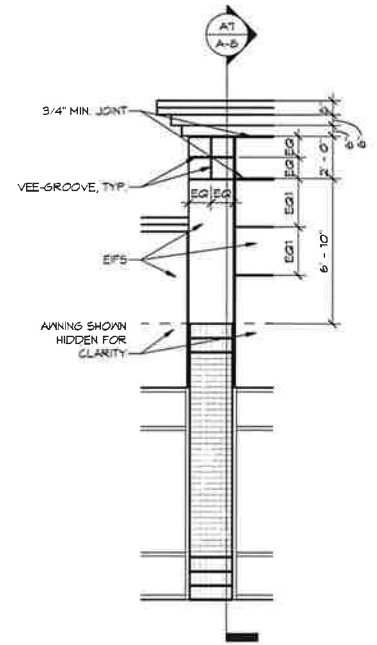
**E7 DRIVE-THRU EAST ELEVATION**  
 SCALE: 1/8" = 1'-0" A-2 A1



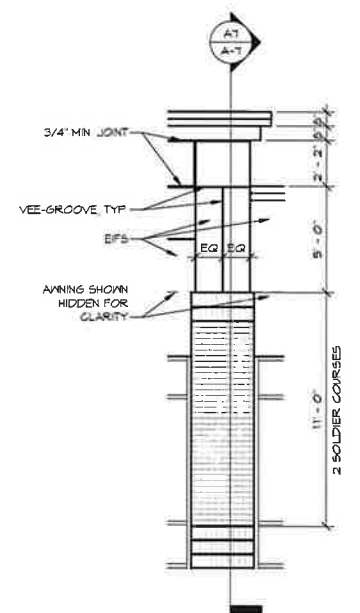
**A2 ALTERNATIVE NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0" A-2 A1



**A7 DRIVE-THRU WEST ELEVATION**  
 SCALE: 1/8" = 1'-0" A-2 A1




**A11 PIER ELEV. AT HIGH TOWER**  
 SCALE: 1/4" = 1'-0" A-4 H3



**A13 PIER ELEV. AT LOW TOWER**  
 SCALE: 1/4" = 1'-0" A-4 H3



1 Typical Signs  
Scale: 1/4" = 1'-0"




**SHEET 4**

NOT TO SCALE

REV	DATE	BY	CHK

DATE: 10/30/23  
DRAWN BY: EAL  
CHECKED BY: EAL  
SCALE: NTS  
PROJECT: WESTWOOD COMMERCE PARK - NORTH 50  
SHEET NO.: 91

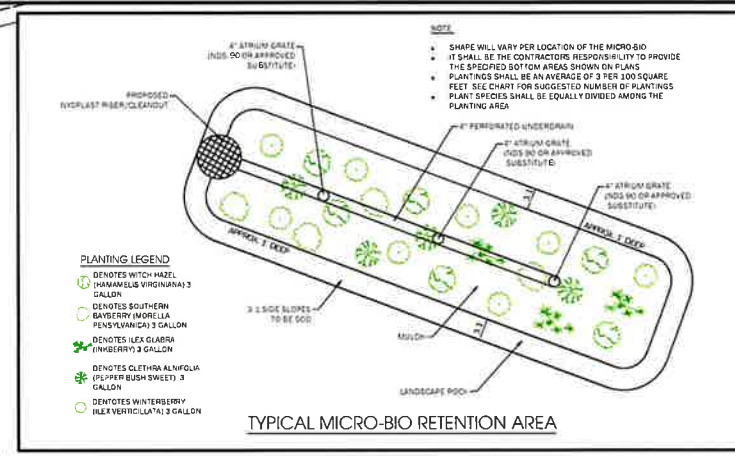




**LANDSCAPE NOTES:**

- 1 ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN
- 2 CONTRACTOR SHALL CONTACT MISS UTILITY AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL
- 3 ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE
- 4 THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY

N/F  
MT HERMON RD SALISBURY MD LLC  
DEED REF. 4705/398  
TAX MAP 29  
PARCEL 81  
AGRICULTURAL



N/F  
WESTWOOD DEVELOPMENT LLC  
DEED REF. 1731/465  
TAX MAP 28  
PARCEL 271  
COMMERCIAL

N/F  
DONTÉ T WARD,  
GARY T WARD SR & ETAL  
DEED REF. 3193/370  
TAX MAP 29  
PARCEL 92  
RESIDENTIAL

N/F  
BEST BUDD MULTI SERVICES LLC  
DEED REF. 4969/341  
TAX MAP 29  
PARCEL 374  
RESIDENTIAL

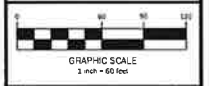
**LANDSCAPE & LIGHTING LEGEND**

- TR-1 78 - PLATANUS X ACERIFOLIA (LONDON PLANE) - OR SIMILAR DECIDUOUS SHADE TREE SPECIES - PLANTING LOCATION
- TR-2 32 - THUJA OCCIDENTALIS (AMERICAN ARBORVITAE) - OR SIMILAR EVERGREEN TREE FOR SCREENING - 4' TO 6' PLANTING LOCATION
- TR-3 30 - LAGERSTROEMIA X 'NATCHEZ' (NATCHEZ CRAPE MYRTLE) - OR SIMILAR FLOWERING ORNAMENTAL TREE - 4' TO 6' PLANTING LOCATION
- BU-1 26 - ROSA 'KNOCK OUT' (KNOCK OUT ROSE) - OR SIMILAR FLOWERING SHRUB - 1 GALLON PLANTING LOCATION CONSOLIDATED INTO BEDS
- BU-2 14 - ILEX GLABRA (HOLBERRY) - OR SIMILAR NATIVE SHRUB - 1 GALLON PLANTING LOCATION
- L-1 158 - PROPOSED BUILDING WALLMOUNT LIGHT PACK FOR SITE LIGHTING TO BE PLANNED AND PROVIDED BY OTHERS

NOTE: BUFFER OF FOUNDATIONAL PLANTINGS TO BE PLANTED ALONG SIDEWALK OF EACH BUILDING'S MAIN FACADE TO INCLUDE A MIXTURE OF SUMMERSWEET (CLETHRA YAMUS ALATUS) HYPERICUM (N.F.) AND JUNIPERS (JUNIPERUS) VARIETALS (SPECIES AND VARIETALS WHERE APPLICABLE)



SHEET 3



NO.	DATE	REVISIONS

**COMPREHENSIVE DEVELOPMENT PLAN**  
**LANDSCAPE & LIGHTING PLAN**  
**WESTWOOD COMMERCE PARK - NORTH 50**

Road Name: Naylor Mill Rd, West Rd, Salisbury Bypass  
For: St. Johns Properties Inc.  
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

DATE: 10/30/23  
SCALE: 1" = 60'







## Infrastructure and Development Staff Report December 21, 2023

### I. BACKGROUND INFORMATION:

Project Name: Westwood Commerce Park South 50  
Applicant/Owner: Parker & Associates Inc. for St. John Properties  
Case No.: 202301508  
Nature of Request: Preliminary Comprehensive Development Plan and Paleochannel Approval  
Location of Property: East side of Ed Taylor Drive and South of US Rt. 50 Bypass  
Map: 0029; Grid: 0013; Parcel: 0530  
Existing Zoning: Planned Development District #2 – Westwood Commerce Park

Parker and Associates, on behalf of the owner, has submitted a request for the construction of four (4) flex/R&D buildings, located on the east side of Ed Taylor Drive and south of the US Rt. 50 bypass. For definition purposes and compliance with the City's Zoning Code, Staff has determined the proposed development as a "Multi-Use Facility," which is defined as follows: *Multi-use facility" means two or more similar or different uses on a lot or parcel that are conducted in physically separate areas and permitted inherently or otherwise in the district in which located, provided that the lot or parcel and improvements thereon satisfy the total parking, lot area and other requirements of the uses; the facility shall not be deemed to be a shopping center if the total floor area of the uses in which the principal activity is on-site retail sales does not exceed one-third of the gross floor area of the entire facility.*

### II. DISCUSSION:

The applicants propose to construct four (4) single-story flex/R&D buildings ranging from 42,120 sq. ft. to 51,120 sq. ft. on the 17.3 acre lot. Onsite delivery vehicle storage and employee parking is also proposed for the site. **(Attachments 1 - 3)**

### III. APPROVAL HISTORY:

Westwood Commerce Park has an extensive history dating back to 2007, but this site has not had any prior approvals, and is unimproved. **(Attachment 2)**



#### IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:

##### A. Site Plan

1. **Parking/Streets:** The developer has calculated parking to be provided at one (1) space for every 350 sq. ft. of floor area, which are the standards for a mixed-use building, as there are no parking standards for a multi-use facility. This calculation results in a maximum of 536 spaces, whereas 411 spaces, including 17 van accessible spaces are proposed. Loading spaces are shown at the rear of the buildings, and are compliant with Zoning Code standards. The site plan indicates that 20 bicycle parking spaces are provided throughout the site. **(Attachments 3 & 4)**

Access to the site will be from Ed Taylor Drive.

2. **Refuse Disposal:** Code requires refuse disposal areas to be screened on three (3) sides. No dumpster areas are shown on the submitted site plan.
3. **Building Setbacks/Spacing:** The proposed buildings meet or exceeds all setback standards. **(Attachments 3 & 4)**
4. **Height:** The building height will average approximately 20 ft. in height, which is well below the maximum allowable building height of 50 ft. **(Attachments 5 & 6)**
5. **Streets/Sidewalks/Streetlights:** Sidewalks and streetlights are not shown along Ed Taylor Drive but are expected to be provided per city standards.

##### B. Building Elevations

Building elevations indicate the flex buildings will consist of brick veneer with concrete piers interspersed throughout the buildings. Glass storefronts and windows will be provided on the front and ends of each building. Specific colors have not been provided at this time. **(Attachments 5 & 6)**

##### C. Sign Plan

A Preliminary Sign Plan has been submitted, and indicates that two (2) freestanding business park signs are proposed; one (1) along the south side of the US Rt. 50 bypass, and another at the north entrance to the site from Ed Taylor Drive. A third freestanding address sign is proposed at the south Ed Taylor Drive entrance. No details were submitted regarding



building signs. A Final Sign Plan shall be approved prior to the installation of any signs.  
**(Attachment 7)**

#### **D. Landscaping Plan**

Deciduous shade trees are proposed for parking lot islands, as required by the Zoning Code. Evergreen trees have also been provided for screening at the loading areas. More detailed landscaping plans will be provided at the Final Comprehensive Development Plan review.  
**(Attachment 8)**

#### **E. Development Schedule**

A development/phasing schedule was not provided.

#### **F. Community Impact Statement**

A Community Impact Statement was not provided, but will be expected for the Final Comprehensive Development Plan.

#### **G. Statement of Intent to Proceed and Financial Capability**

Statements of Intent to Proceed and Financial Capability were not provided, but will be expected for the Final Comprehensive Development Plan.

#### **H. Fire Service**

The project is subject to further review by the Salisbury Fire Department.

#### **I. Stormwater Management**

The Stormwater Management Plan will be reviewed by the Salisbury Department of Infrastructure & Development.

#### **J. Forest Conservation Program**

Forest Conservation Program requirements will be met prior to issuance of building permits.

#### **K. Traffic**

A Traffic Impact Study is required and should be combined with other nearby projects.



#### **L. Paleochannel Protection District**

The north section of the site is located within the Paleochannel Protection District, and only a small portion of the project will be located in the overlay district. The expected uses typically have only minimal amounts of hazardous materials stored on site. Additionally, the proposed sitework will be compliant with the City's stormwater management regulations, and should not pose a threat to the environment.

#### **V. PLANNING COMMENTS**

Staff finds the proposed development consistent with the purpose of Westwood Commerce Park, and compatible with the existing uses in the park. Screened dumpster locations should be identified on the site plan.

#### **VI. RECOMMENDATION**

Staff recommends approval of the Preliminary Comprehensive Development Plan and Paleochannel Protection District approval for the Westwood Distribution Center, with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. The final site/landscaping plan shall display dumpster locations and screening.
3. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits;
4. Provide a Development Schedule, Community Impact Statement, and Statements of Intent to Proceed and Financial Capability; and
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.





PLANNING COMMISSION SUBMITTAL

H23-033

RECEIVED  
NOV 06 2023  
CITY OF SALISBURY D.J.D.

November 2, 2023

City of Salisbury  
PLANNING AND ZONING COMMISSION  
Govt. Bldg., 3rd Floor, Council Chambers  
125 N Division Street  
Salisbury, MD 21801

To Whom It May Concern,

This letter is to provide a project narrative for the Preliminary Comprehensive Development Plan application for St. John Properties' proposed construction within Westwood Commerce Park.

With this application, St. John Properties (SJP) proposes to construct four (4) Flex/R&D buildings within the Westwood Commerce Park on Parcel 530. SJP has been developing and constructing Flex/R&D buildings in the greater Baltimore metropolitan area for over 50 years, and have begun over the past 20 years to expand into other markets outside of Baltimore. At the time of this letter, SJP owns and operates almost 24 million square feet of commercial space throughout the United States, with a vast majority of that space being Flex/R&D.

Flex/R&D buildings are a remarkable hybrid solution providing space for a wide array of commercial tenants. SJP constructs the shell of the building and then works with each tenant to build out a space customized for their specific needs. Some tenants in SJP buildings are light manufacturing/assembly type uses, where the finished space would only include 1-2 offices and a restroom. Other SJP tenants require full office buildouts. The Flex/R&D can be tenanted and re-tenanted as the market demands, without constructing new buildings or additions.

This application is requesting approval to construct four (4) flex buildings totaling 187,480 sf. The application also proposes the construction of all of the requisite parking, drive-aisle, stormwater management, landscape, and lighting improvements commensurate with a development of this scope.

We appreciate your time and attention in reviewing this matter and look forward to adding to both your employment and tax base.

Thank you,

Andrew Roud  
Regional Partner

2560 Lord Baltimore Dr      Ofc 410 788 0100  
Baltimore MD 21244      Fax 410 788 0851

www.sjpi.com



Attachment 1





Attachment 2



# WESTWOOD COMMERCE PARK SOUTH 50

## CITY OF SALISBURY PROJECT #

### COMPREHENSIVE DEVELOPMENT PLAN



#### GENERAL NOTES

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY WESTWOOD DEVELOPMENT LLC  
C/O COLLEEN HAZEL  
31594 FRED ADKINS RD  
PARKERSBURG, MD 21849
- THE PROPERTY SHOWN HEREON IS CURRENTLY BEING DEVELOPED BY ST JOHN PROPERTIES INC  
C/O MATTHEW DESTINO  
2560 LORD BALTIMORE DRIVE  
WINDSOR MILL, MD 21244  
443-464-1316  
mdestino@spj.com
- PARCEL 530 (MAP 29)  
DEED REF. 1731/465
- PRESENT ZONING OF THIS PROPERTY: PLANNED DEVELOPMENT DISTRICT #2
  - WESTWOOD COMMERCE PARK
  - FRONT MINIMUM SETBACK: 20'
  - REAR MINIMUM SETBACK: 15'
  - SIDE SETBACKS: 10' (TWO REQUIRED)
  - MINIMUM LOT SIZE: 1.5 ACRES
  - MAXIMUM BUILDING HEIGHT: 50'
  - THESE PROPERTIES ARE LOCATED WITHIN C.P.R. MANAGEMENT ZONE A. THE CURRENT WICOMCO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W1/S1. CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HEREON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410.749.1023.
  - THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS OF WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH. THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER AND PRIVATE TRASH COLLECTION.
  - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL BE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
  - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
  - CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USES WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
  - ALL NON-CITY UTILITIES SUCH AS BUT NOT LIMITED TO ELECTRIC, TELEPHONE GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
  - PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
  - PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR. VERTICAL DATUM IS BASED ON FANGERS.

#### LAND USE SUMMARY

SITE AREA	=	17.3 AC
<b>PROPOSED BREAKDOWN</b>		
BUILDING	=	187,480 SF
PAVING	=	337,084 SF
CONCRETE	=	19,637 SF
<b>TOTAL</b>		
IMPERVIOUS	=	12.7 AC
PERCENT IMP	=	73.4 %

#### PARKING TABULATION

MIXED USE BUILDINGS 1 PARKING SPACE PER 350 SF  
187,480/350 = 535.7 (536 MAX REQUIRED)

411 SPACES PROVIDED INCLUDING 17 ADA ACCESSIBLE SPACES  
(ADA CALCULATIONS BASED ON 2010 ACCESSIBILITY GUIDELINES AND STANDARDS AS APPLIED TO EACH INDIVIDUAL PARKING STRUCTURE/LOT)

#### ESTIMATED WATER & SEWER USAGE

CALCULATIONS BASED ON OFFICE SPACE  
(GROSS AREA X 0.09 = GPD) 1 EDU = 250 GPD

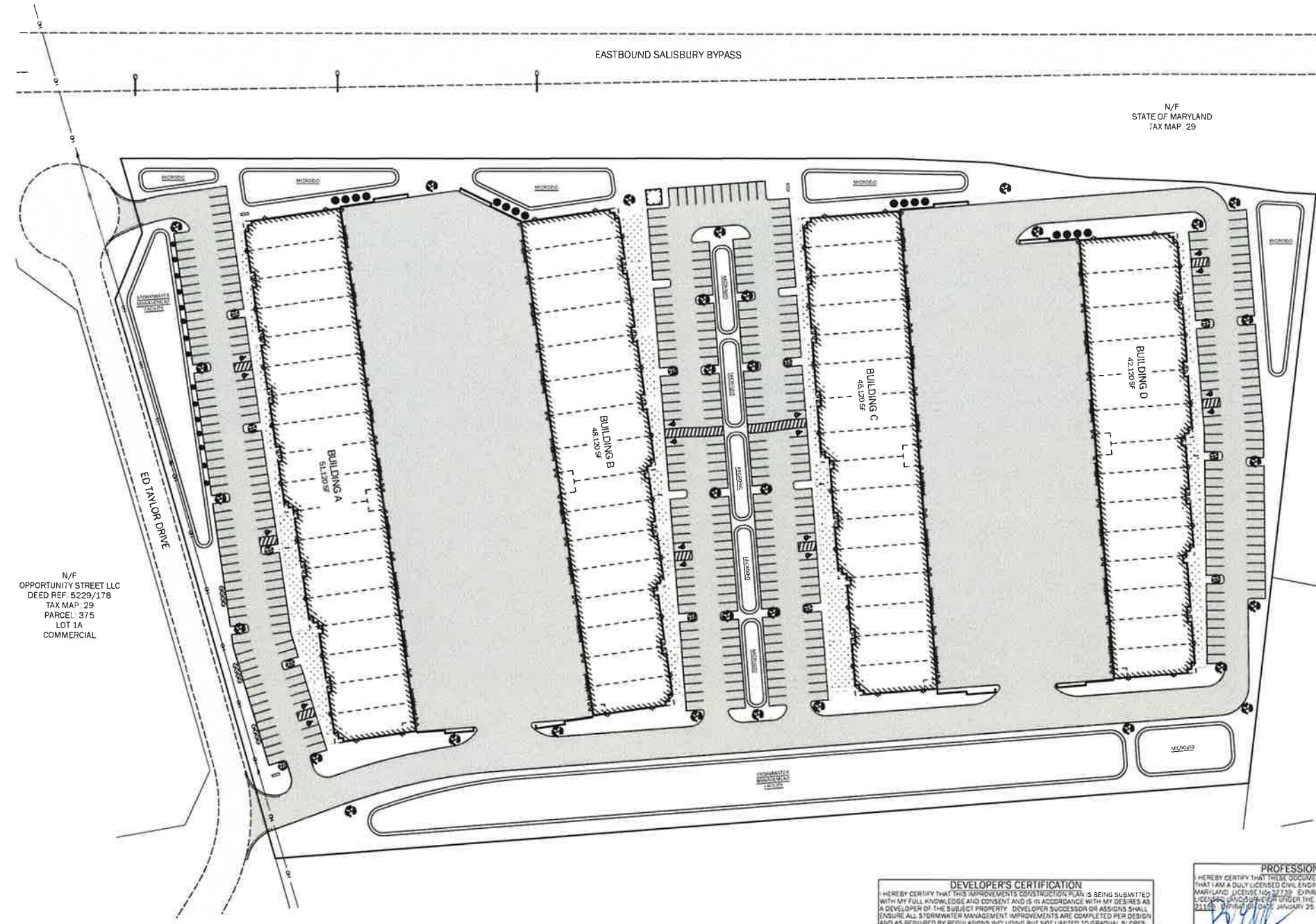
PROJECT USAGE	187,480 X 0.09	= 16,873 GPD
	16,873 / 250	= 68 EDU

#### LIST OF CITY STANDARDS USED

STANDARD CURB AND GUTTER	STD NO 100.11A
--------------------------	----------------

#### LEGEND:

- ACCESSIBLE RAMP
- BIKE RACK
- SITE LIGHTING
- DUMPSTER
- SEWER MANHOLE
- TELEPHONE/COMMUNICATIONS PEDESTAL
- EXISTING UTILITY POLE
- ACCESSIBLE PARKING AND ACCESS WAY
- PROPERTY LINE
- BUILDING SETBACK
- EXISTING CURB
- PROPOSED CURB
- EDGE OF PAVEMENT
- PROPOSED PARKING STRIPE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND ELECTRIC
- SIDEWALK/CONCRETE
- ASPHALT/PAVEMENT
- EXISTING ROADWAY
- PROPOSED BUILDING FOOTPRINT



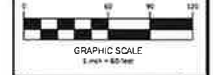
N/F  
STATE OF MARYLAND  
TAX MAP 29

#### SHEET LIST

TITLE SHEET	SHEET 1
SITE PLAN	SHEET 2
LANDSCAPE & LIGHTING PLAN	SHEET 3
SIGNAGE DETAIL SHEET	SHEET 4
ARCHITECTURAL FLEX ELEVATIONS	A-1
ARCHITECTURAL FLEX ELEVATIONS	A-2



SHEET 1



REVISIONS	DATE	BY	APP

**COMPREHENSIVE DEVELOPMENT PLAN**

**TITLE SHEET**

**WESTWOOD COMMERCE PARK - SOUTH 50**

Road Name: Edward Taylor Drive  
Parcel: 456  
City of Salisbury, Wicomico County, Maryland  
Date: 10/27/23  
Scale: 1" = 60'

PARKER

**DEVELOPER'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS IMPROVEMENT'S CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DUTY AS A DEVELOPER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN DISCONNECTION FLOW PATH LENGTH SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL, SETTING OF WATER METERS TO ENSURE SOUND FOR TREATMENT AND GRADING AS PER DESIGN AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL HEREIN INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS, SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

ST JOHN PROPERTIES  
C/O MATTHEW DESTINO  
2560 LORD BALTIMORE DRIVE  
WINDSOR MILL, MD 21244  
443-464-1316  
mdestino@spj.com

DATE: \_\_\_\_\_

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 22739. EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21101. EXPIRATION DATE: JANUARY 25, 2024.

*Edward Taylor*  
DATE: \_\_\_\_\_

BROCK PARKER P.E. R.L.S.  
528 RIVERSIDE DRIVE  
SALISBURY, MARYLAND 21801  
PHONE: (410) 749-1023 FAX: (410) 749-1012  
EMAIL: BROCK@PARKERANDASSOCIATES.ORG

APPROVED: \_\_\_\_\_ CITY PROJECT # \_\_\_\_\_  
CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT UTILITY CONTRACT # \_\_\_\_\_  
Richard D. Baldwin Director DATE: \_\_\_\_\_

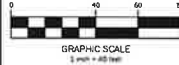


EASTBOUND SALISBURY BYPASS

N/F STATE OF MARYLAND TAX MAP 29



SHEET 2



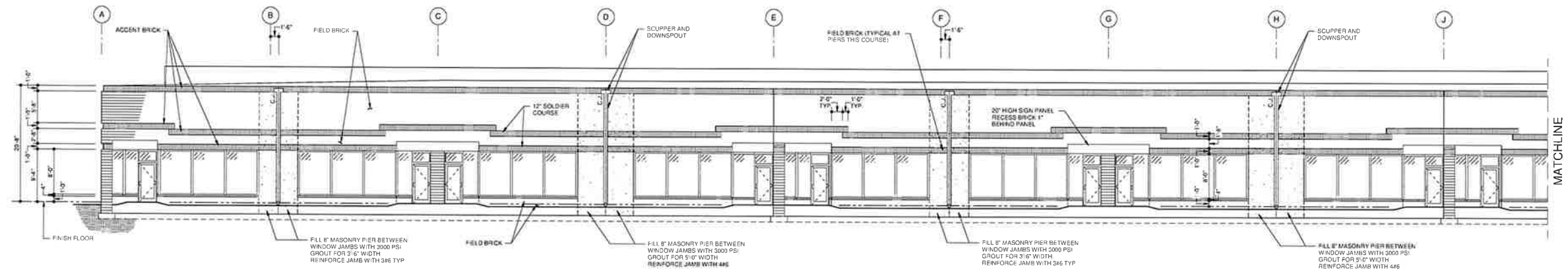
REVISIONS	DATE	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN		SITE PLAN		WESTWOOD COMMERCE PARK - SOUTH 50	
Road Name: Edward Taylor Drive		Parcel: 29		Block: 13	
For: St. Johns Properties, Inc.		City: SALISBURY, WICOMICO COUNTY, MARYLAND		Parcel: 530	
Date: 10/27/23	Scale: 1" = 40'	Drawn: EAL	Checked: EAL	Project: CDP Site	

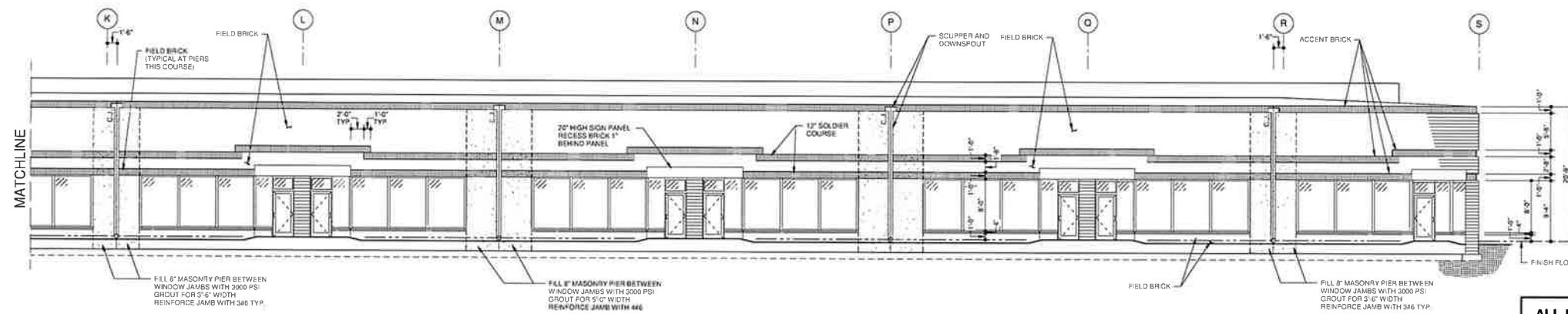
N/F JONES, BERTINA E  
 DEED REF: 1707/154  
 TAX MAP 29  
 PARCEL 456  
 BLOCK D  
 LOT 4  
 RESIDENTIAL





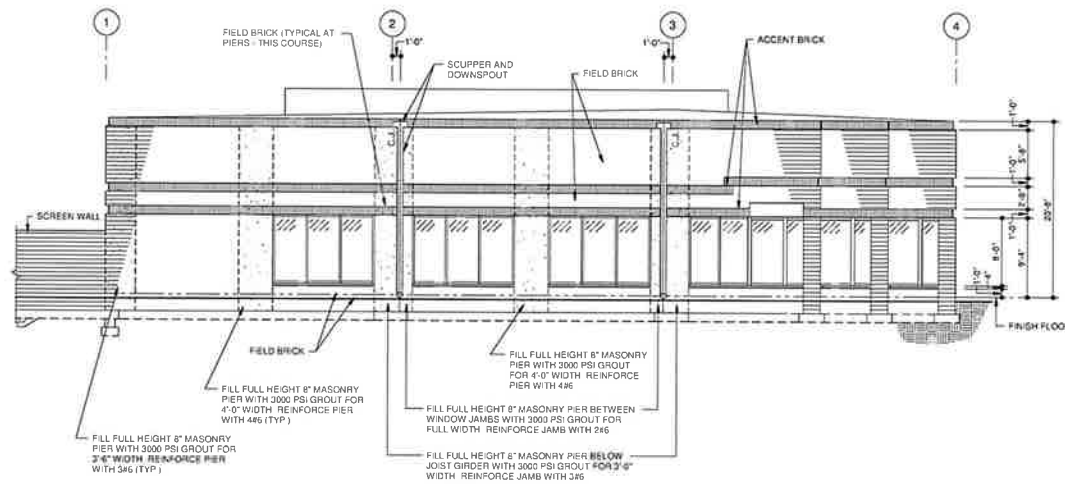


FRONT ELEVATION

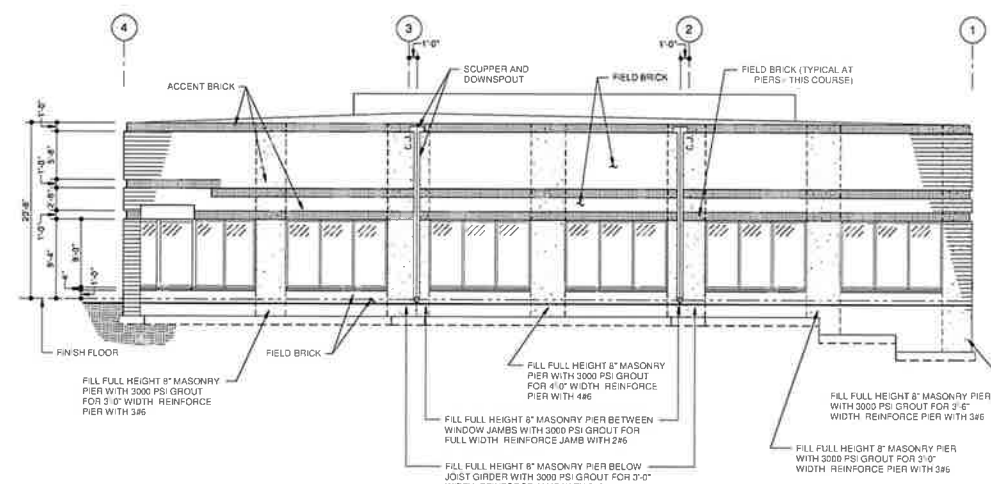


FRONT ELEVATION

ALL REINFORCING BARS IN  
BLOCK WALLS SHALL EXTEND  
FROM TOP OF FOOTING TO  
TOP OF WALL. LAP SPICE  
ALL BARS 36" MINIMUM.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Seal

Professional Engineer - Maryland License No. 10000  
 License No. 10000  
 State of Maryland  
 4/10/2018

**ST. JOHN PROPERTIES**  
 2550 LORD BALTIMORE DRIVE  
 BALTIMORE, MD 21244  
 410-788-0100

**PENZA+BAILEY**  
 ARCHITECTS  
 401 Woodbourne Avenue  
 Baltimore, Maryland 21212  
 T 410-435-6677 | F 410-435-6888  
 www.PenzaBailey.com

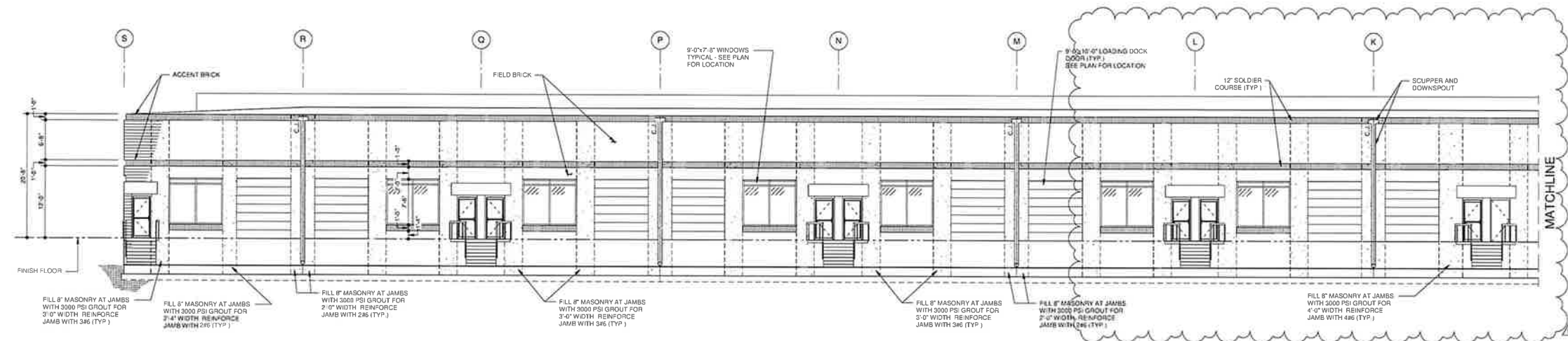
**morabito consultants**  
 Mechanical Engineering Consulting  
 152 E. High Street, Suite 1100  
 Sparks, MD 21152-9472  
 410-633-3377 | www.morabitoconsultants.com  
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No.	Date	Revisions

DESIGNED: KAP DRAWN: KAP  
 CHECKED: JAM APPROVED: JAM

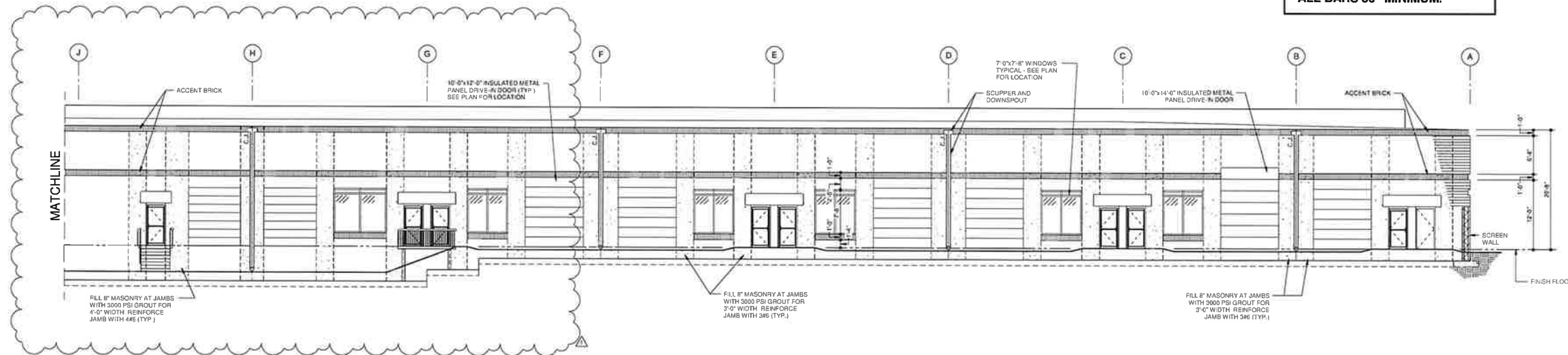
Project No.: 21028  
 Date: 02-19-21  
 Scale: 1/8" = 1'-0"  
 Sheet Title:

Sheet 7



REAR ELEVATION

ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL. LAP SPLICE ALL BARS 36" MINIMUM.



REAR ELEVATION

Seal:

Professional Certificate: I hereby declare that this document was prepared or supervised by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License No. 2186-A  
 License Exp. Date: 05/31/22

**ST. JOHN PROPERTIES**  
 2550 LORD BALTIMORE DRIVE  
 BALTIMORE, MD, 21244  
 410-766-0100

**PENZA+BAILEY**  
 ARCHITECTS  
 401 Woodbourne Avenue  
 Baltimore, Maryland 21212  
 T 410-435-6677 | F 410-435-6888  
 www.PenzaBailey.com

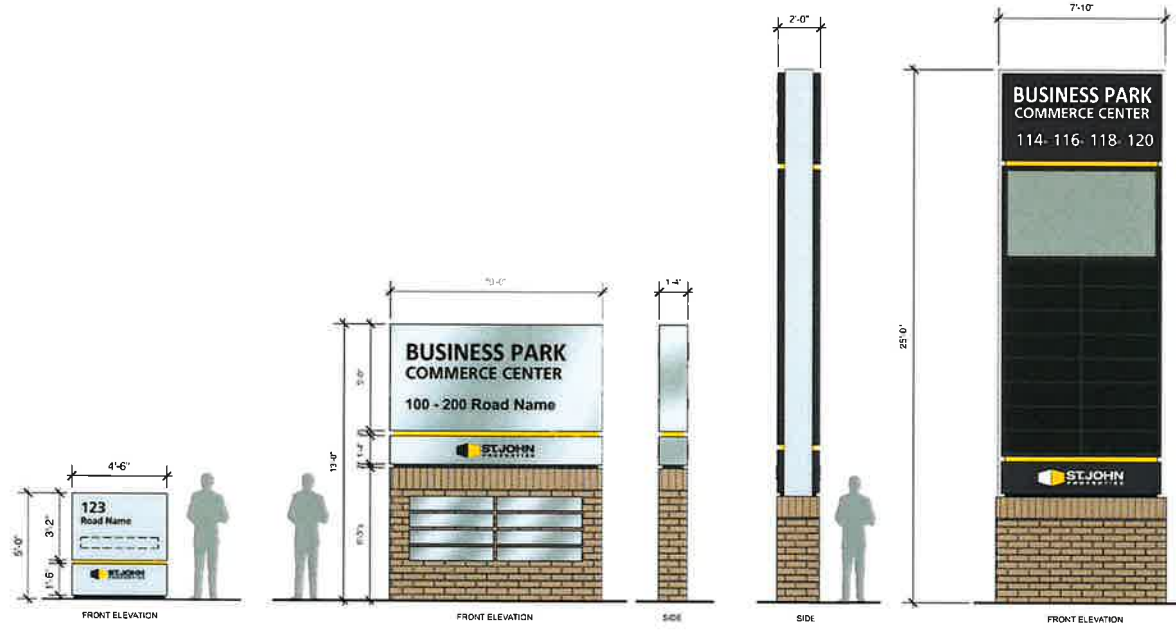
**morabito consultants**  
 Structural Engineers / Parking Consultants  
 512 N. Guilford Rd. Suite 1700  
 Sparks, MD 21153-9153  
 410-682-2377 | www.morabitoconsultants.com  
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No.	Date	Revisions
1	2-2-22	LOADING DOCK SHIFT

DESIGNED: KAP    DRAWN: KAP  
 CHECKED: JAM    APPROVED: JAM

Project No.: 21028  
 Date: 02-19-21  
 Scale: 1/8" = 1'-0"  
 Sheet Title:

Sheet No.:



1 Typical Signs  
Scale: 1/4" = 1'-0"



SHEET 4

NOT TO SCALE

NO.	REVISIONS	DATE	BY

COMPREHENSIVE DEVELOPMENT PLAN

SIGNAGE DETAIL SHEET  
WESTWOOD COMMERCE PARK - SOUTH 50

Road Name: Edward Taylor Drive  
 100 N. EDWARD TAYLOR DRIVE  
 CITY OF SALISBURY, WINDSOR COUNTY, MARYLAND

NO.	DATE	BY	CHKD.	SCALE
1	10/27/23	EA	EA	1:1

NO. 13  
 PROJECT: 530





**LANDSCAPE & LIGHTING LEGEND**

- TR-1 32 PLATANUS X ACERIFOLIA (LONDON PLANE) - OR SIMILAR DECIDUOUS SHADE TREE SPECIES - PLANTING LOCATION
- TR-2 16 THUJA OCCIDENTALIS (AMERICAN ARBORVITAE) - OR SIMILAR EVERGREEN TREE FOR SCREENING - 4' TO 6' PLANTING LOCATION
- TR-3 12 LAGERSTROEMIA X NATCHEZ (NATCHEZ CRAPE MYRTLE) - OR SIMILAR FLOWERING ORNAMENTAL TREE - 4' TO 6' PLANTING LOCATION
- BU-1 12 ROSA 'KNOCK OUT' (KNOCK OUT ROSE) - OR SIMILAR FLOWERING SHRUB - 1 GALLON PLANTING LOCATION CONSOLIDATED INTO BEDS
- BU-2 13 ILEX GLABRA (HICKBERRY) - OR SIMILAR NATIVE SHRUB - 1 GALLON PLANTING LOCATION
- L-1 80 PROPOSED BUILDING WALLMOUNT LIGHT PACK FOR SITE LIGHTING TO BE PLANNED AND PROVIDED BY OTHERS

NOTE: 6' BUFFER OF FOUNDATIONAL PLANTINGS TO BE PLANTED ALONG SIDEWALK OF EACH BUILDING'S MAIN FAÇADE TO INCLUDE A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS (PINK SUMMERSWEET (OLETHRA ALNIFOLIA PINK SPIRE) BURNING BUSH (EUONYMUS ALATUS) HYPERICUM SPHRAEA AZALEAS (RHODODENDRON ATLANTICUM) AND JUNIPERS (JUNIPERUS)) AND A MIXTURE OF GROUND COVERS AND PERENNIALS (JUNIPERS AND FLOWERS WITH ANNUAL COLOR (TO BE SUPPLEMENTED WHERE APPLICABLE).

**PLANTING LEGEND**

- DENOTES WITCH HAZEL (PANAMELUS VIRGINICA) 3 GALLON
- DENOTES SOUTHERN BURNING BUSH (PYROLYNCA) 3 GALLON
- DENOTES ILEX GLABRA (HICKBERRY) 3 GALLON
- DENOTES BLUE HIBISCUS (HYPERICUM SPHRAEA) 3 GALLON
- DENOTES WINTERBERRY (LIX VERTICILLATA) 3 GALLON



TYPICAL MICRO-BIO RETENTION AREA

- NOTE:**
- SHAPE WILL VARY PER LOCATION OF THE MICRO-BIO
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE SPECIFIED BOTTOM AREAS SHOWN ON PLANS
  - PLANTINGS SHALL BE AN AVERAGE OF 2 PER 100 SQUARE FEET - SEE CHART FOR SUGGESTED NUMBER OF PLANTINGS
  - PLANT SPECIES SHALL BE EQUALLY DIVIDED AMONG THE PLANTING AREA

EASTBOUND SALISBURY BYPASS

N/F STATE OF MARYLAND TAX MAP 29

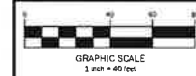


N/F OPPORTUNITY STREET LLC DEED REF: 5229/178 TAX MAP 29 PARCEL 375 LOT 1A COMMERCIAL

N/F JONES, BERTINA E DEED REF: 1707/154 TAX MAP 29 PARCEL 456 BLOCK D LOT 4 RESIDENTIAL



SHEET 3



REVISIONS	DATE	BY	CHKD	APP'D

COMPREHENSIVE DEVELOPMENT PLAN  
**LANDSCAPE & LIGHTING PLAN**  
 WESTWOOD COMMERCE PARK - SOUTH 50

Client: Jones, Bertina E  
 Address: 10101 Ed Taylor Drive  
 City: Salisbury, MD 21804  
 Date: 10/27/23  
 Scale: 1" = 40'

**LANDSCAPE NOTES:**

1. ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN
2. CONTRACTOR SHALL CONTACT MISS UTILITY AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL
3. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE
4. THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY





## Infrastructure and Development Staff Report December 21, 2023

### I. BACKGROUND INFORMATION:

Project Name: Starbucks  
Applicant/Owner: Solutions Integrated Planning, Engineering and Management, LLC for Oak Ridge Baptist Church  
Case No.: 202301506  
Nature of Request: Revised Final Comprehensive Development Plan Approval  
Location of Property: Tilghman Road, Lot 5, Gateway Crossing Shopping Center  
Existing Zoning: Regional Commercial

The applicant, on behalf of the owner, has submitted a request for construction of a 2700 sq. ft. restaurant/coffee house, located on Lot 5 of the Gateway Crossing Shopping Center. (Attachments 1 - 2)

### II. DISCUSSION:

The applicants propose to construct a 2,700 sq. ft., single-story restaurant/coffeehouse on the 1.29 acre lot, which is currently a parking lot for the shopping center. A drive-thru lane and customer/employee parking is also proposed for the site.

### III. APPROVAL HISTORY:

Gateway Crossing (formerly Shopper's World) Shopping Center has an extensive history, beginning in 1974, when the Planning Commission granted the original approval. At that time, the property was outside of the City's corporate limits, but was subsequently annexed into the City in 1976, which is also when the original building was constructed. Numerous changes to the Comprehensive Development Plan have been approved since then. The most significant approval came in 2002, when the Planning Commission approved a new Preliminary and Final Comprehensive Development Plan for redevelopment of the entire shopping center. This approval streamlined the approval process so that applicants would no longer have to also receive approval from the Salisbury Board of Zoning Appeals to alter a nonconforming use.

A number of approvals have been granted by the Planning Commission since that time, with the Junior Achievement project being the most recent.





#### IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:

##### A. Site Plan

1. **Parking:** When the Gateway Crossing shopping center was constructed, the parking standards were considerably higher than current standards, and parking was shared for all parcels throughout the shopping center. The applicants are eliminating 54 spaces from the site while providing landscaping and two (2) van-accessible parking spaces for the proposed use. The reduction in overall parking will bring the shopping center closer to compliance with current requirements. In addition, parking for at least four (4) bicycles will be provided. A drive-thru lane that can accommodate at least eleven (11) vehicles is also proposed, and complies with Zoning Code requirements. **(Attachments 3 & 4)**
2. **Refuse Disposal:** Code requires refuse disposal areas to be screened on three (3) sides. An enclosed dumpster pad is proposed for the east side of the site, and trash collection will be private. **(Attachments 3 & 4)**
3. **Building Setbacks/Spacing:** The proposed building meets or exceeds all setback standards. **(Attachments 3 & 4)**

##### B. Building Elevations

Building elevations indicate that the building will primarily be wood cladding siding with secondary brick veneer located below the building's canopy. A secondary accent color wood cladding is also proposed at the drive-thru window. **(Attachment 5)**

##### C. Sign Plan

Although signage is shown on the building elevations, additional details are not included. Signs will need to be approved by the Planning Commission prior to the installation of any signs.

##### D. Landscaping Plan

Extensive landscaping is proposed throughout the site, and includes Red Maple (4), White Crape Myrtle (4), and Tuscarora (5) trees for shade. Additional shrubs and grasses are proposed throughout the site to increase the attractiveness of the project. **(Attachment 6)**





**E. Development Schedule**

Construction is expected to begin once all approvals have been granted.

**F. Community Impact Statement/Statement of Intent to Proceed and Financial Capability**

Waivers for all have been previously granted for this shopping center.

**G. Fire Service**

The project is under review by the Salisbury Fire Department.

**H. Stormwater Management**

The Stormwater Management Plan is under review by the Salisbury Department of Infrastructure & Development.

**I. Forest Conservation Program**

Forest Conservation Program requirements will be met prior to issuance of building permits.

**J. Traffic**

Plans are under review by City Staff.

**V. WELLHEAD PROTECTION ZONE**

The site is located within the City's Wellhead Protection Zone. No storage of hazardous materials is anticipated. The proposed construction will be compliant with the City's stormwater management regulations, and should not pose a threat to the environment.

**VI. PLANNING COMMENTS**

The proposed project is attractive, and will only enhance the shopping center. The proposed construction will eliminate the existing ocean of asphalt on the site, and add much needed landscaping.

**VII. RECOMMENDATION**

Staff recommends approval of the Final Comprehensive Development Plan and Wellhead Protection for Starbucks, with the following conditions:

---

Department of Infrastructure & Development  
125 N. Division St., #202 Salisbury, MD 21801  
410-548-3170 (fax) 410-548-3107  
[www.salisbury.md](http://www.salisbury.md)



# City of Salisbury

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits;
3. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and the Salisbury Fire Department.





November 6, 2023

Jessica Crenshaw  
Senior Associate Planner  
City of Salisbury Department of Infrastructure & Development  
125 N. Division Street  
Salisbury, MD 21801

RE: Starbucks Comprehensive Development Plan  
S23058

Dear Jessica,

On behalf of the developer, Oak Ridge Baptist Church (ORBC), we hereby submit the enclosed the Starbucks Comprehensive Development Plan for approval at the December Planning Commission meeting. A pdf version of the CDP will be emailed to you.

ORBC anticipates having construction plans submitted later this year and approved by mid-Spring. Construction would begin as soon as plan approvals are obtained and is expected to take no more than six months to complete.

Please note that the developer has secured financing through Shore United Bank and intends to begin construction upon receipt of required approvals & permits. Also, this property is subject to cross-easements for access, stormwater, and shared parking with the other properties in the development.

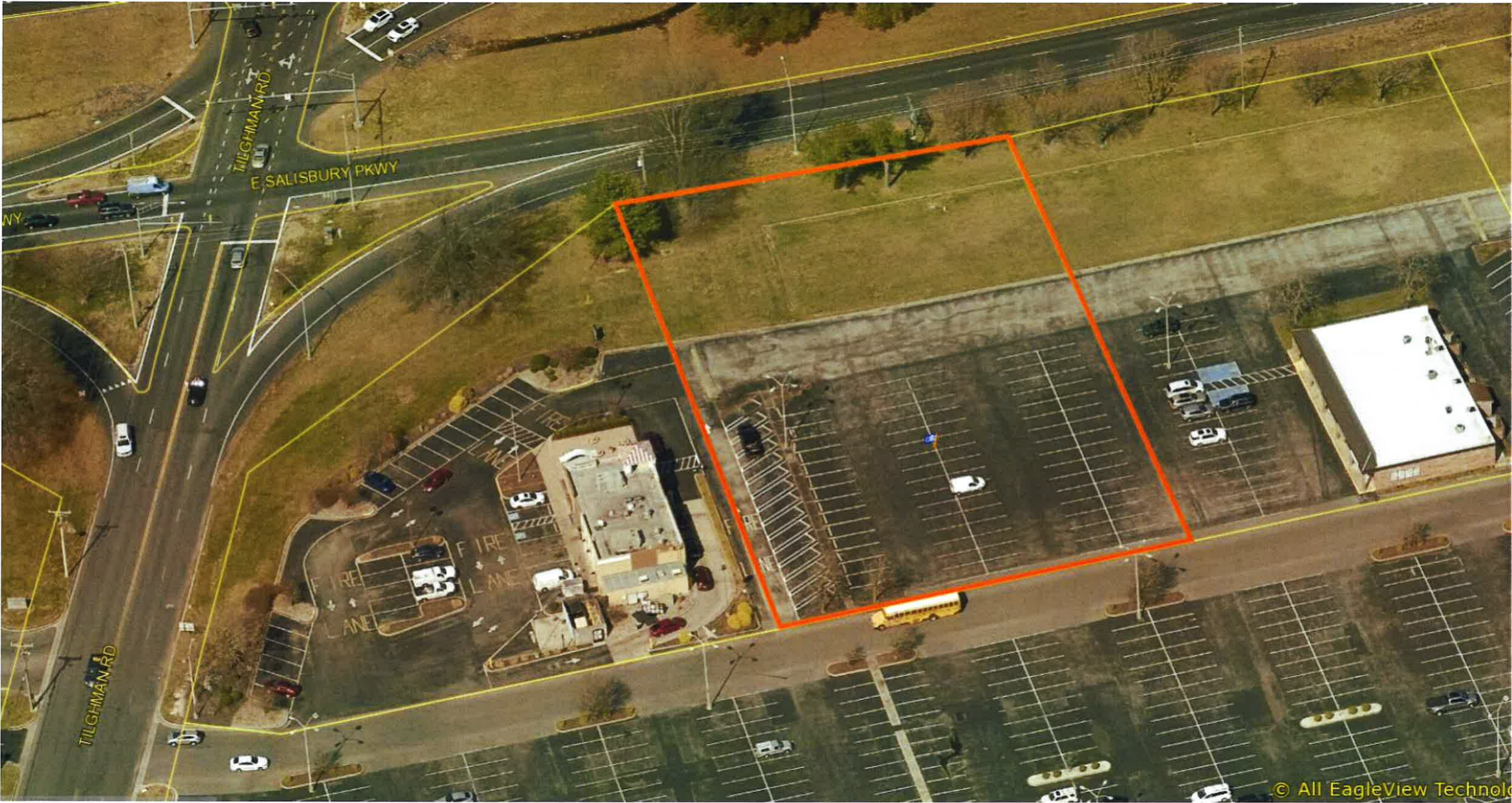
If you have any questions or need additional information, please email or call me.

Sincerely,  
Solutions IPEM, LLC

A handwritten signature in blue ink that reads "Steven W. Fuller". The signature is fluid and cursive.

Steven W. Fuller, Vice President  
MD Professional Land Surveyor #21118





© All EagleView Technol

Attachment 2



**SHEET INDEX**  
 SHEET 1 - COVER SHEET & SITE PLAN  
 SHEET 2 - LIGHTING, SIGNAGE, & STRIPING PLAN  
 SHEET 3 - LANDSCAPING PLAN



**AREA TABULATION**

EXISTING IMPERVIOUS AREA:	38,042 ± S.F. - 0.8733 ± ACRES
EXISTING AREA OF OPEN SPACE (PVIOUS AREA)	18,419 ± S.F. - 0.4228 ± ACRES
PARCEL 5 LOT AREA:	56,461 ± S.F. - 1.2962 ± ACRES
PROPOSED AREA OF BUILDINGS:	2,664 ± S.F. - 0.0612 ± ACRES
PROPOSED AREA OF PARKING & DRIVEWAY:	28,029 ± S.F. - 0.6435 ± ACRES
PROPOSED TOTAL IMPERVIOUS AREA:	30,693 ± S.F. - 0.7045 ± ACRES
PROPOSED TOTAL OPEN SPACE (PVIOUS AREA):	25,748 ± S.F. - 0.5916 ± ACRES

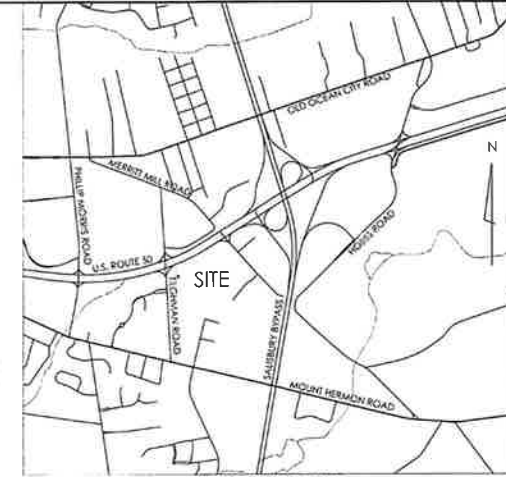
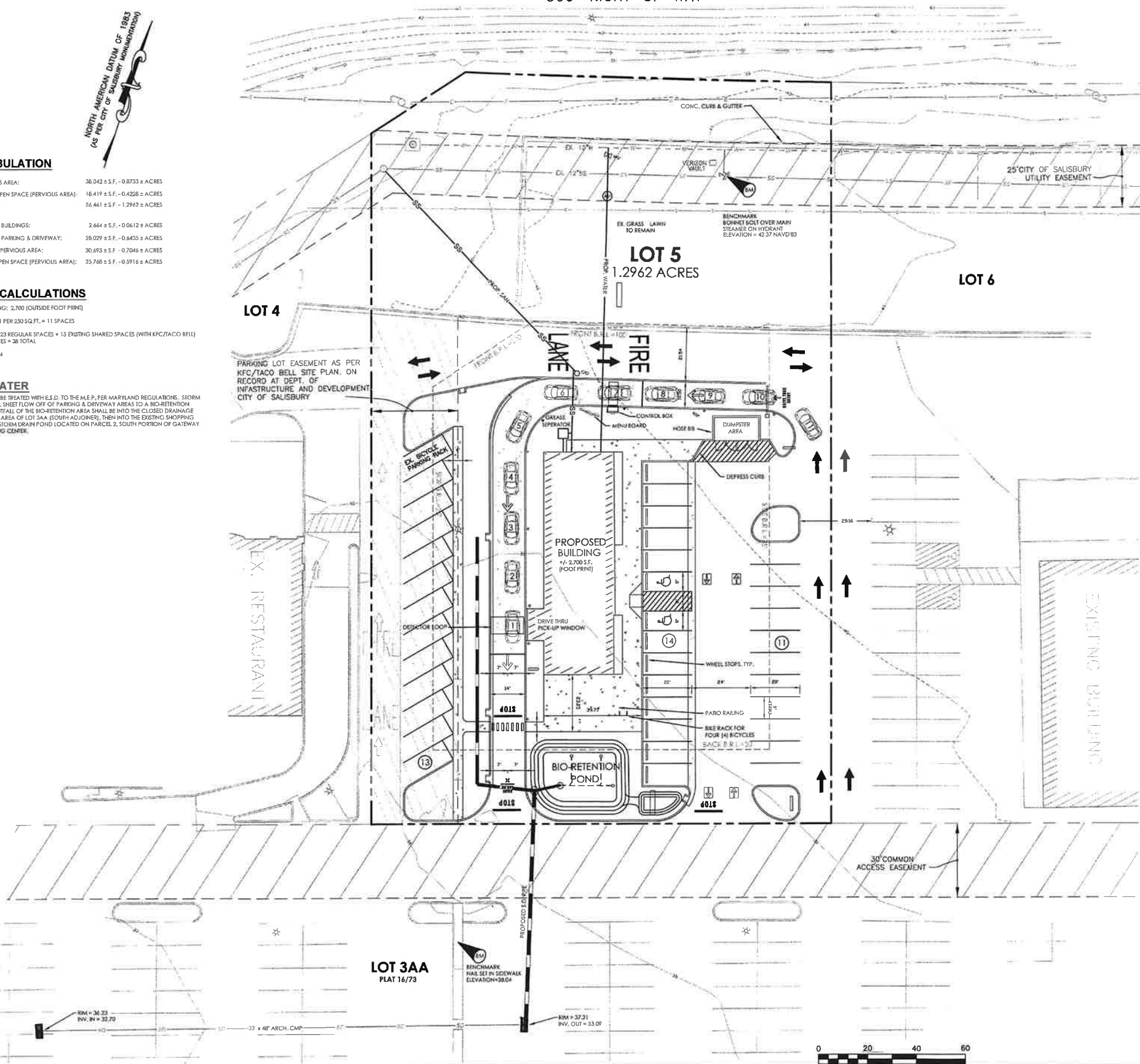
**PARKING CALCULATIONS**

PR. SQ. FT. OF BUILDING: 2,700 (OUTSIDE FOOT PRINT)  
 SPACES REQUIRED: 1 PER 230 SQ. FT. = 11 SPACES  
 SPACES PROVIDED: 23 REGULAR SPACES + 13 EXISTING SHARED SPACES (WITH KFC/TACO BELL) + 2 HANDICAP SPACES = 38 TOTAL  
 BICYCLE PARKING = 4

**STORM WATER**

STORM WATER WILL BE TREATED WITH E.S.D. TO THE M.E.P. PER MARYLAND REGULATIONS. STORM WATER RUNOFF WILL SHEET FLOW OFF OF PARKING & DRIVEWAY AREAS TO A BIO-RETENTION POND. ULTIMATE OUTFALL OF THE BIO-RETENTION AREA SHALL BE INTO THE CLOSED DRAINAGE SYSTEM IN PARKING AREA OF LOT 3AA (SOUTH ADJONER), THEN INTO THE EXISTING SHOPPING CENTER REGIONAL STORM DRAIN FOND LOCATED ON PARCEL 2, SOUTH PORTION OF GATEWAY CROSSING SHOPPING CENTER.

**U.S. ROUTE 50**  
 300' RIGHT-OF-WAY



**VICINITY MAP**  
 SCALE: 1" = 2,000'

**SITE DATA & GENERAL NOTES**

- OWNERS: THE OAK RIDGE BAPTIST CHURCH, 361 TILGHMAN ROAD, SALISBURY, MD 21804
- DEVELOPERS: THE OAK RIDGE BAPTIST CHURCH, 361 TILGHMAN ROAD, SALISBURY, MD 21804, PHONE: 410-742-4424
- ENGINEER/SURVEYOR: SOLUTIONS IP&M, LLC, 3003 MERRITT HILL ROAD, SALISBURY, MD 21804, PHONE: 410-572-6633
- TAX REF: MAP D110, GRID 0016, P/O PARCEL 4491
- LOT AREA: 1.2962 ACRES
- DEED REF: 2561/142
- PLAT REF: 15/682, 16/73
- ZONING: REGIONAL COMMERCIAL
- SETBACKS: 100' FRONT, 25' SIDE, 30' REAR
- BASED UPON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 24045C0256E, WITH AN EFFECTIVE DATE OF AUGUST 17, 2015, THIS SITE IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- OTHER THAN SHOWN, THIS SURVEY DOES NOT VERIFY THE EXISTENCE OR NONEXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS. NO TITLE SEARCH WAS PROVIDED FOR OUR USE.
- OWNER/DEVELOPER, AND SUBSEQUENT OWNERS, THEIR SUCCESSORS AND ASSIGNS, SHALL NOT MODIFY INDIVIDUAL LOT GRADING PLANS AND/OR THE IMPROVEMENTS CONSTRUCTION PLAN AS APPROVED BY THE CITY OF SALISBURY DEPARTMENT OF PUBLIC WORKS, WITH CONSTRUCTION, GRADING, OR LANDSCAPING.
- SRC PLAT 2946B STATES, THIS IS A CONTROLLED ACCESS ARTERIAL HIGHWAY AND NO ACCESS EITHER VEHICULAR, PEDESTRIAN AND/OR ANIMAL WILL BE PERMITTED ACROSS THE LINES DESIGNATED RIGHT OF WAY LINE OF THROUGH HIGHWAY EXCEPT BY MEANS OF SUCH PUBLIC ROAD CONNECTIONS AS THE COMMISSION MAY CONSTRUCT OR PERMIT TO BE CONSTRUCTED.
- THE PROJECT SITE IS NOT WITHIN A CHESAPEAKE BAY CRITICAL AREA.
- THE SUBDIVISION IS LOCATED OUTSIDE LANDS DESIGNATED AS PALEO CHANNEL.
- A "BLANKET EASEMENT" SHALL BE GRANTED TO THE CITY OF SALISBURY FOR THE INSPECTION, MAINTENANCE, AND/OR REPAIR OF ANY FIRE HYDRANTS, WATER METERS, CLEANOUTS, ETC., LOCATED ON PRIVATE PROPERTY. THE BLANKET EASEMENT SHALL PROVIDE 10' CLEARANCE FROM THE STRUCTURE OR UTILITY.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT-OF-WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
- A CITY OF SALISBURY UTILITY EASEMENT SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIZE/VALVES, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNERS ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING, OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
- ALL NON-CITY UTILITIES, SUCH AS BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V., SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.

**TIME TABLE**

UPON APPROVAL OF THE COMPREHENSIVE DEVELOPMENT PLAN AND THE CONSTRUCTION DOCUMENTS, THE DEVELOPER INTENDS TO BEGIN CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. WORK IS ANTICIPATED TO BEGIN IN THE EARLY SPRING OF 2024 AND BE COMPLETED BEFORE THE END OF FALL OF 2024. THE WORK WILL NOT BE PHASED.

**SURVEYOR'S CERTIFICATION**

I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21118, EXPIRATION DATE: JAN. 2024.  
 SOLUTIONS IP&M, LLC  
 STEVEN W. FULLER, AGENT  
 STEVEN W. FULLER  
 PROFESSIONAL LAND SURVEYOR  
 MARYLAND NO. 21118  
 11/30/2023  
 DATE



**Fuller Hall & Associates, Inc.**  
 A Wholly Owned Subsidiary  
 300 North Bedford Street  
 Georgetown, DE 19840  
 Phone: 302.291.9513  
 3003 Merritt Hill Road  
 Salisbury, MD 21804  
 Phone: 410.572.6633  
 www.solutionsipm.com Copyright © 2014



NO.	DATE	DESCRIPTION
1	11/29/23	REVISIONS PER AGENCY COMMENTS

COVER SHEET & SITE PLAN  
 COMPREHENSIVE DEVELOPMENT PLAN  
 FOR  
**STARBUCK'S**  
 LOT 5, GATEWAY CROSSING SHOPPING CENTER  
 CITY OF SALISBURY  
 WICOMICO COUNTY, MARYLAND

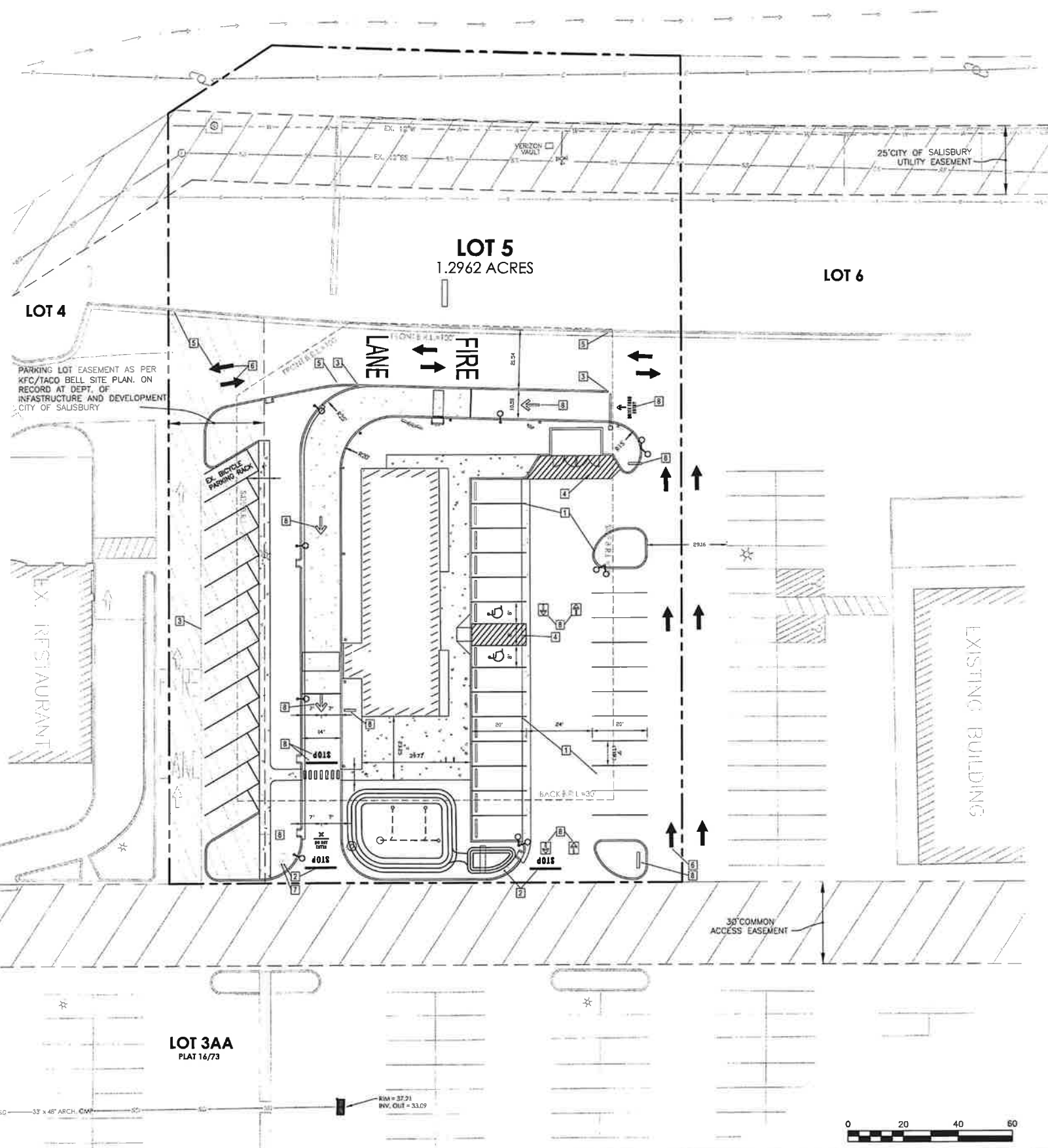
DATE:	OCT. 2023
JOB NUMBER:	520558
SCALE:	1" = 20'
DRAWN BY:	B.HALL
DESIGNED BY:	
APPROVED BY:	SWF

Sheet No.: 1 OF 3

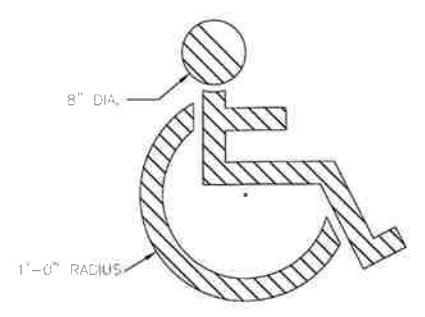
# U.S. ROUTE 50

300' RIGHT-OF-WAY

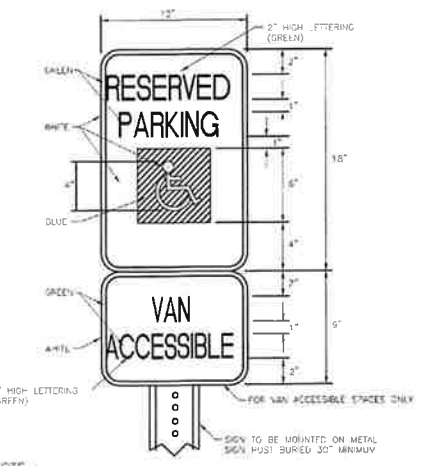
NORTH AMERICAN DATUM OF 1883  
(AS PER CITY OF SALISBURY MONUMENTATION)



- 1 - 4" WIDE PAINTED WHITE STRIPE (TYPICAL)
- 2 - R1-1 30"x30" STOP SIGN & 16" WIDE PAINTED WHITE STOP BAR
- 3 - 4" WIDE PAINTED YELLOW STRIPE
- 4 - PAINTED HANDICAP ISLAND - 4" WIDE SINGLE WHITE LINE, 2' ON CENTER
- 5 - YELLOW PAINTED CURB
- 6 - PAINTED WHITE TRAFFIC DIRECTIONAL ARROWS (TYPICAL)
- 7 - ONE WAY, DO NOT ENTER SIGN
- 8 - STARBUCK'S DIRECTIONAL SIGNAGE
- 9 - PARKING PIPE BOLLARD (TYP.)
- 10 - SINGLE LIGHT POLE



NOTES:  
1. SYMBOL SHALL BE 3" WIDE (MIN.) AND PAINTED ON EACH HANDICAPPED SPACE.  
**HANDICAPPED SYMBOL DETAIL**  
NO SCALE



NOTE:  
BOTTOM EDGE OF SIGN SHALL BE INSTALLED BETWEEN 5'-0" MINIMUM AND 7'-0" MAXIMUM ABOVE THE FINISHED GRADE. CONTRACTOR SHALL INSTALL ONE SIGN PER HANDICAP PARKING SPACE. SIGNS ARE TO BE CENTERED ON STALL WIDTH, FACING PARKING.  
**HANDICAP SIGN DETAIL**  
NO SCALE

**solutions**  
Integrated Planning  
Engineering & Management, LLC

**Fuller Hall**  
ASSOCIATES, INC.  
A Wholly Owned Subsidiary  
303 North Beaufort Street  
Georgetown, DE 19847  
T. 302.293.9215  
3001 Market Mall Road  
Salisbury, MD 21864  
T. 410.373.8611  
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NO.	DATE	DESCRIPTION
1	11/29/23	REVISIONS PER AGENCY COMMENTS

LIGHTING, SIGNAGE, & STRIPING PLAN  
COMPREHENSIVE DEVELOPMENT PLAN  
FOR  
**STARBUCK'S**  
LOT 5, GATEWAY CROSSING SHOPPING CENTER  
CITY OF SALISBURY  
WICOMICO COUNTY, MARYLAND

Date:	11/14/2016	Job Number:	S23058	Scale:	1"=20'	Drawn By:	B.HALL	Designed By:		Approved By:	SWF
-------	------------	-------------	--------	--------	--------	-----------	--------	--------------	--	--------------	-----

Sheet No.: **2 OF 3**  
File Name: s23058-cdp-site





## NE Schematic Exterior Design | STB-A (Scheme A)

### Primary Cladding:

Wood cladding at entry doors and patio area to run vertically.

### Secondary Cladding:

Smooth brick application. Stacked horizontally below canopy. Stacked vertically above.

### Accent Cladding:

Wood cladding (black) at the Drive Thru bump in vertical application.

### Canopy:

Underside of canopy to be clad with wood, typ.



PALETTE A

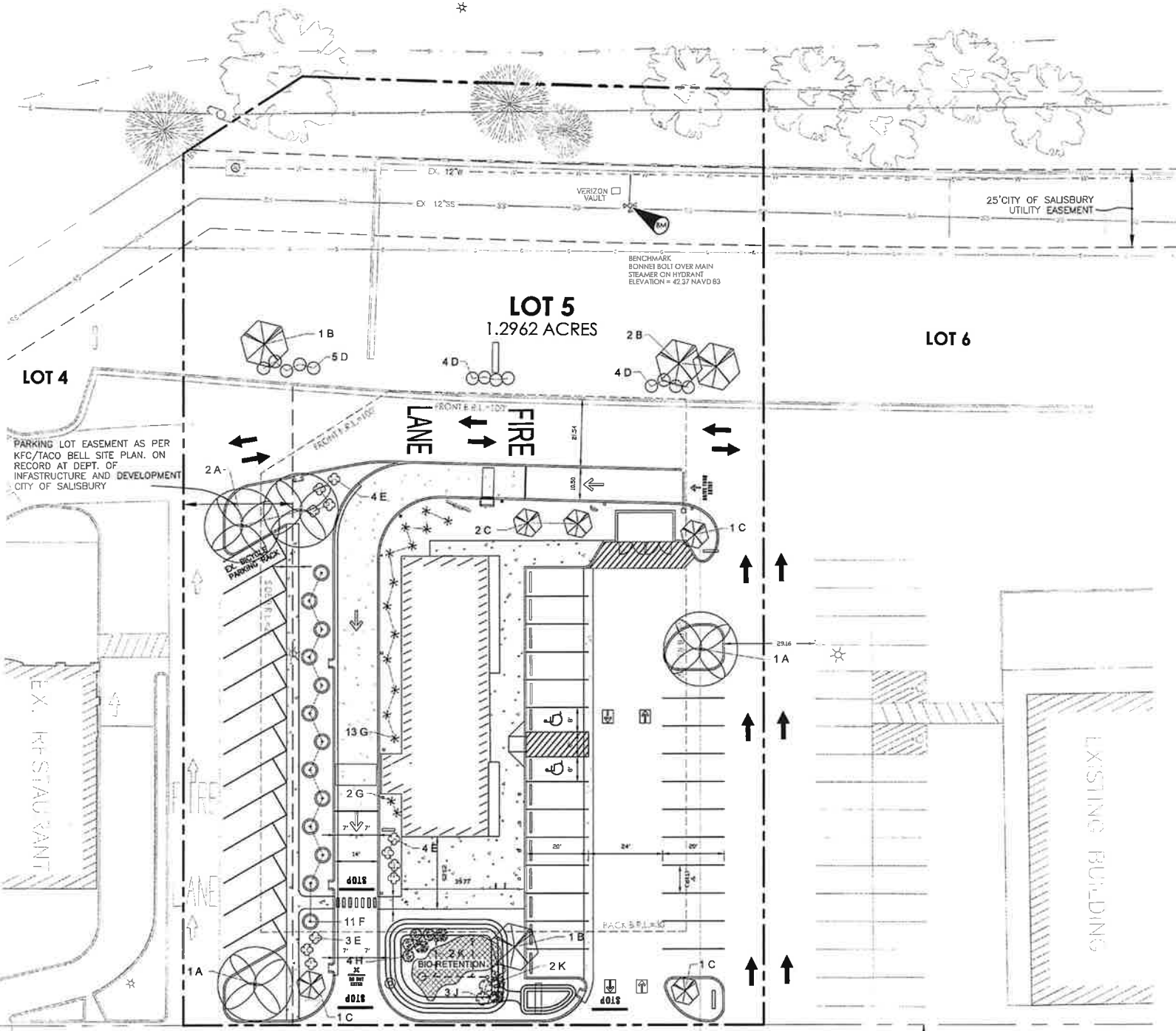
Northeast Region | Exterior Design Guidelines | STB-A & B



# U.S. ROUTE 50

300' RIGHT-OF-WAY

NORTH AMERICAN DATUM OF 1983  
(AS PER CITY OF SALISBURY MONUMENTATION)



LANDSCAPE LEGEND			
QTY.	SYMBOL	COMMON NAME (BOTANICAL NAME)	SPEC.
<b>TREES</b>			
4	A	RED 'SUNSET' MAPLE (ACER RUBRUM)	2" CALIPER
4	B	WHITE CRAPE MYRTLE (LAGERSTROEMIA TOMENTOSA)	7 GAL. CONT.
5	C	TUSCARORA (LAGERSTROEMIA INDICA)	7 GAL. CONT.
<b>BUSHES</b>			
13	D	DWARF BURNING BUSH (EUONYMUS ALATUS)	2 GAL. CONT.
7	E	GOLD THREAD CYPRESS (CHAMAECYPARIS PISIFERA)	2 GAL. CONT.
11	F	AMERICAN ARBORVITAE (EUONYMUS ALATUS)	6' HGT.
<b>GRASSES</b>			
15	G	'LITTLE BUNNY' FOUNTAIN GRASS (PENNISETUM ALOPECUTOIDES)	1 QT. CONT.

MICRO BIORETENTION LANDSCAPE SCHEDULE			
QTY.	SYMBOL	COMMON NAME (BOTANICAL NAME)	SPECS.
7	H	SWEET PEPPERBUSH (CLETHRA AINIFOLIA)	2 GAL. CONT.
3	J	BAY BERRY (MYRICA PENNSYLVANIA)	2 GAL. CONT.
4	K	AMERICAN WITCH HAZEL (HAMAMELIS VIRGINIANA)	2 GAL. CONT.
340 S.F.		SEED MIX: 35% - BLACK EYED SUSAN (RUDBECKIA HIRTA) 35% - SPIDERWORT (TRADESCANTIA VIRGINIANA) 10% - WILD COLUMBINE (AGUILEGIA CANADENSIS) 10% - BEEBALM (MONARDA DIDYMA) 10% - OBEDIENT PLANT (PHYSOSTEGIA VIRGINIANA)	

ALL PLANTED AREAS OUTSIDE PARKING AND BUILDINGS TO BE PLANTED WITH GRASS, UNLESS OTHERWISE SPECIFIED.

**solutions**  
Integrated Planning  
Engineering & Management, LLC

**Fuller Hall**  
ASSOCIATES, INC.  
A Wholly Owned Subsidiary  
303 North Beaufort Street  
Georgetown, DE 19147  
T. 302.251.9215  
3000 North Mall Road  
Salisbury, MD 21804  
T. 410.372.8833  
www.fhahall.com Copyright © 2014



REVISIONS		
NO.	DATE	DESCRIPTION
1	11/29/23	REVISIONS PER AGENCY COMMENTS

LANDSCAPE PLAN  
FOR  
**STARBUCK'S**  
COMPREHENSIVE DEVELOPMENT PLAN  
LOT 5, GATEWAY CROSSING SHOPPING CENTER  
CITY OF SALISBURY  
WICOMICO COUNTY, MARYLAND

Date: 11/14/2016  
Job Number: S23058  
Scale: 1"=20'  
Drawn By: B.HALL  
Designed By:  
Approved By: SWF

Sheet No.: **3 OF 3**  
File Name: S23058-cdp-site





## Infrastructure and Development Staff Report December 21, 2023

### I. BACKGROUND INFORMATION:

Project Name: TidalHealth Community Clinic  
Applicant/Owner: Parker & Associates, Inc. for TidalHealth  
Case No.: 23-022  
Nature of Request: Preliminary Comprehensive Site Plan Approval  
Location of Property: 805 E Church St; Tax Map: 0108, Grid: 0003, Parcel: 1848  
Existing Zoning: R-5A

### II. DISCUSSION:

The applicants are proposing to construct a 16,846 sf residential community clinic as defined in the text amendment adopted via Ordinance No. 2821. The applicant has requested Preliminary/Final approval however the use is permitted by special exception which has not been granted. The special exception must be granted by the Board of Appeals prior to Final approval by the Planning Commission. **(Attachment 1)**

### III. PLANNING AND ZONING:

#### A. History

The site previously contained the building known as the Hotel Esther that is listed in the historical survey with the Maryland Historical Trust (“MHT”), (WI-528). The owner of the property voluntarily worked with MHT to provide access to document the structure prior to demolition. The previous use of the site has been predominantly residential.

#### B. Site Description

The 1.947 acre parcel is bound on three (3) sides by Benny Street to the north, Naylor Street to the west, Church Street to the south, and two (2) residential properties to east along Marshal Street. The property has access from all three (3) abutting streets. **(Attachment 2)**

**C. Surrounding Area Development**

The area around the site consists of mainly single-family dwellings with some general commercial activity to the north.

**IV. COMPREHENSIVE SITE PLAN REVIEW:**

**A. Parking**

The parking standard for this use is medical clinic, 1 per 250 sf of gross floor area, for a maximum of 68 spaces. The site plan shows 47 spaces, 2 handicap spaces, and 1 loading space. Staff finds the vehicle parking to be acceptable as patients may use other forms of transportation due to the nature of a community clinic. Staff is requesting that a minimum for 10 bicycle spaces be added as currently none are shown. **(Attachment 2)**

**B. Refuse Disposal:** Trash collection will be private and the current location with screening is compliant with the code.

**C. Building Setbacks/Spacing:** The minimum lot, yard, perimeter and height requirements are set forth in 17.160 as follows:

**B. Minimum Lot Requirements.**

1. Lot area: one acre.
2. Lot width corner lot: sixty-five (65) feet.

**C. Minimum Yard and Perimeter Requirements.**

1. Front yard: twenty-five (25) feet.
2. Side yard: ten (10) feet (two required).
3. Rear yard: thirty (30) feet.

**D. Height: forty (40) feet.**

The proposed site plan complies with all code requirements.

**D. Fire Service:**

The project is subject to further review by the Salisbury Fire Department.





# City of Salisbury

## **E. Landscaping**

The Zoning Code requirement for landscaping is a 20 ft. wide landscaped area and at least a 6 ft. fence from adjoining residential uses. The site plan, page L-101, complies with this requirement along the eastern property line. Additional landscaping has been provided throughout the property as well as a community garden. Staff anticipates that the landscaping and appearance of the property will be held to the same standard as the Peninsula Regional grounds. **(Attachment 2)**

## **F. Building Elevations**

Building elevations and renderings are provided in Attachment 2. Architectural design features from the Hotel Esther have been incorporated into the design of the community clinic.

## **G. Stormwater Management**

Stormwater Management Concept has been approved.

## **H. Forest Conservation Program**

City staff will request review by the County of the project for compliance with the FCA.

## **J. Transportation, Streets, and Pedestrians**

Review comments will be provided during engineering review and addressed prior to Final Comprehensive Site Plan approval.

## **V. PLANNING COMMENTS:**

This community clinic will increase healthcare access to neighborhood residents that may have sought access via the hospital or not at all. The community benefits are not just limited to medical access as the facility will also serve as a meeting space for counseling, education, and other community wellness activities and outreach.

## **VI. STAFF RECOMMENDATION:**

Staff recommends approval of the Preliminary Comprehensive Site Plan with the following conditions:



1. The site shall be developed in accordance with a Final Comprehensive Site Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Obtain a special exception from the Board of Appeals for the use prior to the approval of a Final Comprehensive Site Plan;
3. Submit a sign plan for Planning Commission approval prior to the issuance of sign permits;
4. Provide ten (10) bicycle parking spaces;
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.





ARCHITECTURE  
ENGINEERING

PLANNING OUR  
CLIENTS' SUCCESS

November 3, 2023

Brian Soper, City Planner  
City of Salisbury Department of Infrastructure & Development  
125 N. Division Street, #202  
Salisbury, Maryland 21801

Re: **Planning Commission – Preliminary/Final Site Plan**  
**TidalHealth Community Clinic**  
805 East Church Street  
Salisbury, Maryland  
2020019.18

Dear Brian,

Attached please find our submittal for Preliminary/Final Site Plan for Planning Commission review/input/approval. As we have went through the text amendment process on this our plans have moved much closer to final, so if suitable we'd like to have this considered for both Preliminary and Final PC approval.

We have included (5) five sets as required, including the Site Plan Documents, but have also added architectural elevations and renderings at the end of the set for the Commissions reference.

We submit the attached information for your use in scheduling the project for review by the Planning Commission at the December meeting. Should you have any questions or require additional information, please feel free to contact me at 410-546-9100 or by email at [kparsons@beckermorgan.com](mailto:kparsons@beckermorgan.com).

Sincerely,

BECKER MORGAN GROUP, INC.

Kevin W. Parsons  
Senior Associate

kwp/

Enc: (5) Preliminary/Final PC Drawing Sets w/ Reference Architectural  
(1) PDF Copy provided on Flash Drive

BECKER MORGAN GROUP, INC.

PORT EXCHANGE  
312 WEST MAIN STREET, SUITE 300  
SALISBURY, MARYLAND 21801  
410.546.9100

309 SOUTH GOVERNORS AVENUE  
DOVER, DELAWARE 19904  
302.734.7950

THE TOWER AT STAR CAMPUS  
100 DISCOVERY BOULEVARD, SUITE 102  
NEWARK, DELAWARE 19713  
302.369.3700

3333 JAECKLE DRIVE, SUITE 120  
WILMINGTON, NORTH CAROLINA 28403  
910.341.7600

[www.beckermorgan.com](http://www.beckermorgan.com)

202001918ae-PC-ltr.docx

ATTACHMENT 1



**CITY OF SALISBURY GENERAL NOTES :**

- THE CITY RESERVES THE RIGHT TO REQUIRE STRUCTURAL MODIFICATIONS TO THE SITE WORK FOLLOWING PERMIT ISSUANCE IF SUCH MODIFICATIONS ARE NECESSARY.
- ALL STABILIZATION, PAVING AND ROAD PATCHING IN THE PUBLIC ROADWAY, WHICH IS NECESSITATED BY THE CONSTRUCTION OF THIS PROJECT, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, USING A PAVING CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. MILLING AND REPAVING WILL BE IN ACCORDANCE WITH RESOLUTION 2298.
- ALL DETERIORATED CURB, GUTTER AND SIDEWALKS, AS DETERMINED BY THE CITY, ALONG THE FRONTAGE(S) OF THE PROPERTY MUST BE REPLACED AT THE TIME OF CONSTRUCTION USING A CONCRETE CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. HANDICAP RAMPS PER CURRENT ADA GUIDELINES ARE REQUIRED AT ALL PUBLIC STREET AND DRIVEWAY INTERSECTIONS. DETECTABLE WARNING DEVICES (TRUNCATED DOMES) MUST BE PROVIDED AT ALL PUBLIC STREET INTERSECTION HANDICAP RAMPS AND AS DIRECTED BY D.D. SEE CITY STANDARD 100.37.
- ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAINS, CURB, GUTTER, SIDEWALKS, STREET LIGHTS, AND PAVING IN ITS ENTIRETY MUST BE ACCEPTED IN WRITING BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SEE SECTION 16.48.030 OF THE SALISBURY SUBDIVISION REGULATIONS. REDUCTIONS IN PROJECT SURETY WILL NOT BE APPROVED PRIOR TO FINAL WRITTEN ACCEPTANCE BY THE CITY OF ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS. SUB-PHASING OF THIS PROJECT SHALL NOT BE PERMITTED.
- A WRITTEN "NOTICE TO PROCEED" MUST BE OBTAINED FROM AND A PRE-CONSTRUCTION MEETING SCHEDULED WITH D.D. BEFORE BEGINNING CONSTRUCTION IN CITY PUBLIC RIGHTS, EASEMENTS AND/OR CITY MAINTAINED UTILITIES OR ROADWAYS. THIS REQUIREMENT ALSO APPLIES TO CONSTRUCTION OF ANY PRIVATE STORMWATER MANAGEMENT CONTACT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, ROOM 202, 125 N. DIVISION ST., SALISBURY, MARYLAND, 21801-4940, TELEPHONE 410-548-3170, TO SCHEDULE A PRE-CONSTRUCTION MEETING AND OBTAIN A WRITTEN "NOTICE TO PROCEED". 48 HOURS NOTICE IS REQUIRED.
- STREET TREES SHALL BE PLANTED PER THE CURRENT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT STREET TREE POLICY.
- CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1 / S-1.
- CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR INSPECTION OF PRIVATE UTILITY MAINS.
- MILLING AND REPAVING SHALL BE PER RESOLUTION 2298.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT-OF-WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- EXISTING WATER MAIN CONTRACT NUMBER 5-15-W, EXISTING SEWER MAIN CONTRACT NUMBER 5-15-S.
- 7 EDU'S OF WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS PROJECT, SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- APPROVAL OF THE SITE PLAN AND UTILITY DRAWINGS EXPIRES TWO (2) YEARS FROM THE FINAL APPROVAL DATE. CONSTRUCTION OF THE PROJECT MUST HAVE BEEN STARTED PRIOR TO THE EXPIRATION DATE. THE CITY RESERVES THE RIGHT TO EXTEND THE EXPIRATION DATE UPON WRITTEN REQUEST AND WRITTEN CONFIRMATION.
- PROVIDE RESIDENT INSPECTION FOR THE CONSTRUCTION OF THE PRIVATE STORM WATER MANAGEMENT SYSTEM APPROVED AS PART OF THE IMPROVEMENTS CONSTRUCTION PLAN. DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MSP) WITH GRAVEL SUBSTRATE, INCLUDING THE RAIN GARDENS, MICRO-BIOTENTATION, SUBMERGED GRAVEL WETLANDS, POROUS CONCRETE, ETC. THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT WITH A DAILY PROGRESS REPORT SEALED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN MARYLAND. THE REPORT IS TO INCLUDE THE FOLLOWING AS APPLICABLE: THE DIMENSION AND HEIGHT OF THE CHAMBERS AS WELL AS LOCATION, SIZE, AND NUMBER OF CHAMBERS PLACED. ALSO, THE LOCATION, SIZE, AND DEPTH OF MEDIA LAYERS FOR MSPS. THE FINAL OCCUPANCY CERTIFICATE AND SURETY WILL BE WITHHELD UNTIL THE DAILY PROGRESS REPORT(S) HAVE BEEN ACCEPTED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- FOLLOWING COMPLETION OF CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMISSION AS-BUILT DRAWINGS OF THE PUBLIC UTILITY MAINS AND STORM DRAINS. THE PRIVATE STORMWATER MANAGEMENT AS-BUILTS MUST BE SUBMITTED WITHIN 60 CALENDAR DAYS FOLLOWING THE DATE OF MDE'S FINAL FIELD INSPECTION REPORT FOR SEDIMENT CONTROL. SUBMIT A COPY OF THIS REPORT WITH THE AS-BUILTS. ALL APPLICABLE AS-BUILTS MUST BE SUBMITTED AT THE SAME TIME UNLESS OTHERWISE APPROVED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. PARTIAL SUBMITTALS WILL BE REJECTED. THE "AS-BUILT" DRAWINGS MUST BE SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER, CURRENTLY REGISTERED IN MARYLAND. THE INITIAL SUBMITTAL SHALL BE PAPER ONLY, THREE (3) COPIES. THE FINAL AS-BUILTS MUST BE SUBMITTED TO THIS OFFICE ON MYLAR AND AUTO-CAD 2016 OR LATER VERSION OF AUTO-CAD. ALL CONTRACT DISCS (CD) MUST BE IN A PLASTIC PROTECTIVE CASE. PROJECT SURETY WILL BE WITHHELD UNTIL FINAL OCCUPANCY CERTIFICATE SHALL BE DELAYED UNTIL THIS AS-BUILT INFORMATION IS SUBMITTED TO AND APPROVED BY THIS OFFICE.

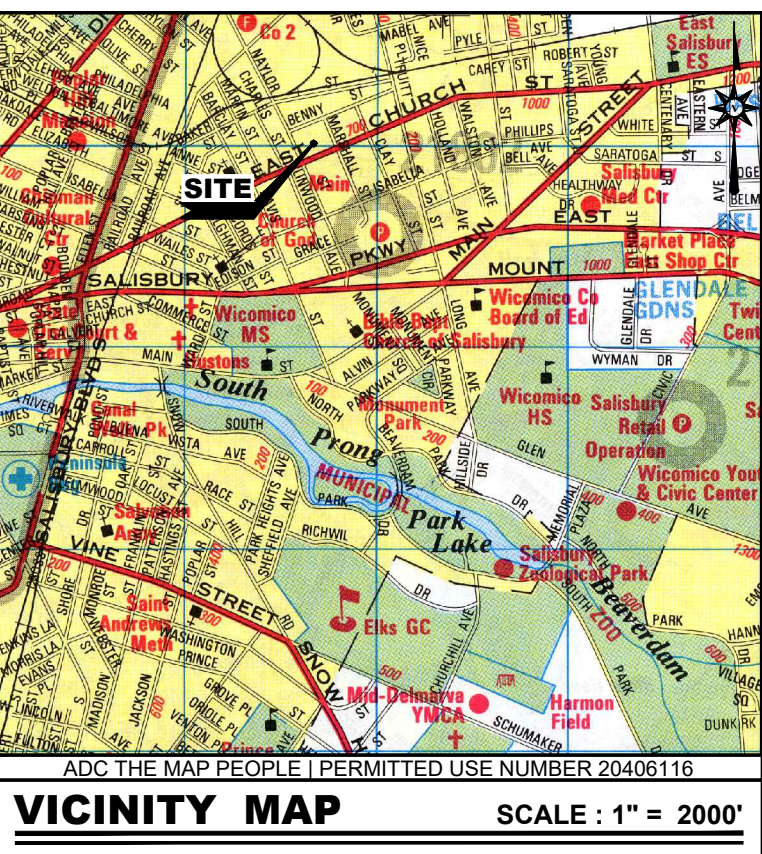
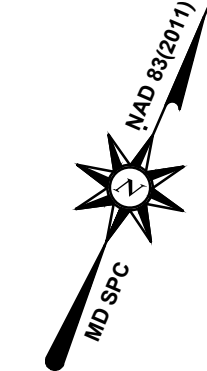
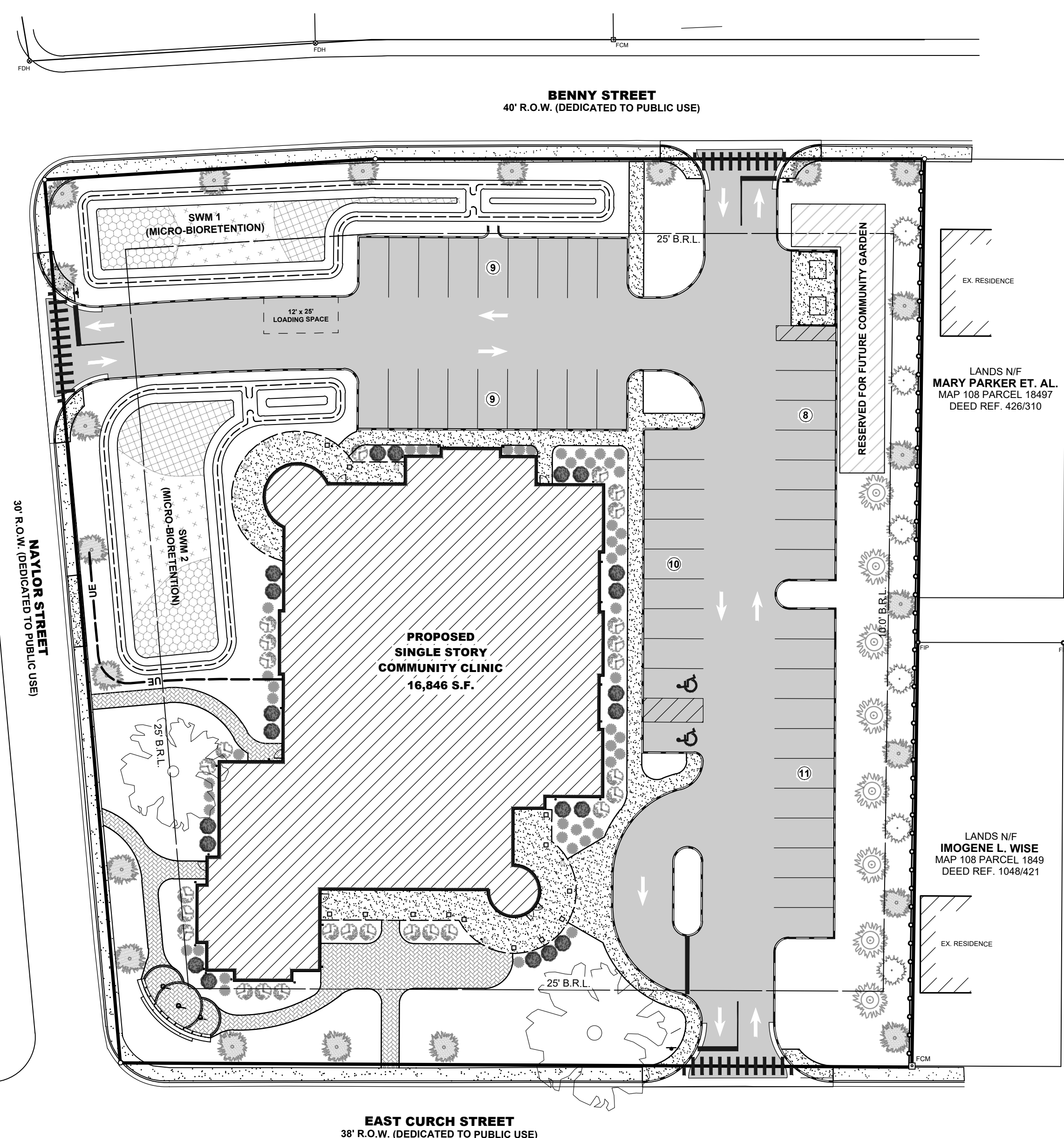
**DISCREPANCIES**

- THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE CITY REPRESENTATIVE OR THE CONSULTANT OF ANY DISCREPANCIES IN THE DRAWINGS AND EXISTING CONDITIONS.
- ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY.
- THE CITY REPRESENTATIVE OR THE CONSULTANT WILL REVIEW THE CONTRACTOR'S FINDING TO CONFIRM THE DISCREPANCY.
- THE CITY REPRESENTATIVE OR THE CONSULTANT WITH SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT APPROVAL WILL ISSUE NEW INSTRUCTIONS AS SOON AS POSSIBLE TO RELIEVE THE DISCREPANCY.
- THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY BEFORE START OF WORK OR CONTINUATION AFTER THE DISCREPANCY ARISES.

**CITY OF SALISBURY - UTILITY CONSTRUCTION NOTES :**

- THE OWNER/DEVELOPER SHALL USE A CONTRACTOR/SUBCONTRACTOR CURRENTLY APPROVED BY THE CITY OF SALISBURY FOR CONSTRUCTION OF THE PARTICULAR TYPE OF IMPROVEMENT. PAYMENT TO THE CONTRACTOR SHALL BE THE OWNER'S/DEVELOPER'S RESPONSIBILITY. THE CITY OF SALISBURY MAY SUSPEND OR CANCEL CONSTRUCTION WHEN THE CONTRACTOR DOES NOT PROGRESS IN A CONTINUOUS MANNER AND/OR THE CONSTRUCTION METHOD OR MATERIALS SUPPLIED ARE LESS THAN THE STANDARD SET FORTH IN THE "CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION" OR WHEN THE CONTRACTOR IS IN COMPLIANCE WITH THE PUBLIC WORKS AGREEMENT AND RELATED RESPONSIBILITIES CONTAINED THEREIN. THE TYPE AND QUANTITY OF MATERIAL TESTING WILL BE DETERMINED BY THE CITY OF SALISBURY FIELD INSPECTOR DURING CONSTRUCTION, AS DESCRIBED IN THE CONSTRUCTION/MATERIAL SPECIFICATIONS. TESTING COSTS SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
- THE APPROVED UTILITY CONTRACTOR'S FIELD REPRESENTATIVE SHALL BE REQUIRED TO FOLLOW AND HAVE AN APPROVED, SIGNED COPY OF THE UTILITY DRAWINGS, THE LATEST REVISION OF THE CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATION FOR UTILITY AND ROADWAY CONSTRUCTION AND THE CONSTRUCTION STANDARDS, (STANDARD DETAILS) MANUALS AT THE CONSTRUCTION AREA DURING WORKING HOURS.
- ALL CONSTRUCTION WITHIN CITY RIGHT OF WAYS AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL ELEVATIONS AGAINST A PREVIOUSLY CONSTRUCTED POINT OF KNOWN ELEVATION BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777, THREE (3) DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES.
- DURING THE PROGRESS OF THE JOB, THE CONTRACTOR SHALL KEEP A CAREFUL RECORD AT THE JOB SITE OF ALL CHANGES AND CORRECTIONS TO THE INFORMATION SHOWN ON THE CONTRACT DRAWING(S) AND THE STORMWATER MANAGEMENT PLAN DRAWING(S). PRIOR TO BACKFILL, THE CONTRACTOR SHALL ENTER SUCH CHANGES AND CORRECTIONS ON ONE SET OF RED LINE AS BUILT DRAWINGS. THE RED LINE AS BUILT DRAWINGS SHALL INDICATE, IN ADDITION TO ALL CHANGES AND CORRECTIONS, ALL SUBSURFACE STRUCTURES/UTILITIES INSTALLED OR UNCOVERED, REFERENCED TO TWO PERMANENTLY FIXED SURFACE STRUCTURES. PRIOR TO TESTING OF THE UTILITY UTILITIES AND ACCEPTANCE OF THE SWM FACILITIES INVOLVED UNDER THE CONTRACT, THE CONTRACTOR SHALL SUBMIT, CONCURRENTLY, TO THE OWNER ONE SET OF RED LINE AS BUILT DRAWINGS SHOWING THE AFORESAID DATA AND ONE COPY OF THE RED LINE AS BUILT DRAWINGS TO SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. SHOULD THE CONTRACTOR FAIL TO MAINTAIN RED LINE AS BUILT DRAWINGS(S), THE OWNER MAY BE REQUIRED TO HIRE A PRIVATE LOCATOR AND MAY BE REQUIRED TO TEST THE MAINS AT THE DISCRETION OF THE CITY ENGINEER. PARTIAL ACCEPTANCE OF THE PUBLIC UTILITIES AND ACCEPTANCE OF THE STORMWATER MANAGEMENT FACILITY MAY BE DELAYED PENDING RECEIPT OF THIS INFORMATION.
- SEWER MAINS TO BE SDR-35 PVC.
- SANITARY SEWER MANHOLES SHALL CONFORM TO CITY STD. NO. 400.13.
- ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE MANHOLE LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE MANHOLE LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.
- FOR INSPECTION OF PRIVATE SEWER MAINS AND FOR ABANDONMENT OF EXISTING SEWER SERVICES, CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR REQUIREMENTS, AND TO COORDINATE THE WORK AND INSPECTION.
- MAINTAIN 42" OF COVER OVER ALL NEW WATER MAINS.
- FIRE HYDRANTS AND VALVES SHALL CONFORM TO CITY STD. NO. 300.55.
- BLOW OFF HYDRANTS SHALL CONFORM TO CITY STD. NO. 300.51.
- WATER MAINS TO BE C900 PVC.
- DUCTILE IRON MECHANICAL JOINT FITTINGS PER CITY'S CONSTRUCTION AND MATERIALS SPECIFICATION SHALL BE USED TO RESTRAIN ALL WATER MAIN JOINTS.
- #12 SOLID COATED COPPER TRACER WIRE TO BE USED ON ALL CITY WATER MAINS PER CITY STD. NO. 300.55.
- ALL VALVE BOXES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE VALVE BOX LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE VALVE BOX LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID.
- WATER METERS AND ASSOCIATED VAULTS SHALL NOT BE LOCATED IN DRIVEWAYS OR OTHER AREAS INTENDED FOR VEHICULAR TRAFFIC. ANY METER OR VAULT FOUND TO BE IN SUCH AN AREA AFTER PROJECT COMPLETION, SHALL BE RELOCATED TO A DID AND UNCOVERED LOCATION. THE OWNER SHALL BEAR ALL EXPENSE ASSOCIATED WITH THE RELOCATION INCLUDING BUT NOT LIMITED TO ADDITIONAL INSPECTION FEE, WATER MAIN TAPS, PAVEMENT, CURB, GUTTER, AND/OR SIDEWALK RESTORATION, ANY RESETTING, AND ANY AND ALL ASSOCIATED APPURTENANCES.
- DEFLECT THE WATER MAIN AROUND OTHER UTILITIES PER CITY STD. NO. 300.42 AS NECESSARY TO AVOID CONFLICTS. MAINTAIN A MINIMUM OF 1' OF SEPARATION BETWEEN THE OUTSIDE EDGE OF PIPES. IF WATER MAINS ARE INSTALLED BEFORE ANY OTHER UTILITY IT WILL BE AT THE RISK OF THE CONTRACTOR.
- EXISTING WATER SERVICES THAT ARE TO BE ABANDONED/CAAPPED AT THE CORPORATION STOP ON THE MAIN PER SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT INSPECTOR'S REQUIREMENTS. IF THE SERVICE DOES NOT HAVE A CORPORATION STOP IT SHALL BE ABANDONED PER CITY'S INSPECTOR'S REQUIREMENTS.

# TIDALHEALTH COMMUNITY CLINIC



**SOILS LEGEND :**

ENTIRE SITE: U8 - URBAN LAND-FORT MOTT COMPLEX  
0 - 5 PERCENT SLOPES  
HSG: A [100% OF SITE]

SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.

**SITE DATA**

- OWNER OF RECORD: TIDALHEALTH PENINSULA REGIONAL INC. 100 E. CARROLL ST. SALISBURY, MD 21801 CONTACT: BARRY PAYNE PHONE: 410-548-3248 EMAIL: BARRY.PAYNE@TIDALHEALTH.ORG
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC. 312 WEST MAIN STREET, SUITE 300 SALISBURY, MD 21801 CONTACT: KEVIN W. PARSONS PHONE: 410-546-9100 EMAIL: KPARSONS@BECKERMORGAN.COM
- TAX MAP REFERENCE: MAP 108 - GRID 3 - PARCEL 1848
- ZONING CLASSIFICATION: R-5A
- DEED SUMMARY: 5120/220
- PLAT REFERENCE: 161/1
- PRESENT USE: VACANT
- PROPOSED USE: INSTITUTIONAL / HOSPITAL / EMERGENCY ROOM
- TOTAL SITE AREA: 1.947 ACRES
- PROPOSED BUILDING AREA: 16,846 S.F.
- PARKING CALCULATIONS: MEDICAL CLINIC MAX ALLOWABLE: 1 SPACE PER 250 S.F. = 16,846/250 = 68 SPACES PROVIDED: 47 SPACES HANDICAP PARKING SPACES: 2 SPACES LOADING SPACE(S) REQUIRED/PROVIDED: 1/1
- SETBACKS: R-5A ZONING FRONT: 25' SIDE: 10' EACH BACK: 30'
- BUILDING HEIGHT: PERMITTED: 40' PROPOSED: 39.5'
- SOURCE OF WATER: CITY OF SALISBURY
- SOURCE OF SEWER: CITY OF SALISBURY
- SOURCE OF GAS: CHESAPEAKE UTILITIES
- SOURCE OF ELECTRIC: DELMARVA POWER
- SURVEY BENCHMARK: NGS BENCHMARK: EAST SCHOOL VERTICAL: NAVD 89 HORIZONTAL: NAV 83/2011
- FLOOD ZONE: SITE IS LOCATED WITHIN FLOOD ZONE "X", AN AREA OF MINIMAL FLOOD HAZARD, PER FEMA FIRMETTE 24045C0252E, WITH AN EFFECTIVE DATE OF 08/17/2015

**GENERAL NOTES :**

- BOUNDARY AND TOPOGRAPHIC SURVEY DATA SHOWN WAS PREPARED BY BECKER MORGAN GROUP, SALISBURY, MD., IN APRIL OF 2023. VERTICAL DATUM IS BASED ON NAVD 89. HORIZONTAL DATUM IS BASED ON MARYLAND STATE PLANE NAVD 89 (2011).
- PROPERTY SHOWN HEREON IS SUBJECT TO ANY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. AS MAY BE SHOWN OR NOTED IN ANY RECORD, PUBLIC OR OTHERWISE, OR ANY REQUIREMENT OR REGULATION OF ANY PUBLIC AGENCY.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- THIS SITE IS LOCATED WITHIN FLOOD ZONE X - AREAS OF MINIMAL FLOOD HAZARD BASED ON FEMA MAP 24045C0252E, PANEL, DATED AUGUST 17, 2015.
- ALL FIRE LANES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE MARYLAND STATE FIRE PREVENTION REGULATIONS.
- CONTRACTOR TO REPAIR ANY AND ALL EXISTING SIDEWALK AND/OR CURB DAMAGED DURING CONSTRUCTION TO ITS EXISTING CONDITION.

**AREA TABULATION**

TOTAL PARCEL AREA:	1.947 ACRES
TOTAL OPEN SPACE AREA:	0.800 ACRES (41.09%)
BUILDING AREA (FOOTPRINT):	16,846 S.F. (0.38 ACRES)
PARKING/DRIVE AISLE AREA:	23,909 S.F. (0.55 ACRES)

LEGEND				
ITEM	EXISTING	PROPOSED	ITEM	PROPOSED
CONCRETE CURB & GUTTER	[Symbol]	[Symbol]	SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	[Symbol]
CONCRETE SIDEWALK, SLAB / PAVING	[Symbol]	[Symbol]	SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	[Symbol]
ASPHALT/URVIC SURFACED DRIVE, DRIVE OR LOT	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE (S.M.H.)	[Symbol]
INDIVIDUAL TREE OR BUSH	[Symbol]	[Symbol]	SANITARY SEWER CLEANOUT	[Symbol]
WIRE FENCE	[Symbol]	[Symbol]	FIRE HYDRANT	[Symbol]
CHAINLINK FENCE	[Symbol]	[Symbol]	WATER VALVE (W.V.) OR METER (W.M.)	[Symbol]
STOCKADE FENCE	[Symbol]	[Symbol]	STORM DRAIN MANHOLE (S.D.M.H.)	[Symbol]
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	[Symbol]	[Symbol]	STORM DRAIN LINE (CMP OR RCP)	[Symbol]
DRAINAGE DITCH OR SWALE	[Symbol]	[Symbol]	CATCH BASIN	[Symbol]
EMBANKMENT/SIDEPOLES (DOWN)	[Symbol]	[Symbol]	UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	[Symbol]
CONTOUR	[Symbol]	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]
ELEVATION SPOT SHOT	[Symbol]	[Symbol]	UNDERGROUND TELEPHONE	[Symbol]
BENCH MARK	[Symbol]	[Symbol]	UNDERGROUND GAS MAIN	[Symbol]
PROPERTY OR RIGHT-OF-WAY LINE	[Symbol]	[Symbol]	PAVEMENT TO BE REMOVED	[Symbol]
CENTERLINE	[Symbol]	[Symbol]		
RIGHT POLE	[Symbol]	[Symbol]		
CONSTRUCTION NOTE	[Symbol]	[Symbol]		

**SHEET INDEX**

- C-001 COVER SHEET
- C-101 EXISTING CONDITION / DEMOLITION PLAN
- C-201 SITE & LAYOUT PLAN
- C-301 UTILITY PLAN
- C-401 GRADING PLAN
- C-501 EROSION & SEDIMENT CONTROL PLAN
- C-502 EROSION & SEDIMENT CONTROL DETAILS
- C-901 CONSTRUCTION DETAILS
- L-101 LANDSCAPING PLAN
- SWM-1 PRE-DEVELOPED DRAINAGE AREA MAP
- SWM-2 POST-DEVELOPED DRAINAGE AREA MAP

**CITY OF SALISBURY CERTIFICATION**

APPROVED: \_\_\_\_\_ CITY PROJECT: \_\_\_\_\_  
CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT

RICHARD D. BALDWIN DIRECTOR DATE \_\_\_\_\_

**OWNERS CERTIFICATION**

WE, TIDALHEALTH PENINSULA REGIONAL INC., HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYORS CERTIFICATION**

I, KEVIN W. PARSONS, HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD SURVEYING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF MARYLAND.

BY: \_\_\_\_\_ SUPERVISOR  
DATE: \_\_\_\_\_

THE APPROVAL OF THE WICOMICO SOIL CONSERVATION DISTRICT DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO EFFECTIVELY ABATE SEDIMENT POLLUTION OR TO COMPLY WITH ALL OTHER APPLICABLE STATE AND LOCAL LAWS.

KEVIN W. PARSONS P.L.S. NO. 21233 DATE \_\_\_\_\_



**ARCHITECTURE ENGINEERING**

**Delaware**  
309 South Governors Avenue  
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The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
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302.369.3700

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410.546.9100

**North Carolina**  
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910.341.7600

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LICENSE NUMBER: 21233  
EXPIRATION DATE: 02/02/25

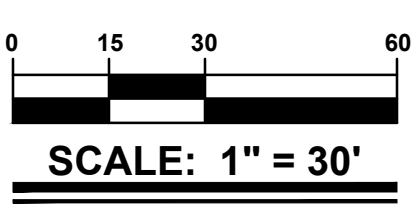
**PROJECT TITLE**

**TIDALHEALTH COMMUNITY CLINIC**

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

**SHEET TITLE**

**COVER SHEET & OVERALL SITE PLAN**



**ISSUE BLOCK**

DATE	DESCRIPTION
2020019.18	PROJECT NO.:
11/01/2023	DATE:
1" = 30"	SCALE:
EMS PROJ. MGR.: KWP	DRAWN BY:
SHEET	
<b>C-001</b>	
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LICENSE NUMBER: 21233  
EXPIRATION DATE: 02/02/25

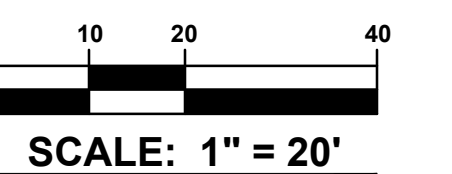
PROJECT TITLE

**TIDALHEALTH  
COMMUNITY  
CLINIC**

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE

**EXISTING  
CONDITIONS AND  
DEMOLITION PLANS**



ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18

DATE: 11/01/2023

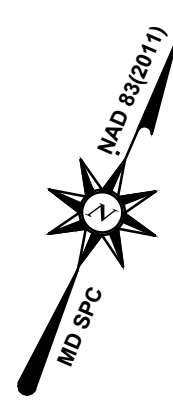
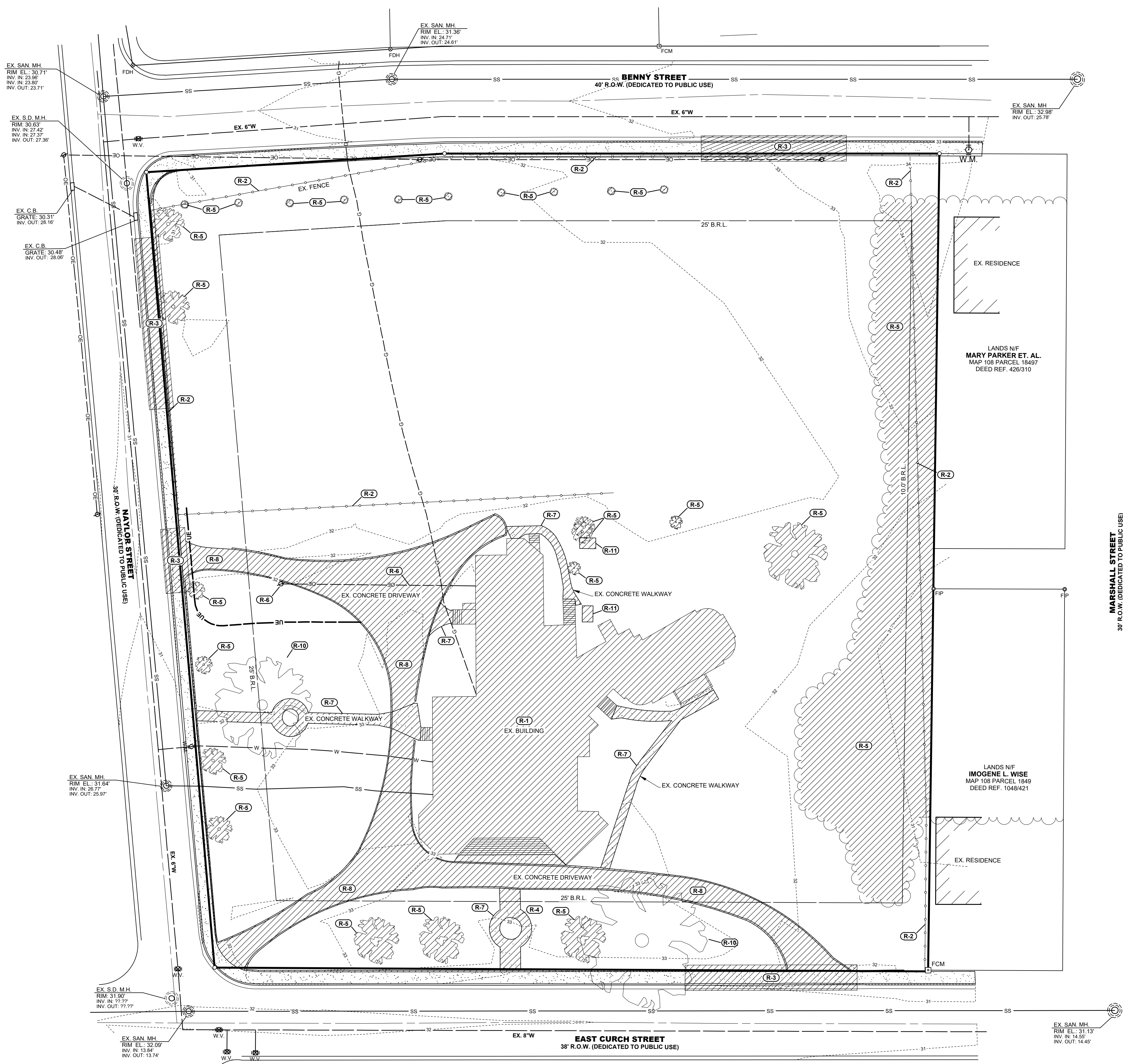
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DRAWN BY: EMS PROJ. MGR.: KWP

SHEET

**C-101**

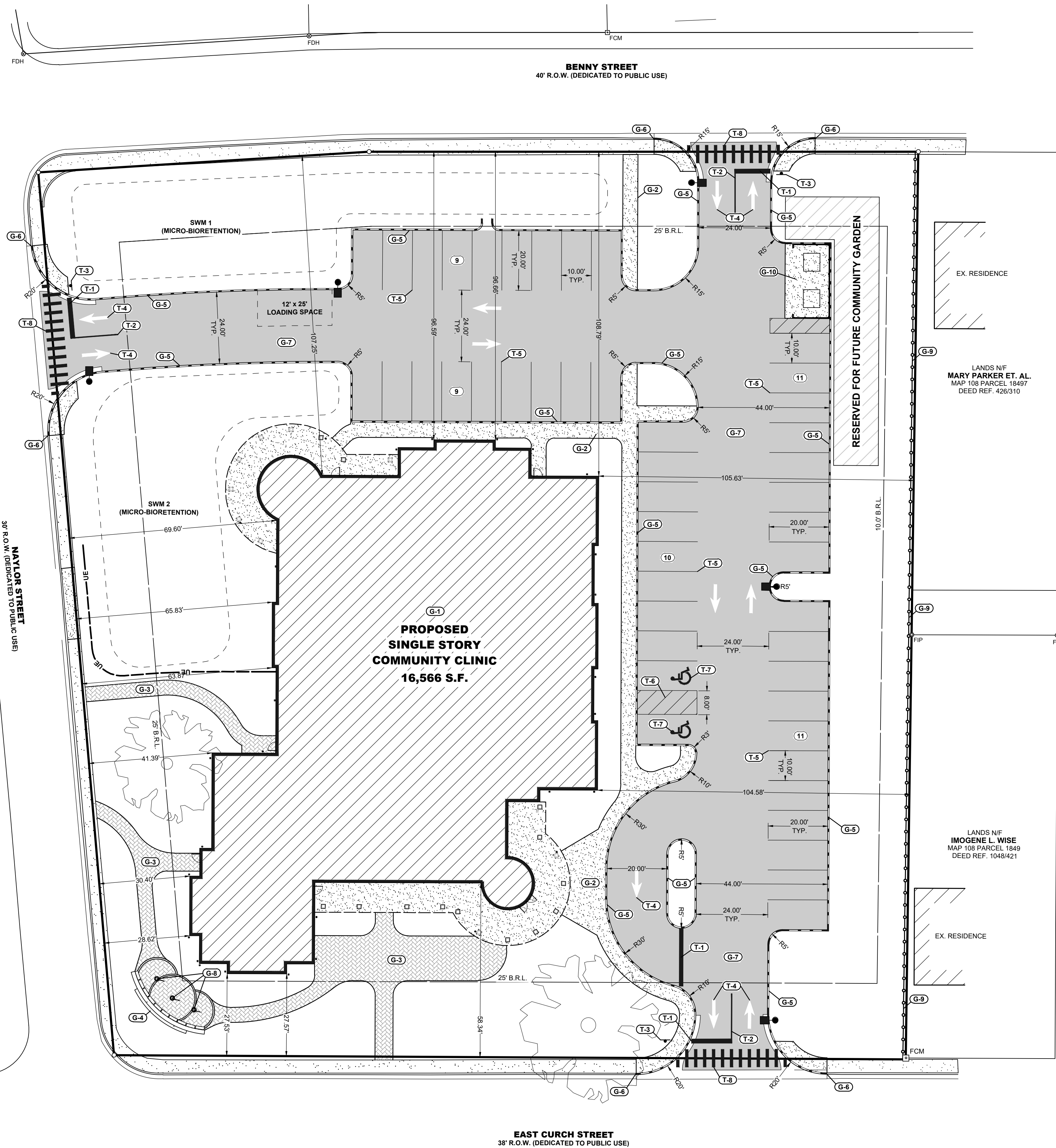
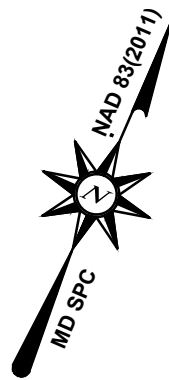
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**EXISTING IMPERVIOUS AREA**

TOTAL AREA:	1.947 ACRES
IMPERVIOUS AREA:	0.324 ACRES
PERCENT IMPERVIOUS:	16.64%

- DEMOLITION CONSTRUCTION NOTES**
- R-1** DEMOLISH AND REMOVE EXISTING BUILDING IN ITS ENTIRETY IN ACCORDANCE WITH ALL PERMIT SPECIFICATIONS AND REQUIREMENTS.
  - R-2** DEMOLISH AND REMOVE ALL EXISTING FENCE.
  - R-3** CONTRACTOR SHALL REMOVE EXISTING CONCRETE CURB, SIDEWALK AND, PAVING TO EXTENT SHOWN. A MINIMUM OF 2' WIDTH OF PAVING WILL NEED TO BE REMOVED. SEE SHEET C-201 FOR EXTENT OF NEW CONSTRUCTION.
  - R-4** DEMOLISH AND REMOVE OF EXISTING FLAG POLE.
  - R-5** CONTRACTOR SHALL CLEAR AND REMOVE EXISTING TREES, SHRUBS AND PLANTINGS AS SHOWN.
  - R-6** DEMOLISH AND REMOVE OF OVERHEAD ELECTRIC EQUIPMENT, LINES AND POLES TO BE COORDINATED WITH DELMARVA POWER CONTRACTOR TO CONFIRM EQUIPMENT IS SHUT OFF AND NOT IN USE PRIOR TO DEMOLISH/REMOVAL.
  - R-7** DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK.
  - R-8** DEMOLISH AND REMOVE CONCRETE DRIVE AND CURBING.
  - R-9** SAW-CUT EXISTING PAVEMENT FOR FULL DEPTH REMOVAL/REPLACEMENT.
  - R-10** INSTALL TREE PROTECTION
  - R-11** UNDERGROUND STORAGE TANKS TO BE LOCATED AND REMOVED AND ENVIRONMENTAL REMEDIATION TO BE COMPLETED.



PROPOSED IMPERVIOUS AREA	
TOTAL AREA:	1.947 ACRES
IMPERVIOUS AREA:	1.144 ACRES
PERCENT IMPERVIOUS:	58.76%

**GENERAL CONSTRUCTION NOTES**

- G-1 PROPOSED SINGLE STORY COMMUNITY CLINIC. SEE ARCHITECTURAL PLANS FOR DETAILS.
- G-2 INSTALL CONCRETE SIDEWALK (CLASS 1- CONCRETE PAVING) WIDTH PER PLAN. SEE CONCRETE PAVING DETAIL SHEET C-901.
- G-3 INSTALL BRICK PAVERS. SEE PAVERS DETAIL SHEET C-901.
- G-4 PROPOSED MONUMENT SIGN LOCATION. SEE ARCHITECTURAL & MEP PLANS FOR DETAILS.
- G-5 PROPOSED PARKING LOT 6" CURB. SEE DETAIL SHEET C-901.
- G-6 PROPOSED OFF-SITE CURB AND GUTTER TO BE CONSTRUCTED PER CITY OF SALISBURY STANDARD DETAIL 100.11.
- G-7 INSTALL PROPOSED FULL DEPTH HEAVY DUTY PAVEMENT SECTION. SEE DETAIL SHEET C-901.
- G-8 INSTALL PROPOSED FLAG POLES. SEE ARCHITECTURAL PLANS FOR DETAILS.
- G-9 7" HIGH VINYL SOLID SLAT PRIVACY FENCE (6" SOLID AND 1" LATTICE), GLENSHIRE BY WEATHERABLES OR APPROVED EQUAL.
- G-10 PROPOSED DUMPSTER PAD WITH SCREENING FENCE TO MATCH ITEM G-9 ABOVE. SEE DETAIL SHEET C-901.

**STRIPING & SIGNAGE CONSTRUCTION NOTES**

- T-1 PROPOSED 24" WIDE PAINTED STOP BAR.
- T-2 PROPOSED ROADWAY STRIPING - 4" SOLID YELLOW LINE
- T-3 INSTALL "STOP" SIGN 30" X 30" (R1-1 PER MD MUTCD).
- T-4 PROPOSED PAINTED WHITE ARROW IN ACCORDANCE WITH THE LATEST "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
- T-5 PROPOSED PAINTED STRIPING - 4" SOLID WHITE LINE.
- T-6 PROPOSED PAINTED STRIPING - 4" WIDE SOLID ACCESSIBLE BLUE LINES, 45" @ 4" O.C. SPACING (TYP.).
- T-7 PROPOSED ACCESSIBLE PARKING SYMBOL, PAINTED ACCESSIBLE BLUE (TYP). SEE SHEET C-901 FOR DETAILS.
- T-8 PROPOSED THERMOPLASTIC "PIANO KEY" STYLE PEDESTRIAN CROSSWALK. SEE DETAIL SHEET C-901.



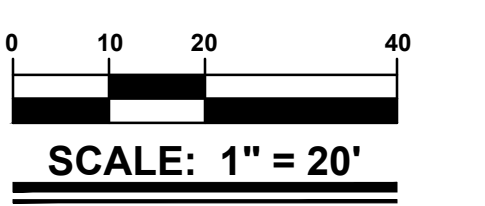
**ARCHITECTURE  
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Delaware  
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LICENSE NUMBER: 21233  
EXPIRATION DATE: 02/02/25

PROJECT TITLE  
**TIDALHEALTH  
COMMUNITY  
CLINIC**  
805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE  
**SITE PLAN**



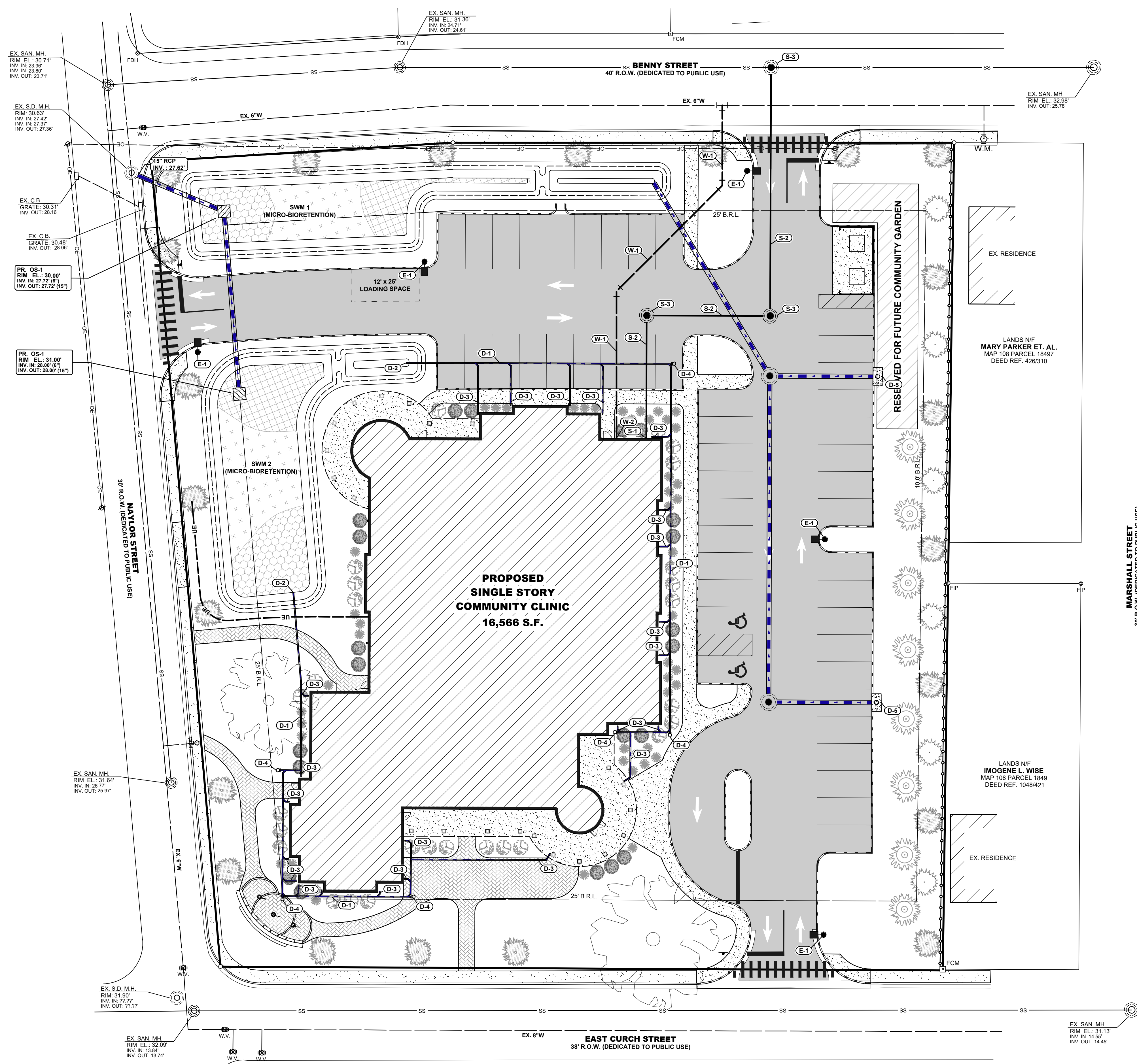
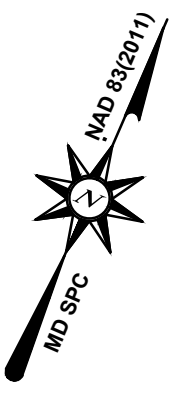
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DATE	DESCRIPTION

PROJECT NO.: 2020019.18  
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**C-201**

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- SANITARY SEWER CONSTRUCTION NOTES**
- S-1 CONNECT TO INTERNAL SANITARY SYSTEMS. SEE MEP PLANS FOR DETAILS.
  - S-2 INSTALL 6" SDR-35 PVC SANITARY SEWER LATERAL PER CITY OF SALISBURY STANDARD DETAIL 400.42.
  - S-3 PROPOSED SANITARY SEWER MANHOLE PER CITY OF SALISBURY STANDARD DETAIL 400.13.
- STORM SEWER CONSTRUCTION NOTES**
- D-1 INSTALL SDR-35 PVC TRUNK LINE FOR CANOPY/ROOF DRAINS.
  - D-2 INSTALL MITERED DRAIN W/ RODENT SCREENING AT DOWNSTREAM END OF PIPE.
  - D-3 INSTALL 6" SDR-35 DOWNSPOUT CONNECTIONS. SEE MEP PLANS FOR VERTICAL CONNECTIONS.
  - D-4 INSTALL CLEANOUT AT END OF PIPE RUN W/ TRAFFIC RATED CAP FLUSH WITH FINISHED PAVING.
  - D-5 PRECAST A-1 INLET TO BE INSTALLED PER CITY OF SALISBURY UTILITY STANDARD 500.45.
- DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**
- W-1 PROPOSED 6" WATER SERVICE PER CITY OF SALISBURY STANDARD DETAIL 300.26.
  - W-2 CONNECT TO INTERNAL WATER SYSTEMS. SEE MEP PLANS FOR DETAILS.
- ELECTRICAL SYSTEM CONSTRUCTION NOTES**
- E-1 PROPOSED SITE POLE LIGHT, DIRECT BURY BRONZE POLE WITH LUMARK #LAS45S-T3 BRONZE 450 WATT EQUIVALENT LED AREA LIGHT. POLE HEIGHT SHALL BE 20'.
- SITE LIGHTING NOTES**
1. SITE LIGHTING SHALL BE PROVIDED PER CITY OF SALISBURY STANDARDS.
  2. DURING PRELIMINARY AND FINAL REVIEW PROCESSES WITH THE CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, A PHOTOMETRIC PLAN SHALL BE PROVIDED TO INCLUDE LIGHT COVERAGE.

**BECKER MORGAN GROUP**

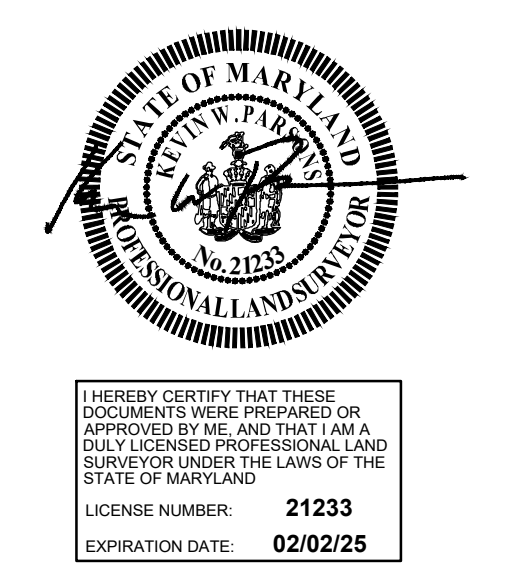
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PROJECT TITLE

**TIDALHEALTH COMMUNITY CLINIC**

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE

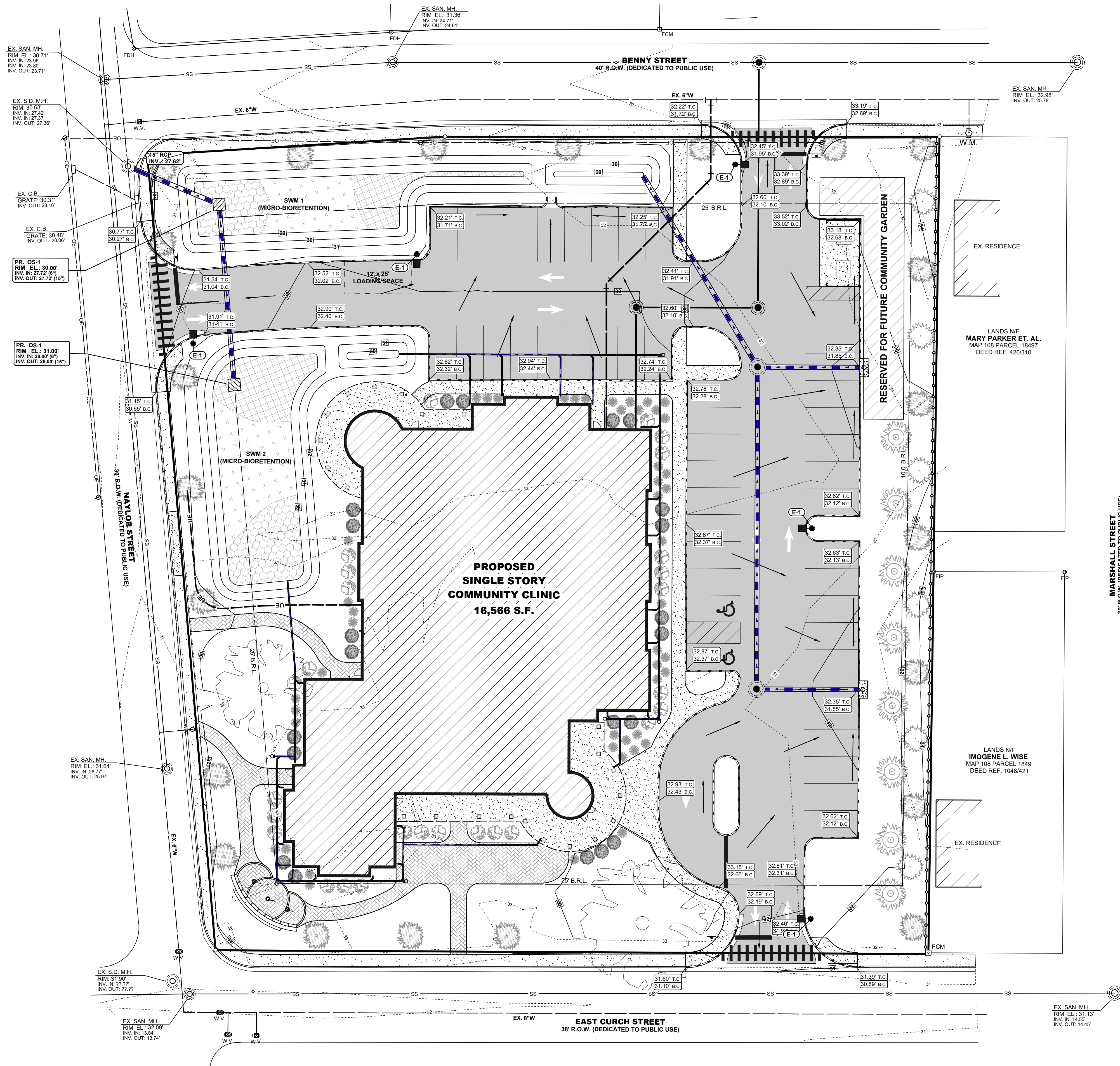
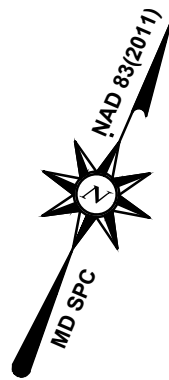
**UTILITY PLAN**

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SCALE: 1" = 20'

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11/01/2023	PROJECT NO.: 2020019.18
	DATE: 11/01/2023
	SCALE: 1" = 20'
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910.341.7600

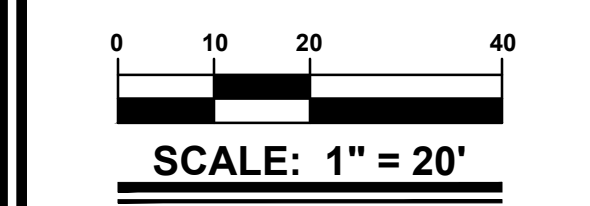
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FULLY LICENSED PROFESSIONAL LAND  
SURVEYOR UNDER THE LAWS OF THE  
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LICENSE NUMBER: 21233  
EXPIRATION DATE: 02/02/25

PROJECT TITLE  
**TIDALHEALTH  
COMMUNITY  
CLINIC**  
805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE  
**GRADING PLAN**



DATE	DESCRIPTION
11/01/2023	PROJECT NO.: 2020019.18
	DATE:
	SCALE: 1" = 20'
	DRAWN BY: EMS PROJ. MGR.: KWP
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LICENSE NUMBER: 21233  
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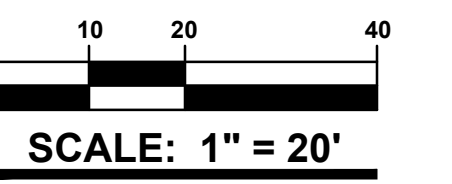
PROJECT TITLE

**TIDALHEALTH COMMUNITY CLINIC**

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE

**EROSION & SEDIMENT CONTROL PLAN DEMOLITION & BUILDING PAD ONLY**



ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18

DATE: 11/01/2023

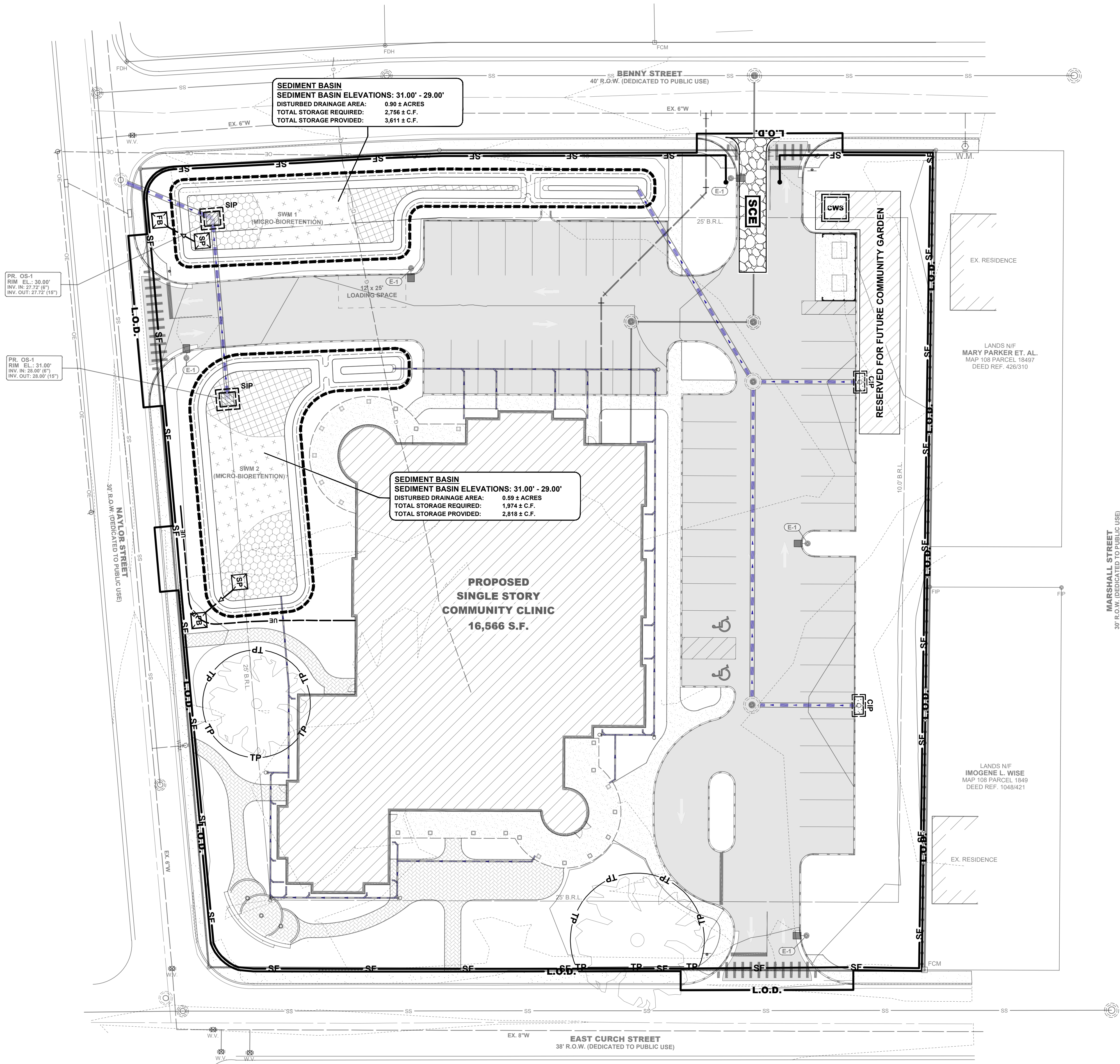
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**C-501**

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**SEDIMENT BASIN**  
SEDIMENT BASIN ELEVATIONS: 31.00' - 29.00'  
DISTURBED DRAINAGE AREA: 0.90 ± ACRES  
TOTAL STORAGE REQUIRED: 2,756 ± C.F.  
TOTAL STORAGE PROVIDED: 3,611 ± C.F.

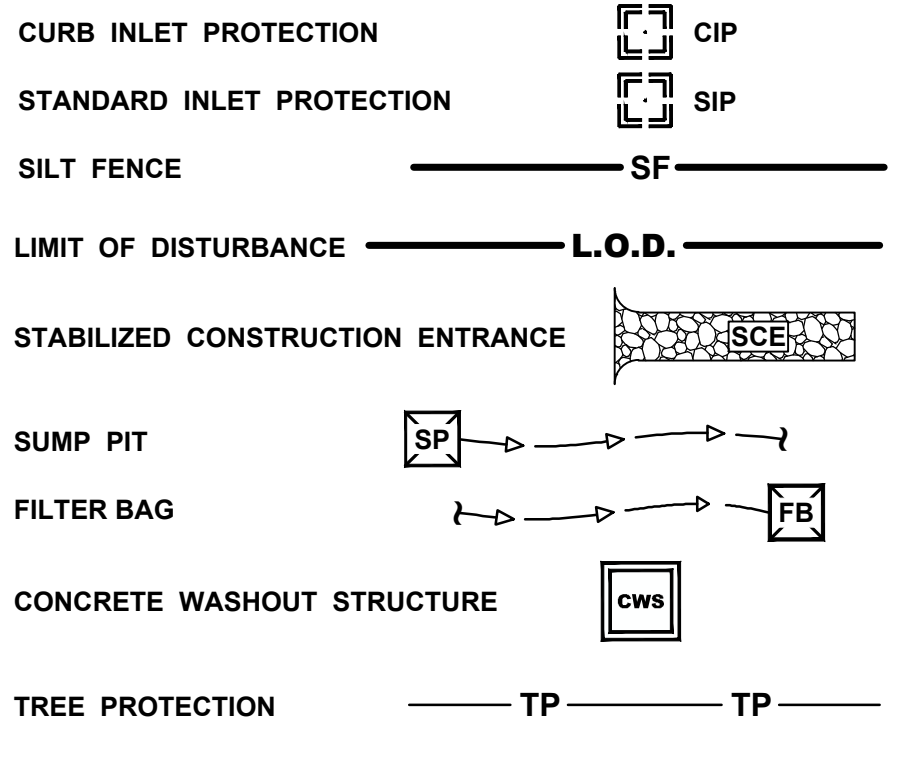
**SEDIMENT BASIN**  
SEDIMENT BASIN ELEVATIONS: 31.00' - 29.00'  
DISTURBED DRAINAGE AREA: 0.89 ± ACRES  
TOTAL STORAGE REQUIRED: 1,974 ± C.F.  
TOTAL STORAGE PROVIDED: 2,818 ± C.F.

**PROPOSED SINGLE STORY COMMUNITY CLINIC**  
16,566 S.F.

**SEQUENCE OF CONSTRUCTION**

1. CONTRACTOR TO OBTAIN ALL CITY, COUNTY, AND STATE PERMITS.
2. NOTIFY MDE AT 1-410-901-4020 TWO WEEKS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
3. NOTIFY THE WICOMICO COUNTY DEPARTMENT OF PUBLIC WORKS STORMWATER MANAGEMENT INSPECTOR AT 1-410-548-4875 EXT. 29, A MINIMUM OF 5 DAYS IN ADVANCE OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
4. CLEAR AND GRUB THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION & SEDIMENT CONTROLS. LIMITS OF DISTURBANCE ARE DENOTED BY THE SILT FENCE / LIMIT OF DISTURBANCE LINE (SF/LOD). NOTE THAT SILT FENCE / LIMIT OF DISTURBANCE LINES ARE SHOWN OUT OF POSITION FOR CLARITY, AND ARE INTENDED TO FOLLOW THE PROPERTY LINES AND EDGE OF CURB AS NEEDED.
5. INSTALL SEDIMENT CONTROLS INCLUDING STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AT GRADE INLET PROTECTION, ETC. AS INDICATED ON PLAN.
6. NOTIFY MDE THAT SEDIMENT CONTROLS ARE IN PLACE.
7. CONTRACTOR SHALL UTILIZE SUMP PIT AND FILTER BAG WHERE NECESSARY FOR DEWATERING THROUGHOUT CONSTRUCTION.
8. COMPLETE SITE DEMOLITION. CONTRACTOR SHALL TAKE NECESSARY CARE TO PRESERVE AREAS TO BE USED IN STORMWATER TREATMENT AND CONTROL. CONSTRUCTION TRAFFIC SHALL BE PROHIBITED IN THESE AREAS TO MAINTAIN THE EXISTING SOIL CHARACTERISTICS IN ADVANCE OF INSTALLATION OF SWM PRACTICES.
9. INSTALL SEDIMENT TRAPS AS SHOWN ON PLANS.
10. CLEAR, GRUB AND ROUGH GRADE PROPOSED BUILDING PAD, ROADWAYS, PARKING AREAS, ETC. INSTALL PROPOSED STORM DRAINAGE SYSTEM WITH INLET PROTECTION. NOTE: INLET PROTECTION IS INTENDED TO MINIMIZE SEDIMENT WITHIN PIPES AND IS NOT A SEDIMENT TRAP. INSTALL ROCK OUTLET PROTECTION IMMEDIATELY UPON INSTALLATION OF OUTLET PIPES.
11. FINALIZE CONSTRUCTION OF BUILDING, PARKING LOT, DRIVE AISLES, ETC. PER PLAN.
12. PERFORM FINAL GRADING, SITE STABILIZATION, ETC.
13. INSTALL PROPOSED STORMWATER MANAGEMENT BIO-RETENTION AREAS, LANDSCAPING, ETC.
14. WITH THE COMPLETION OF THE PROJECT AND SITE STABILIZATION, FLUSH THE STORM DRAIN PIPES TO REMOVE ANY ACCUMULATED SEDIMENT.
15. CONTRACTOR TO CONTACT MDE AT 410-901-4020 PRIOR TO REMOVING EROSION AND SEDIMENT CONTROL MEASURES.

**EROSION SEDIMENT CONTROL LEGEND**



**SOILS LEGEND:**

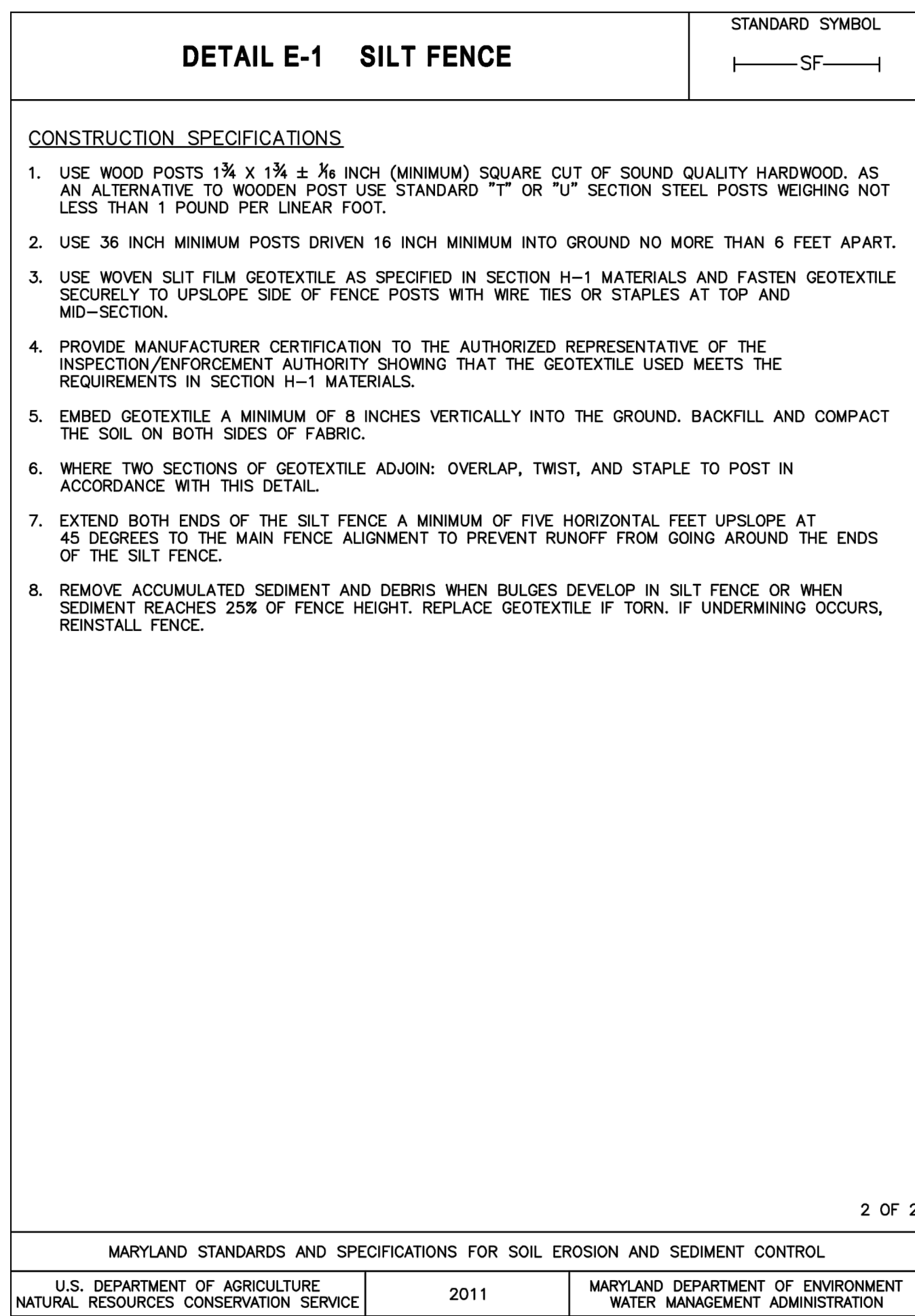
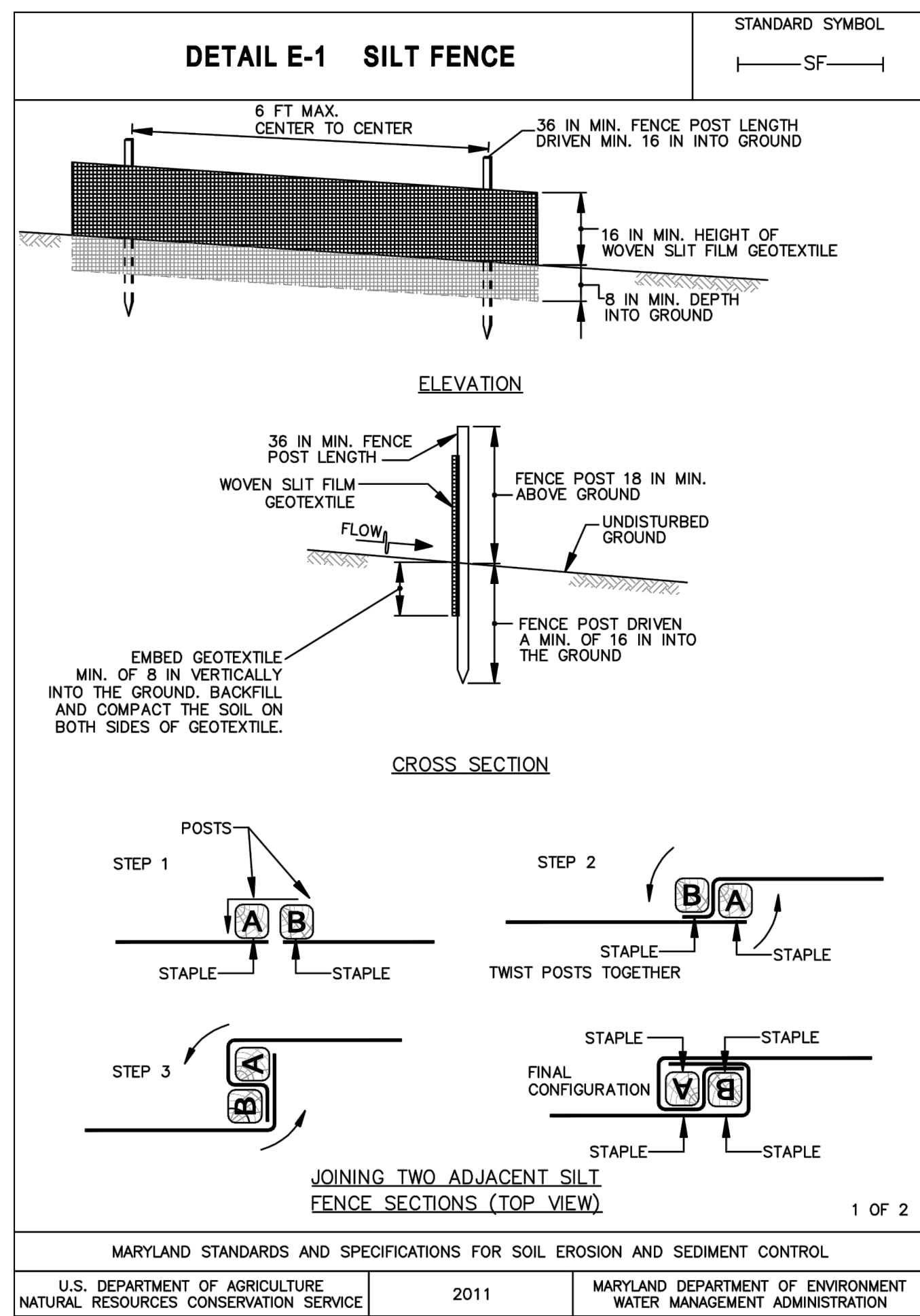
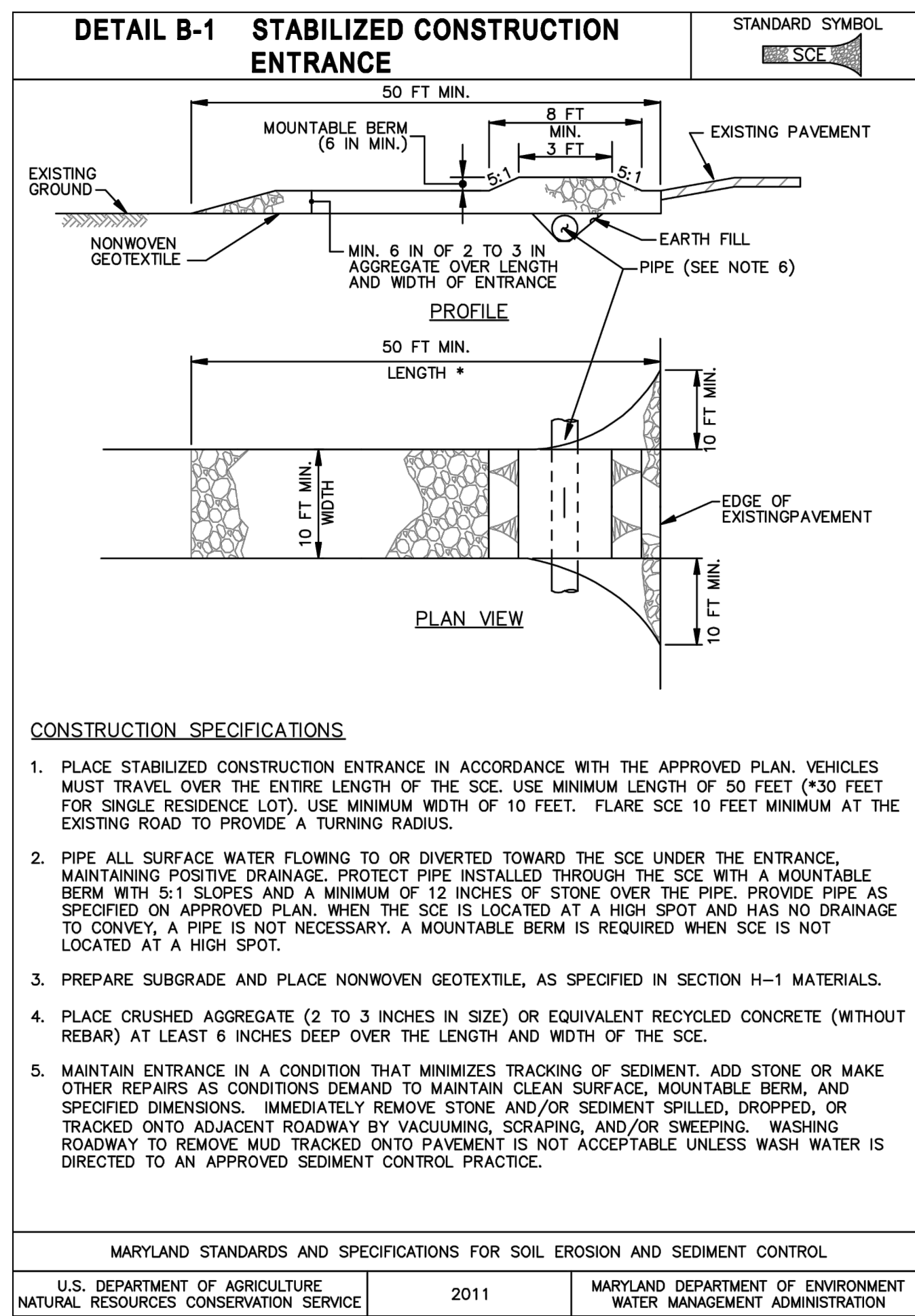
ENTIRE SITE: U5B - URBAN LAND-FORT MOTT COMPLEX  
0 - 5 PERCENT SLOPES  
HSG: A [100% OF SITE]  
SOURCE: UNITED STATES DEPARTMENT OF AGRICULTURE, NATIONAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.

**OWNERS CERTIFICATION**

I, WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT, WILL BE DONE PURSUANT TO THIS PLAN AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF TRAINING AT A DEPARTMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_





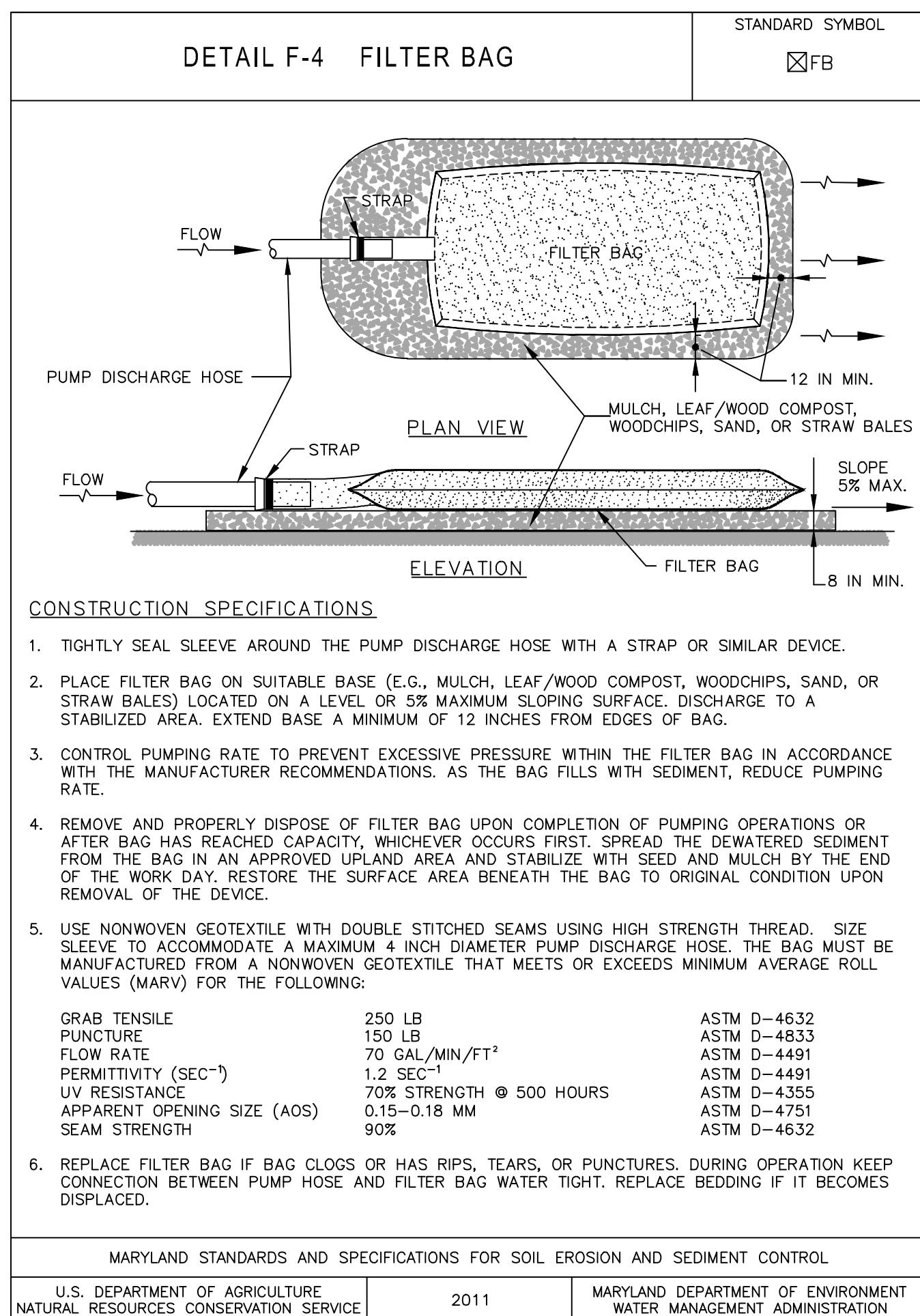
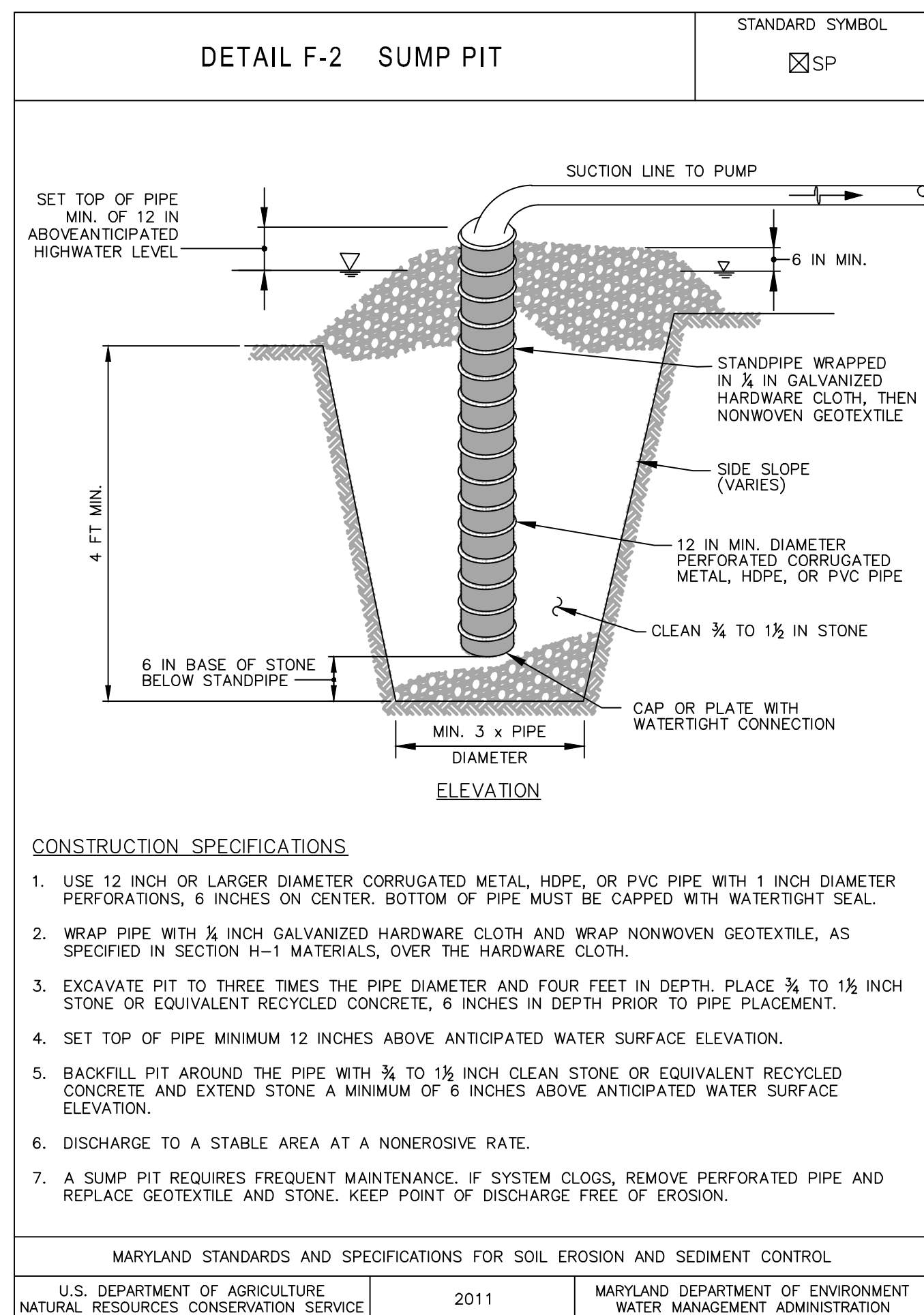
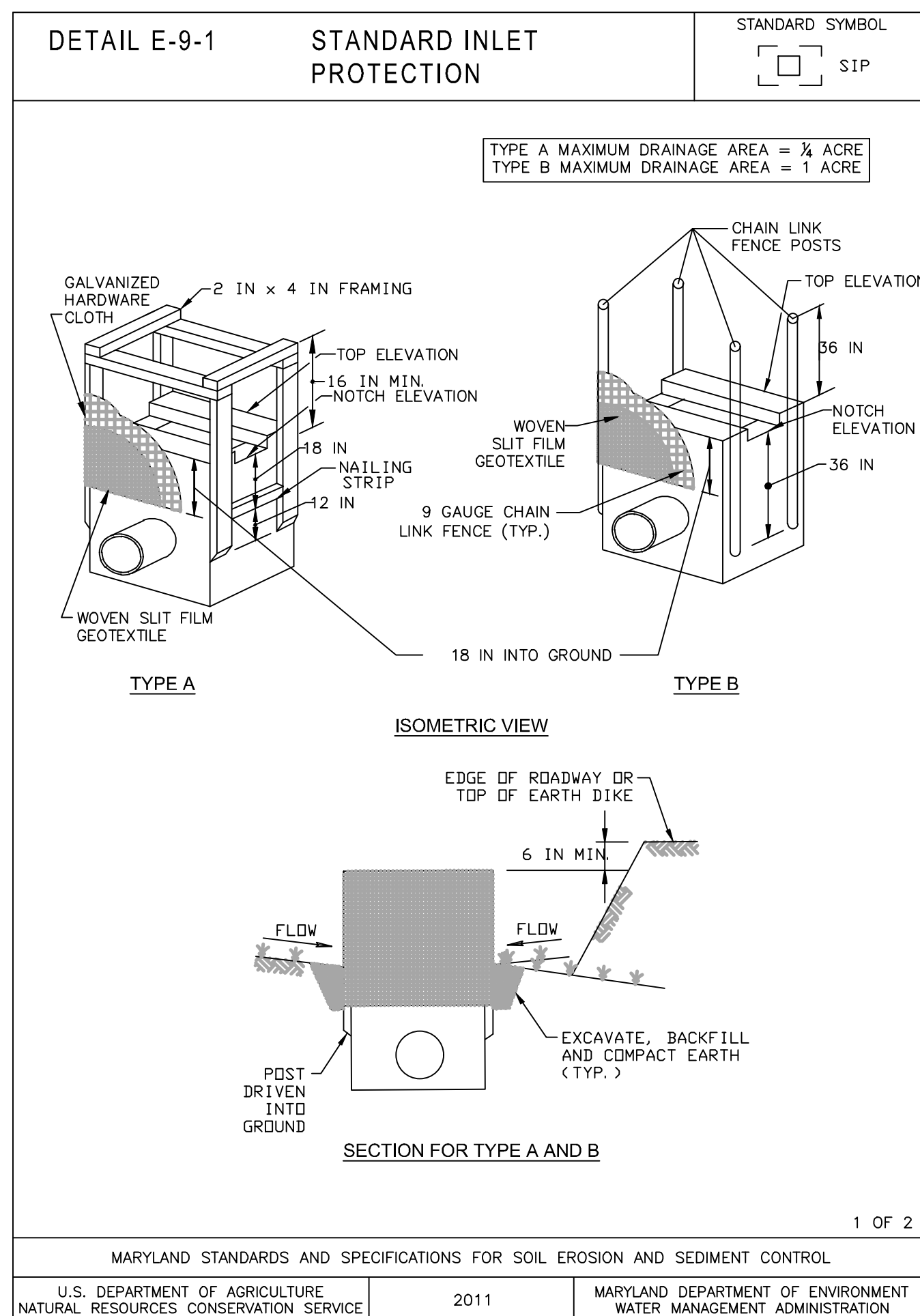
### EROSION & SEDIMENT CONTROL NOTES:

- PRIOR TO THE START OF WORK, THE CONTRACTOR IS TO OBTAIN ME AND WICOMICO SOIL CONSERVATION DISTRICT APPROVAL OF ANY PROPOSED PLAN CHANGES AND SEQUENCE OF CONSTRUCTION, SPECIFICALLY RELATING TO INSTALLATION, INSPECTION, MAINTENANCE AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER, OR WITH THE PERMISSION OF THE WICOMICO SEDIMENT CONTROL DISTRICT.
- WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO AN APPROVED SEDIMENT TRAPPING MEASURE PRIOR TO RELEASE FROM THE SITE.
- ALL TEMPORARY STOCKPILES ARE TO BE LOCATED WITHIN AREAS PROTECTED BY SEDIMENT CONTROL MEASURES, AND ARE TO BE TEMPORARILY STABILIZED.
- ALL SEDIMENT CONTROL DIKES, SWALES, BASINS AND FLOW LINES TO BASINS WILL BE TEMPORARILY SEEDED IMMEDIATELY UPON INSTALLATION TO REDUCE THE CONTRIBUTION TO SEDIMENT LOADING.
- DISPOSAL OF EXCESS EARTH MATERIALS ON STATE OR FEDERAL PROPERTY REQUIRES MDE APPROVAL. OTHERWISE MATERIALS ARE TO BE DISPOSED OF AT A LOCATION APPROVED BY THE LOCAL AUTHORITY.
- TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED AS PER THE APPROVED PLAN PRIOR TO GRADING OPERATIONS. LOCATION ADJUSTMENTS ARE TO BE MADE IN THE FIELD AS NECESSARY. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMUM POSSIBLE TIME.
- IF GRADING IS COMPLETED OUT OF A SEEDING SEASON, GRADED AREAS ARE TO BE TEMPORARILY STABILIZED BY MULCH AND MULCH ANCHORING. MULCH MATERIAL SHALL BE UNWEATHERED, UNCHOPPED SMALL GRAIN STRAW SPREAD AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE. MULCH ANCHORING TO BE ACCOMPLISHED BY AN APPROVED METHOD. USE OF A MULCH ANCHORING TOOL IS RECOMMENDED WHERE POSSIBLE.
- IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN SHALL BE IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE APPROVED PLAN, AND ALL OTHER MEASURES NECESSARY TO CONTROL, FILTER, OR PREVENT SEDIMENT FROM LEAVING THE SITE.
- IN CASE WHERE STORMWATER MANAGEMENT STRUCTURES ARE A PART OF SITE DEVELOPMENT, REMOVAL OF SEDIMENT CONTROL STRUCTURES MAY NOT BE ACCOMPLISHED BEFORE THE CONTRIBUTING DRAINAGE AREA TO THE STORMWATER MANAGEMENT STRUCTURE IS STABILIZED. ALSO, PROPER DEWATERING OF THE SEDIMENT FROM THE SITE.
- ON SITES WHERE INFILTRATION TECHNIQUES ARE UTILIZED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT ALL RUNOFF FROM ENTERING THE STRUCTURE DURING CONSTRUCTION.
- SEDIMENT CONTROL FOR CONSTRUCTION IN AREAS OUTSIDE OF DESIGNED CONTROLS:
  - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
  - IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY.
  - TEMPORARY SILT FENCE OR STRAW BALE DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE WORKING DAY.
  - REMOVE ONLY LENGTH OF SIDEWALK THAT CAN BE REPLACED DURING THE SAME WORKING DAY.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, DETAILS OF TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED AS FOLLOWS:
  - WITHIN THREE CALENDAR DAYS ON ALL SURFACES OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1).
  - WITHIN SEVEN DAYS FOLLOWING FINAL GRADING, ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT WILL BE PERMANENTLY STABILIZED BY SEEDING OR MULCH. PERMANENT MULCH CAN INCLUDE BUT IS NOT LIMITED TO STONE, GRAVEL, BLACKTOP, OR CONCRETE SURFACING.
- THE REQUIREMENTS OF SECTION B-4 (VEGETATIVE STABILIZATION) DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED OR TO INTERIOR AREAS OF A SURFACE MINE SITE WHERE THE STABILIZATION MATERIAL WOULD CONTAMINATE THE RECOVERABLE RESOURCE. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT THE STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- STABILIZATION OF ALL DISTURBED AREAS ARE TO MEET THE REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" - SECTION B-4 VEGETATIVE STABILIZATION.

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE
					436 lb/acre (10 lb/1000 sf)	2 ton/acre (90 lb/1000 sf)	
1	ANNUAL RYEGRASS	40	2/15 TO 4/30 8/15 TO 11/30	1/2"			

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O	
8	TALL FESCUE	100	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	TALL FESCUE	60	2/15 TO 4/30	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	40	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)
9	HARD FESCUE PERENNIAL RYEGRASS	40	2/15 TO 4/30 5/1 TO 5/31	1/4" - 1/2"	45 lbs per acre (1.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	90 lbs per acre (2.0 lb/1000sf)	2 ton/acre (90 lb/1000 sf)

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



### EROSION & SEDIMENT CONTROL NOTES & DETAILS

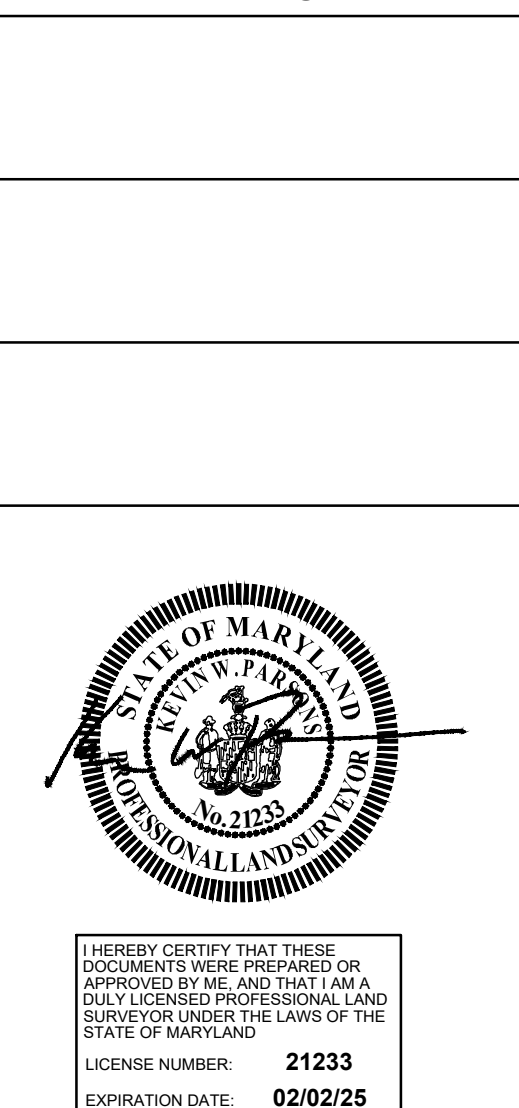
- CONTRACTOR SHALL CONTACT THE SITE INSPECTOR FOR APPROVAL OF ANY MINOR REVISIONS TO THIS SITE PLAN A MINIMUM OF 5 DAYS PRIOR TO MAKING FIELD CHANGES. ANY MAJOR CHANGE TO THESE PLANS WILL REQUIRE REVISED DRAWINGS BE SUBMITTED AND APPROVED.
- FOR DEWATERING SMALL TEMPORARY EXCAVATIONS, THE CONTRACTOR MAY OPT TO INSTALL EITHER A TEMPORARY PUMPING PIT AND STILLING BASIN OR USE A SILT BAG DEVICE TO REMOVE SEDIMENTS FROM THE PUMPED WATER.
- SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS SHALL BE IN ACCORDANCE WITH SECTION B-4.2 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- DUST CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SECTION H-5 OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL".
- APPROVED PLANS REMAIN VALID FOR 2 YEARS FROM THE DATE OF APPROVAL, EXCEPT SURFACE MINES AND LANDFILL PLANS WHICH REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL UNLESS SPECIFICALLY EXTENDED OR RENEWED BY THE APPROVAL AUTHORITY.
- A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) NOTICE OF INTENT (NOI) GENERAL PERMIT FOR CONSTRUCTION ACTIVITY IS REQUIRED FOR ALL CONSTRUCTION ACTIVITY IN MARYLAND WITH A PLANNED TOTAL DISTURBANCE OF 1 ACRE OR MORE.
- AS MANDATED BY THE NOTICE OF INTENT (NOI) GENERAL PERMIT ISSUED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE), AN INSPECTION MUST BE PERFORMED ONSITE OF ALL SEDIMENT CONTROLS ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT. ALL SELF-INSPECTIONS MUST BE MAINTAINED ALONG WITH ALL APPLICABLE GOVERNING AGENCY INSPECTION REPORTS IN A LOG BOOK, TO BE KEPT ONSITE AT ALL TIMES.
- MODIFICATIONS TO AN APPROVED PLAN MAY BE REQUESTED BY THE OWNER/DEVELOPER OR REQUIRED BY THE APPROVAL OR ENFORCEMENT AUTHORITY. MODIFICATION OF AN APPROVED PLAN MUST BE MADE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL CRITERIA CONTAINED IN THE STANDARD AND/OR AS DIRECTED BY THE ENFORCEMENT AUTHORITY. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED.

DATE	DESCRIPTION
0-000	

PROJECT NO.: 2020019.18  
DATE: 11/01/2023  
SCALE: NOT TO SCALE  
DRAWN BY: EMS PROJ. MGR.: KWP  
SHEET



**ARCHITECTURE ENGINEERING**  
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The Tower at STAR Campus  
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Newark, DE 19713  
302.369.3700  
Maryland  
312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100  
North Carolina  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600  
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PROJECT TITLE  
**TIDALHEALTH COMMUNITY CLINIC**  
805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

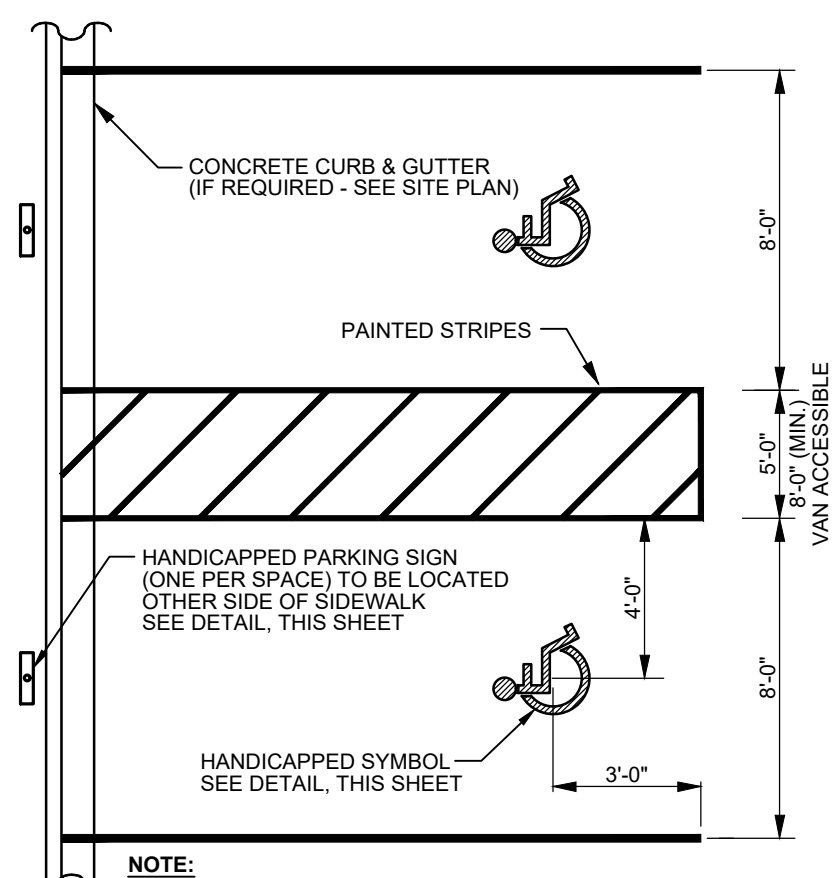
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**EROSION & SEDIMENT CONTROL NOTES & DETAILS**

ISSUE BLOCK

DATE	DESCRIPTION
0-000	

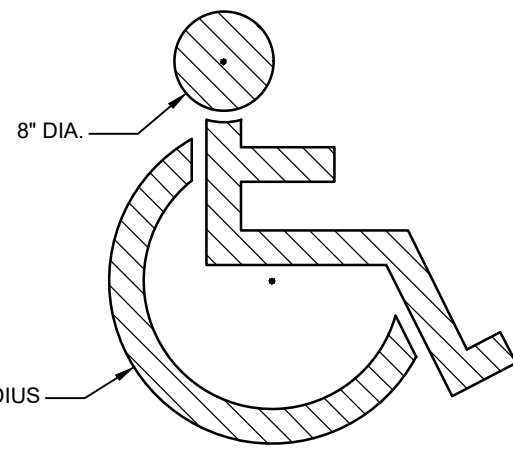
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DATE: 11/01/2023  
SCALE: NOT TO SCALE  
DRAWN BY: EMS PROJ. MGR.: KWP  
SHEET





### HANDICAPPED PARKING SPACE PLAN

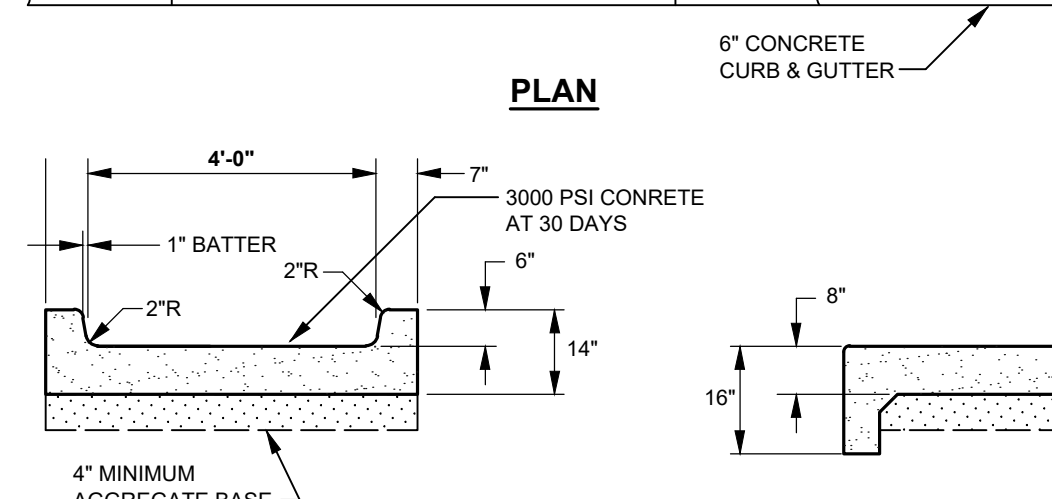
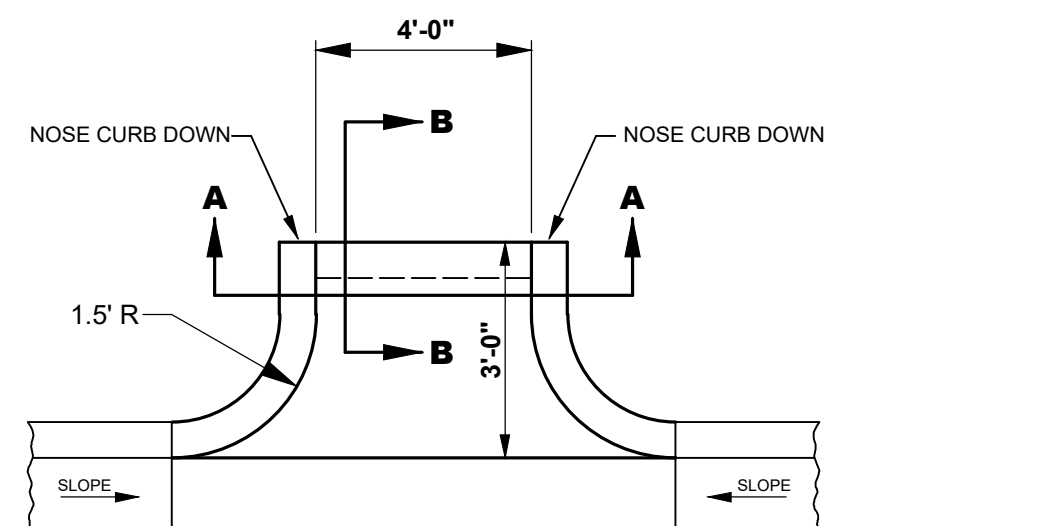
NO SCALE BMG NO. : SW-4B



- NOTES:
1. SYMBOL SHALL BE 3" WIDE (MIN.) AND PAINTED ON EACH HANDICAPPED SPACE.
  2. HANDICAPPED SPACES SHALL BE 8'0" WIDE.

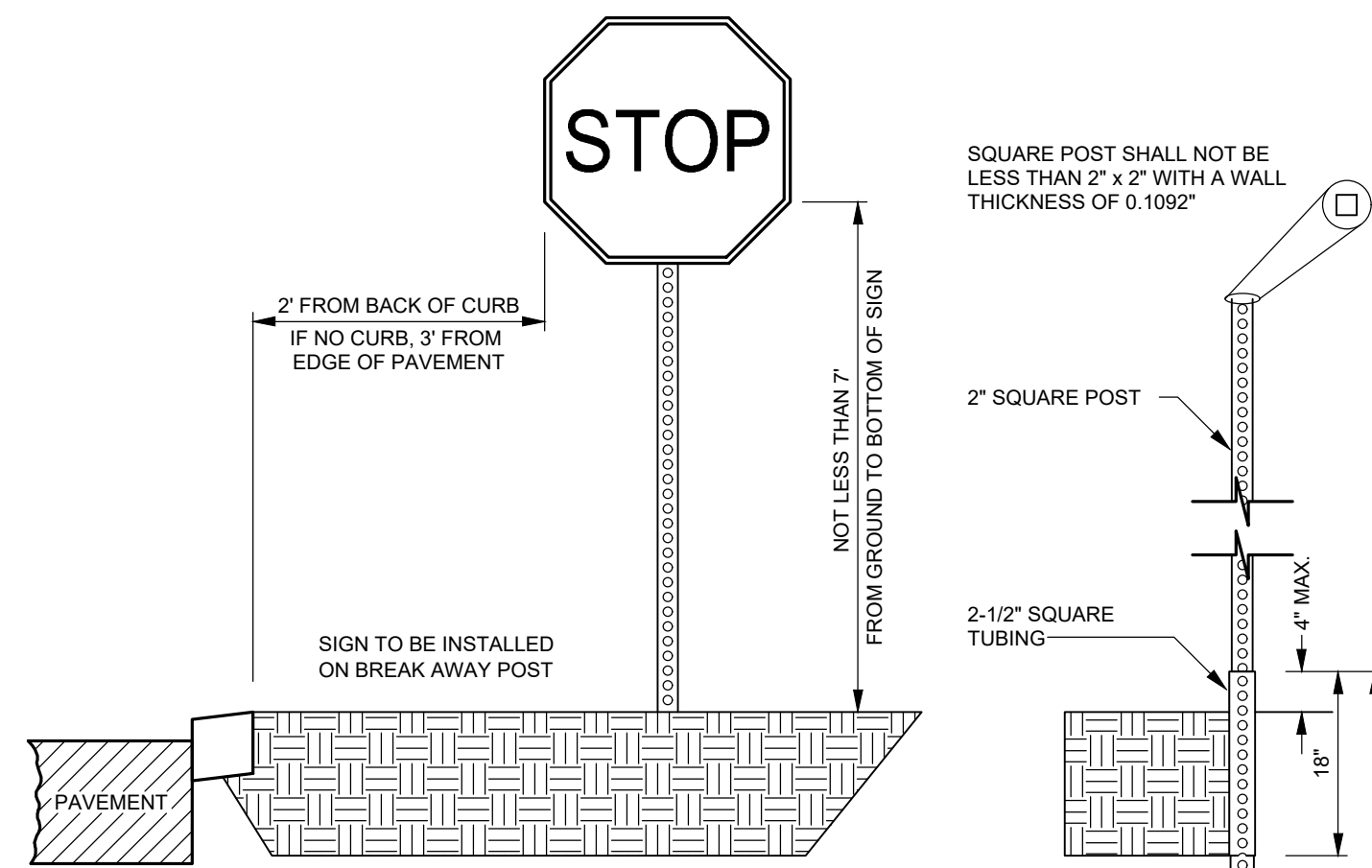
### HANDICAPPED SYMBOL DETAIL

NO SCALE BMG NO. : SW-4E



### CONCRETE CURB OPENING

NO SCALE BMG NO. : SW-10A

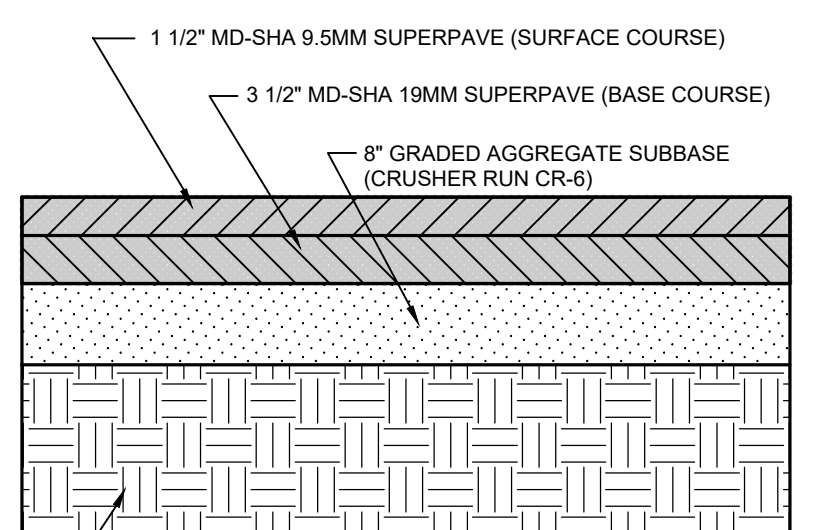


### ROADSIDE SIGN - BUSINESS OR RESIDENTIAL DISTRICT

NOTE:  
DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE "GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL DEVICES" (LATEST EDITION).

### STOP SIGN AND BREAKAWAY POST DETAIL

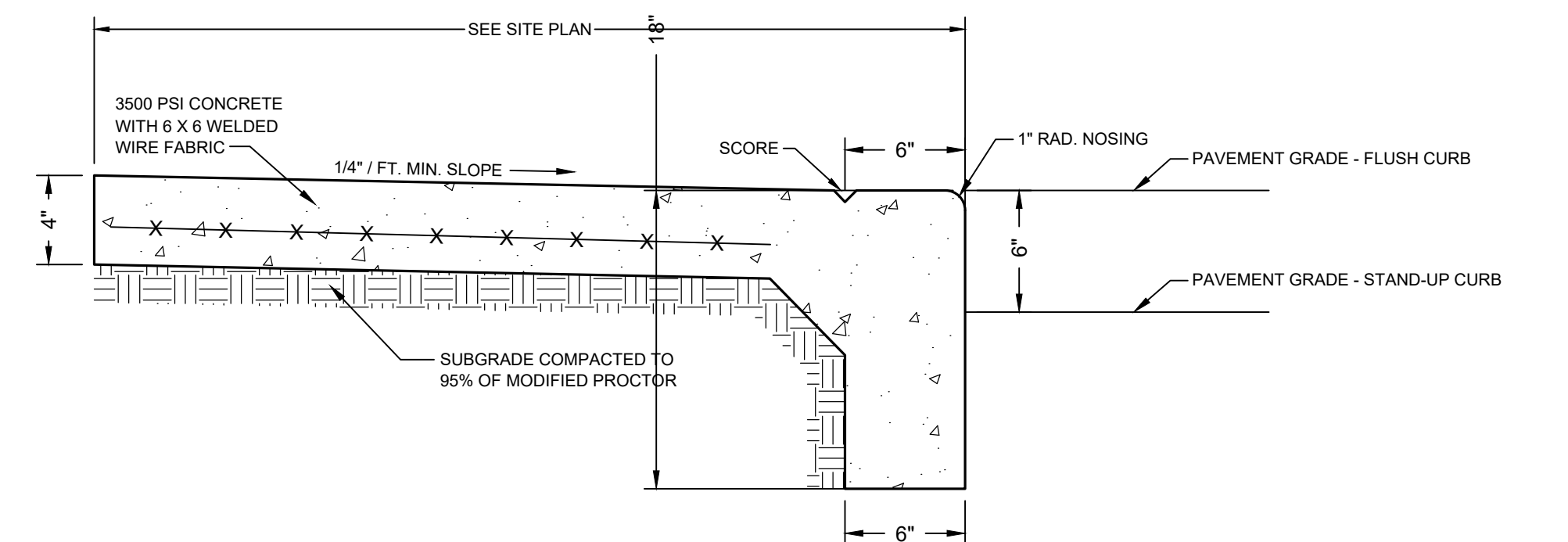
NO SCALE BMG NO. : TS-01



TOP 12" OF SUBGRADE SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR STANDARD DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D 1557

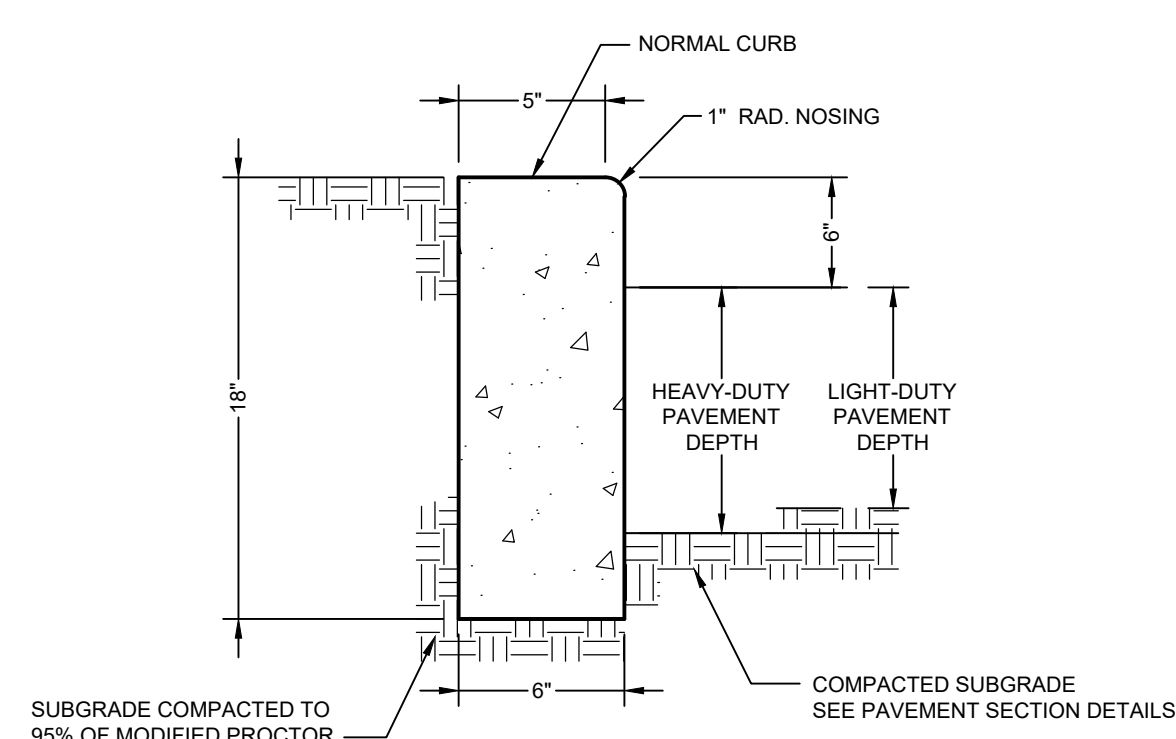
### HEAVY DUTY PAVEMENT SECTION DETAIL

NO SCALE



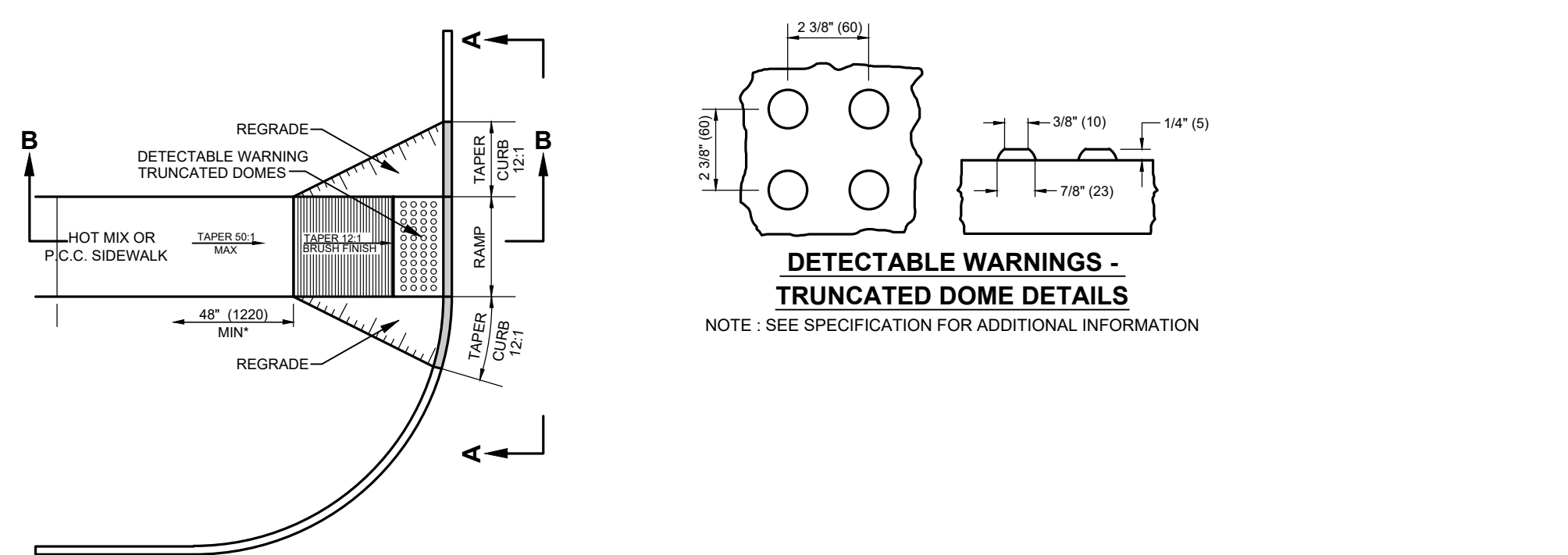
### MONOLITHIC CURB & SIDEWALK DETAIL

NO SCALE



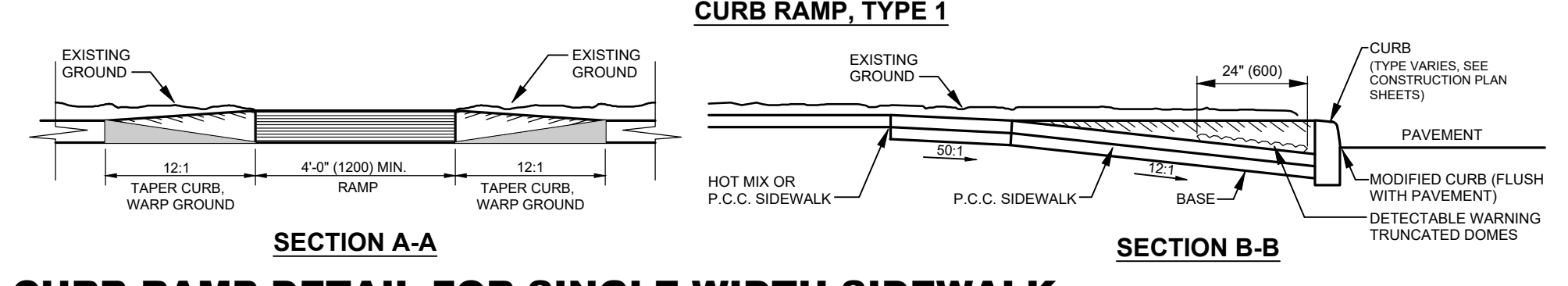
### PARKING LOT CONCRETE CURB DETAIL

NO SCALE



### DETECTABLE WARNINGS - TRUNCATED DOME DETAILS

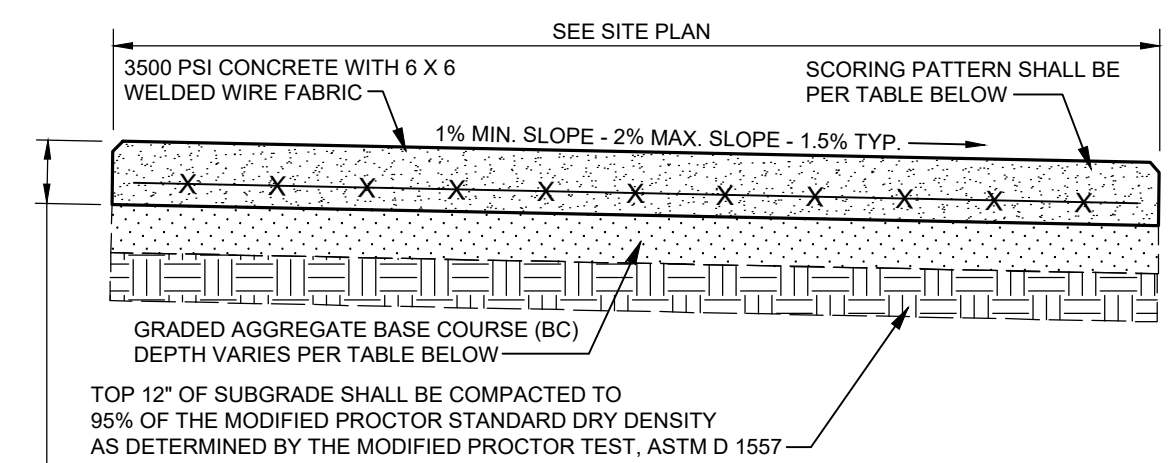
NOTE : SEE SPECIFICATION FOR ADDITIONAL INFORMATION



### CURB RAMP, TYPE 1

### CURB RAMP DETAIL FOR SINGLE WIDTH SIDEWALK

NO SCALE



TOP 12" OF SUBGRADE SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR STANDARD DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D 1557

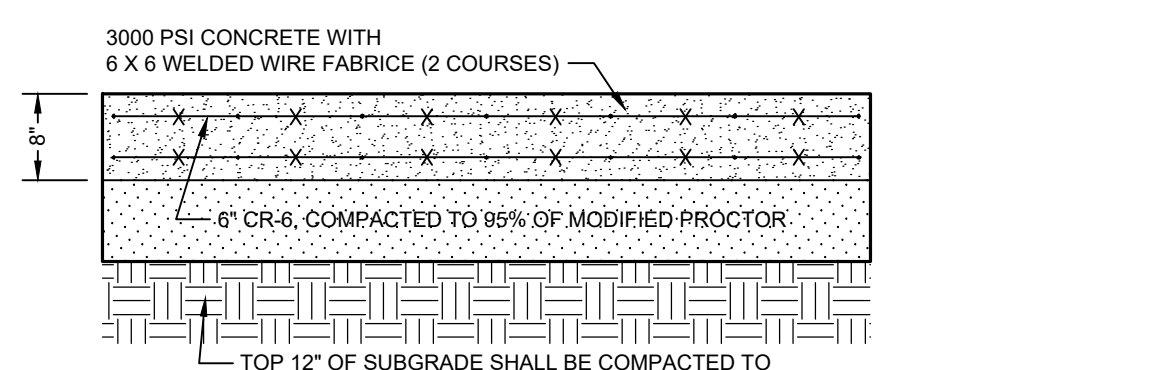
### CONCRETE PAVING

NO SCALE

- NOTES:
1. USE PREMOLDED EXPANSION JOINTS AT INTERVALS NO GREATER THAN 20'.
  2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER SPECIFICATIONS.

### CONCRETE PAVING

NO SCALE



### DUMPSTER PAD DETAIL

NO SCALE



ARCHITECTURE  
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Salisbury, MD 21801  
410.546.9100

North Carolina  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600

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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NUMBER: 21233  
EXPIRATION DATE: 02/02/25

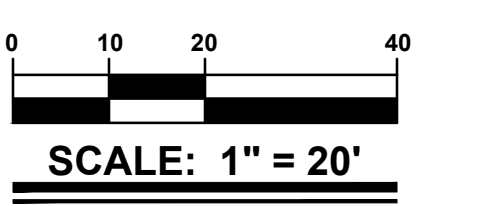
PROJECT TITLE

### TIDALHEALTH COMMUNITY CLINIC

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE

### EROSION & SEDIMENT CONTROL NOTES & DETAILS



DATE	DESCRIPTION

PROJECT NO.: 2020019.18  
DATE: 11/01/2023  
SCALE: AS SHOWN

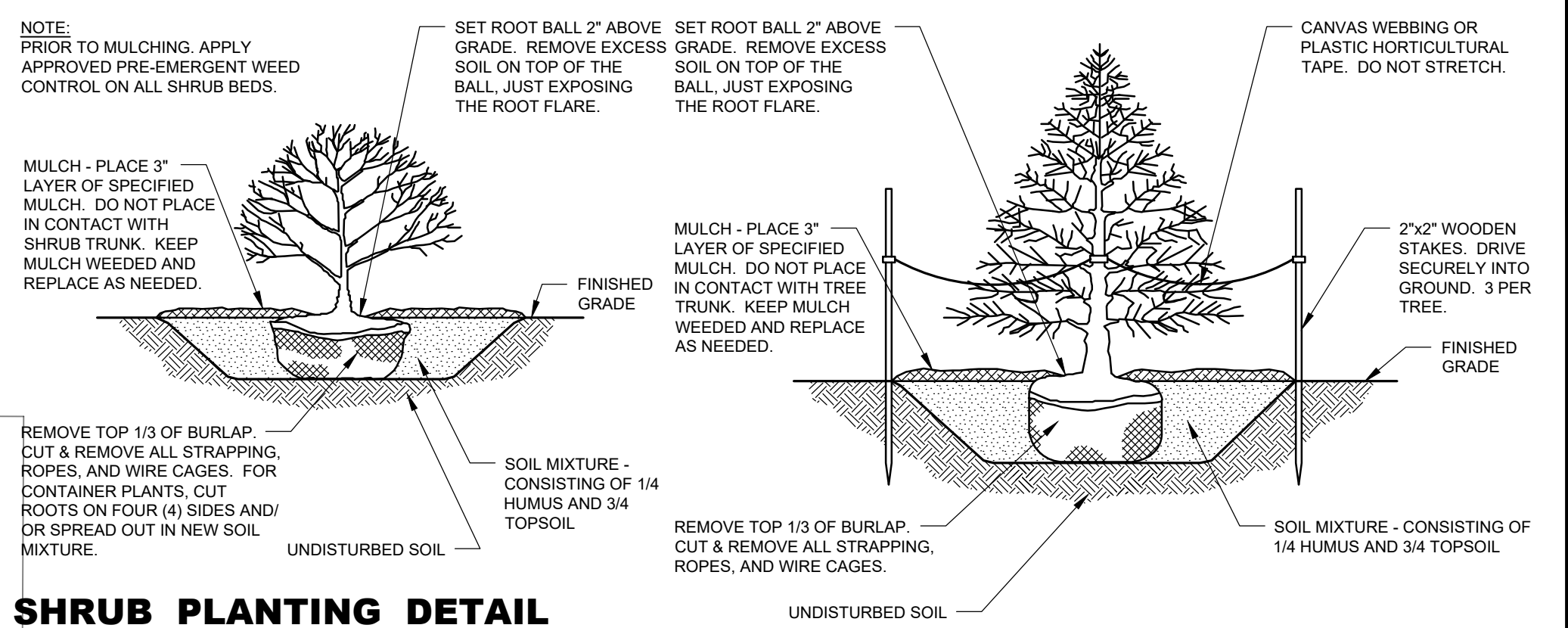
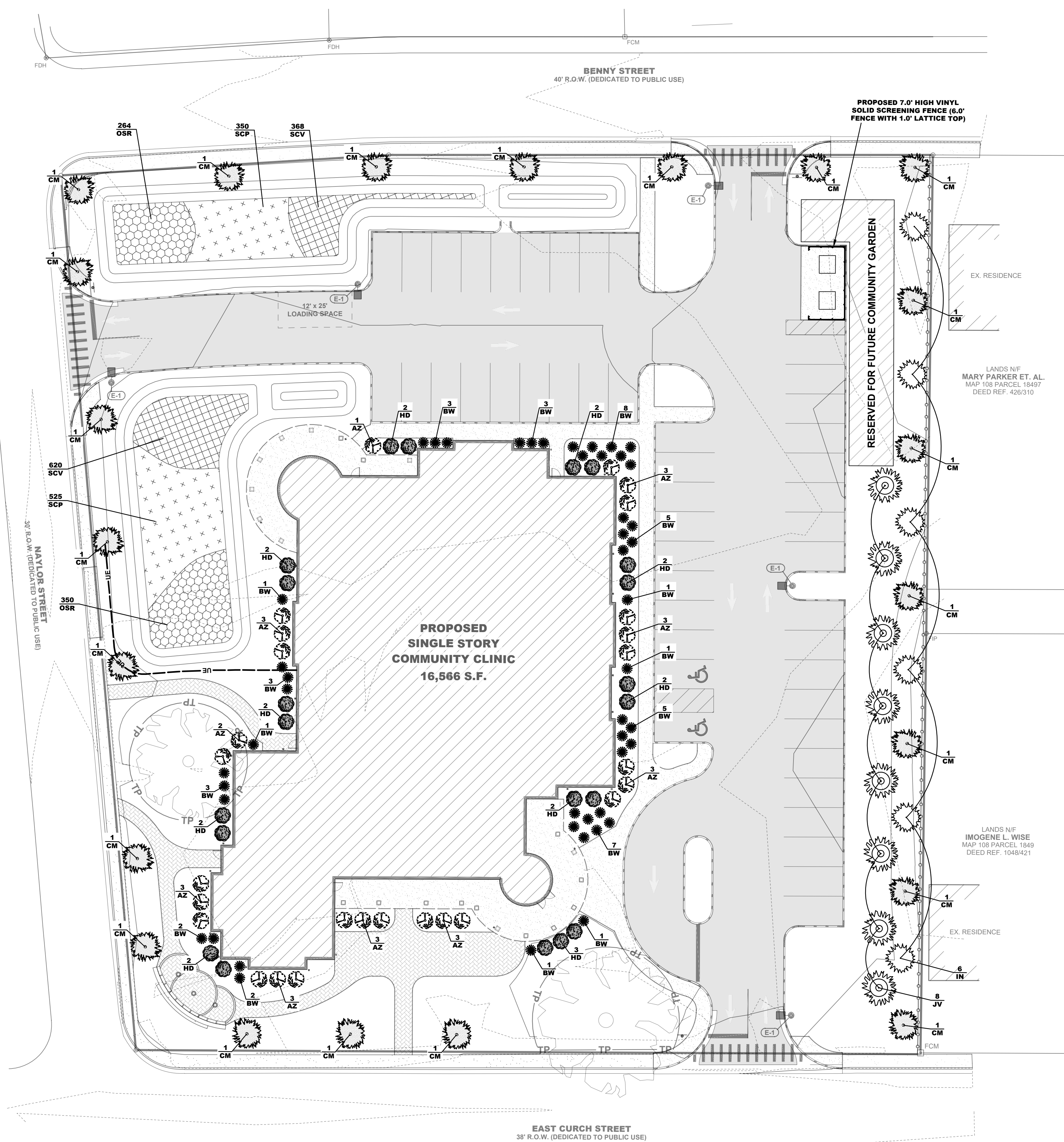
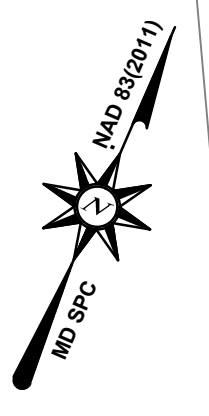
DRAWN BY: EMS PROJ. MGR.: KWP

SHEET

C-901

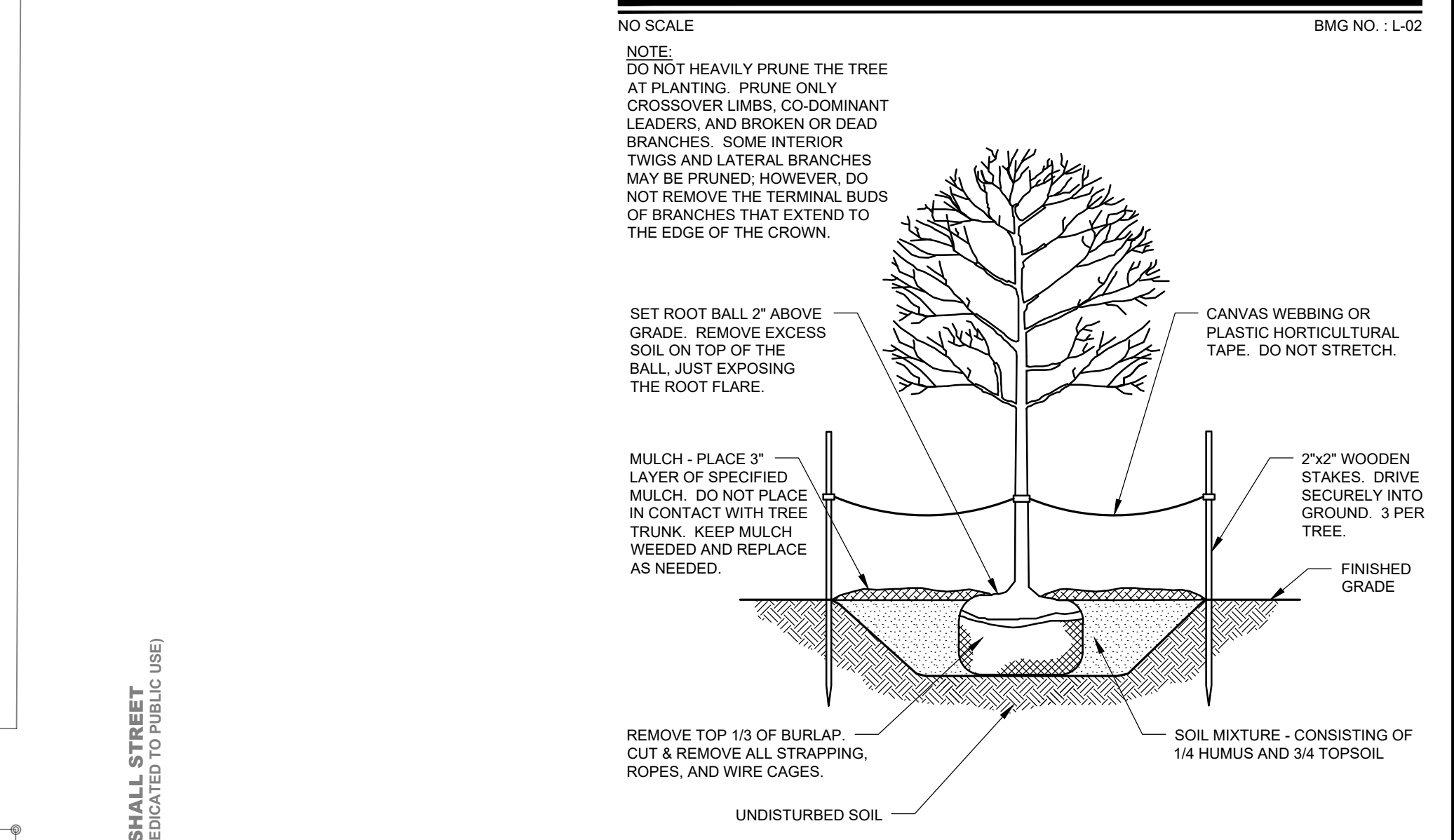
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**SHRUB PLANTING DETAIL**  
NO SCALE BMG NO. : L-03

**EVERGREEN TREE PLANTING DETAIL**  
NO SCALE BMG NO. : L-02



**DECIDUOUS TREE PLANTING DETAIL**  
NO SCALE BMG NO. : L-01

- GENERAL LANDSCAPE NOTES:**
1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK."
  2. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
  3. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.
  4. PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.
  5. UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
  6. ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOIL, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.
  7. MULCH FOR PLANTING BEDS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2" WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/OR SPREAD OUT IN NEW SOIL MIXTURE.
  8. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES.)
  9. LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGINGS UNLESS OTHERWISE INDICATED.
  10. AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
  11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
  12. NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
  13. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET FROM ANY STRUCTURE OR BUILDING.
  14. NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
  15. ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
  16. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
  17. TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
  18. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
  19. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
  20. ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.

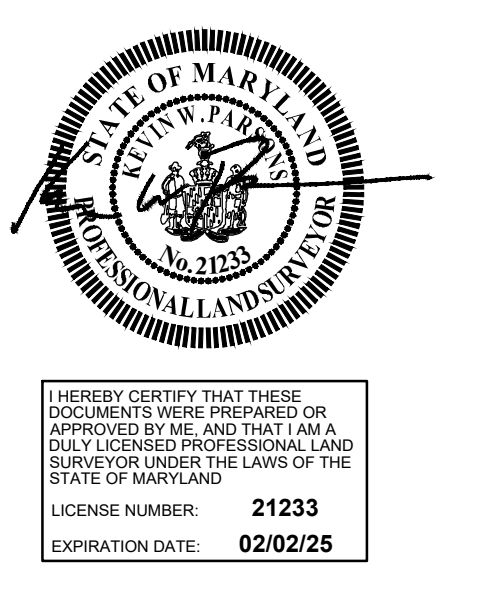
PLANT LIST						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>ORNAMENTAL TREES</b>						
CM	21	LAGERSTROEMIA	GRAPE MYRTLE	10'	CONT.	
TOTAL	21					
<b>EVERGREEN TREES</b>						
IN	6	ILEX x NELLIE STEVENS	NELLIE STEVENS HOLLY	6-8"	B&B	
JV	8	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-8"	B&B	
TOTAL	14					
<b>SHRUBS</b>						
AZ	6	RHODODENDRON	AZALEA	4'-6"	CONT.	
HD	66	HYDRANGEA MACROPHYLLA	HYDRANGEA	3'-5"	CONT.	
BW	27	BUXUS SEMPERVIRENS	BOXWOOD	3'-4"	CONT.	
TOTAL	99					
<b>STORMWATER PLANTINGS</b>						
OSR	614	OSMUNDA REGALIS	ROYAL FERN	1 QT.	CONT.	24" O.C.
SCP	875	SCIRPUS PUNGENS	COMMON THREESQUARE	1 QT.	CONT.	24" O.C.
SCV	988	SCIRPUS VALIDUS	SOFTSTEM BULRUSH	1 QT.	CONT.	18" O.C.
TOTAL	2,477					

**BECKER MORGAN GROUP**

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Delaware  
309 South Governors Avenue  
Dover, DE 19904  
302.734.7950  
The Tower at STAR Campus  
100 Discovery Boulevard, Suite 102  
Newark, DE 19713  
302.369.3700

Maryland  
312 West Main Street, Suite 300  
Salisbury, MD 21801  
410.546.9100

North Carolina  
3333 Jaeckle Drive, Suite 120  
Wilmington, NC 28403  
910.341.7600  
www.beckermorgan.com



PROJECT TITLE  
**TIDALHEALTH COMMUNITY CLINIC**  
805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE  
**LANDSCAPE PLAN**

SCALE: 1" = 20'

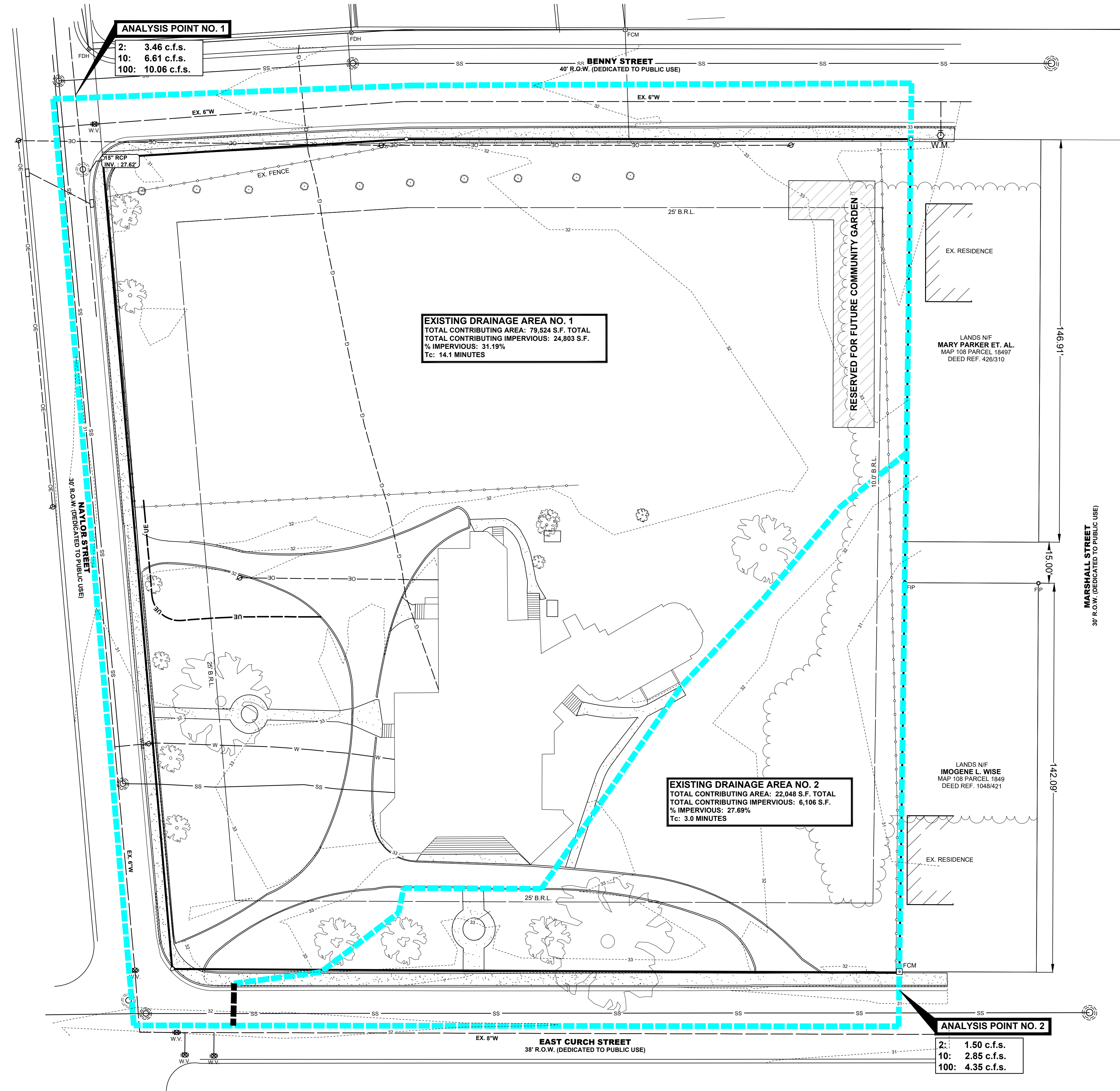
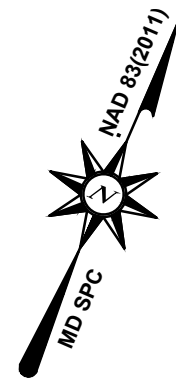
ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18  
DATE: 11/01/2023  
SCALE: 1" = 20'  
DRAWN BY: EMS | PROJ. MGR.: KWP  
SHEET

**L-101**





**ANALYSIS POINT NO. 1**  
 2: 3.46 c.f.s.  
 10: 6.61 c.f.s.  
 100: 10.06 c.f.s.

**EXISTING DRAINAGE AREA NO. 1**  
 TOTAL CONTRIBUTING AREA: 79,524 S.F. TOTAL  
 TOTAL CONTRIBUTING IMPERVIOUS: 24,803 S.F.  
 % IMPERVIOUS: 31.19%  
 Tc: 14.1 MINUTES

**EXISTING DRAINAGE AREA NO. 2**  
 TOTAL CONTRIBUTING AREA: 22,048 S.F. TOTAL  
 TOTAL CONTRIBUTING IMPERVIOUS: 6,106 S.F.  
 % IMPERVIOUS: 27.69%  
 Tc: 3.0 MINUTES

**ANALYSIS POINT NO. 2**  
 2: 1.50 c.f.s.  
 10: 2.85 c.f.s.  
 100: 4.35 c.f.s.

**BECKER  
MORGAN  
GROUP**

ARCHITECTURE  
ENGINEERING

**Delaware**  
 309 South Governors Avenue  
 Dover, DE 19904  
 302.734.7950  
 The Tower at STAR Campus  
 100 Discovery Boulevard, Suite 102  
 Newark, DE 19713  
 302.369.3700

**Maryland**  
 312 West Main Street, Suite 300  
 Salisbury, MD 21801  
 410.546.9100

**North Carolina**  
 3333 Jaeckle Drive, Suite 120  
 Wilmington, NC 28403  
 910.341.7600  
 www.beckermorgan.com



HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NUMBER: 21233  
 EXPIRATION DATE: 02/02/25

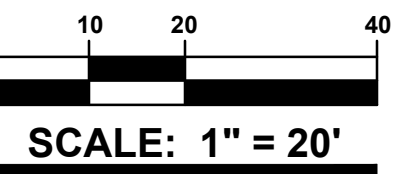
PROJECT TITLE

**TIDALHEALTH  
COMMUNITY  
CLINIC**

805 EAST CHURCH ST.  
CITY OF SALISBURY  
WICOMICO COUNTY, MD.

SHEET TITLE

**PRE-DEVELOPED  
DRAINAGE AREA  
MAP**



ISSUE BLOCK

DATE	DESCRIPTION

PROJECT NO.: 2020019.18

DATE: 11/01/2023

SCALE: 1" = 20'

DRAWN BY: EMS PROJ. MGR.: KWP

SHEET

**SWM-1**

COPYRIGHT 2023













COMMUNITY CLINIC

BECKER  
MORGAN  
GROUP

ARCHITECTURE  
ENGINEERING





BECKER  
MORGAN  
GROUP

ARCHITECTURE  
ENGINEERING





**Infrastructure and Development  
Planning Commission  
Staff Report  
December 21, 2023**

**I. BACKGROUND INFORMATION:**

**Infrastructure and Development Case No.:** 23-032  
**Project Name:** East Naylor Mill Lot 4  
**Applicant/Developer:** Parker and Associates Inc. for St. John Properties  
**Nature of Request:** Preliminary Comprehensive Development Plan Approval  
**Location of Property:** Naylor Mill Road  
**Zoning District:** General Commercial District  
**Tax Map and Parcel:** Tax Map: 0119, Grid: 0011, Parcel: 0240, Lot: 4  
**Area:** 8.73 Acres

**II. SUMMARY OF REQUEST:**

Parker and Associates, on behalf of the developer, has submitted a narrative (Attachment 1) and a Preliminary Comprehensive Development Plan (“PCDP”) (Attachment 2) for the development of two (2) flex/R&D buildings. For the purposes of defining the use and compliance with the zoning code, staff has determined this is a “Business Center” in the General Commercial District.

17.04.120 – Definitions:

*"Business center" means a group of buildings for business use arranged on a parcel of land or on a group of individual lots in accordance with a predetermined development plan.*

**III. APPROVAL HISTORY:**

These properties have not had any prior approvals.

**IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:**

The Zoning Code requires a Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



## A. Site Plan (Attachment 2)

1. **Parking/Access:** The proposed access points are two on Naylor Mill Road.

A total of 198 spaces are provided including 7 handicap spaces. The developer has calculated the parking using the mixed-use building standard of one (1) parking space per 350 sf. The parking provided is compliant with the zoning code requirements.

Loading spaces are not shown. These will be required to be shown on the Final Comprehensive Development Plan.

Bicycle parking shall be provided compliant with the 17.196.060.

2. **Refuse Disposal:** Trash collection will be private.
3. **Building Setbacks/Spacing:** The minimum yard and perimeter requirements are set forth in 17.172.020 as follows:

### A. Minimum Yard and Perimeter Requirements.

1. Front yard: twenty-five (25) feet.
2. Side yard: ten feet (two required).
3. Rear yard: twenty (20) feet.
4. Whenever any property line in a planned business center abuts a residential district a setback of twenty-five (25) feet shall be required abutting the property line;
5. Space between buildings:
  - a. One story—twenty (20) feet;
  - b. Two story—twenty-five (25) feet;
  - c. Three story—thirty (30) feet;
  - d. More than three stories—thirty (30) feet plus five feet per story.

The proposed development shall comply with all code requirements above prior to approval of the Final Comprehensive Development Plan.

4. **Open Space:** Multiple stormwater bio areas are shown throughout the property and existing drainage and maintenance easements.

## B. Building Elevations/Floor Plans

---





# City of Salisbury

Proposed building elevations and floor plans are included on Sheet A-1 of Attachment 2. Building plans are approved by DID for compliance prior to the issuance of building permits.

## **C. Sign Plan**

Preliminary signage is provided as part of Attachment 2. A plan shall be required showing the overall design, colors and location of signs throughout the center, which shall be submitted to and approved by the planning commission as part of the comprehensive development plan.

## **D. Landscaping Plan**

Landscaping details are provided on Sheet 3 of Attachment 2. A final landscape plan will be approved as part of the Final Comprehensive Development Plan.

## **E. Development Schedule**

A development schedule was not indicated.

## **F. Community Impact Statement**

A Community Impact Statement was not provided.

## **G. Statement of Intent to Proceed and Financial Capability**

A Statement of Intent to Proceed and Financial Capability were not provided.

## **H. Fire Service**

The project is subject to further review by the Salisbury Fire Department.

## **I. Stormwater Management**

A Stormwater Management Concept has not been submitted for review. Staff anticipates this submittal for review after PCDP approval.

## **J. Forest Conservation Program**





# City of Salisbury

City staff will request review by the County of the project for compliance with the FCA.

## **K. Transportation, Streets, and Pedestrians**

A traffic impact study will be required as part of the civil engineering review and comments must be addressed prior to approval of the Final Comprehensive Development Plan.

A shared use path will be required along Naylor Mill Rd.

## **V. PLANNING COMMENTS**

Staff notes that current and proposed residential development in the surrounding area has generated the demand for commercial services that would be located in the business center. Future comments may be forthcoming following submittal of the engineering plans, community impact statement, and traffic impact study.

## **VI. RECOMMENDATION**

Staff recommends approval of the Preliminary Comprehensive Development Plan with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Submit a sign plan for Planning Commission approval as part of the Final Comprehensive Development Plan Approval;
3. Revise the parking tabulation to mixed-use building;
4. Provide locations of bicycle parking and loading spaces compliant with 17.196 of the zoning code;
5. Provide a Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability; and
6. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.





December 14, 2023

City of Salisbury  
PLANNING AND ZONING COMMISSION  
Govt. Bldg., 3rd Floor, Council Chambers  
125 N Division Street  
Salisbury, MD 21801

To Whom It May Concern,

This letter is to provide a project narrative for the Preliminary Comprehensive Development Plan application for St. John Properties' proposed construction along Naylor Mill Road.

With this application, St. John Properties (SJP) proposes to construct two (2) Flex/R&D buildings along Naylor Mill Road. SJP has been developing and constructing Flex/R&D buildings in the greater Baltimore metropolitan area for over 50 years, and have begun over the past 20 years to expand into other markets outside of Baltimore. At the time of this letter, SJP owns and operates almost 24 million square feet of commercial space throughout the United States, with a vast majority of that space being Flex/R&D.

Flex/R&D buildings are a remarkable hybrid solution providing space for a wide array of commercial tenants. SJP constructs the shell of the building and then works with each tenant to build out a space customized for their specific needs. Some tenants in SJP buildings are light manufacturing/assembly type uses, where the finished space would only include 1-2 offices and a restroom. Other SJP tenants require full office buildouts. The Flex/R&D can be tenanted and re-tenanted as the market demands, without constructing new buildings or additions.

This application is requesting approval to construct two (2) flex buildings totaling 69,350 sf. The application also proposes the construction of all of the requisite parking, drive-aisle, stormwater management, landscape, and lighting improvements commensurate with a development of this scope.

We appreciate your time and attention in reviewing this matter and look forward to adding to both your employment and tax base.

Thank you,

A handwritten signature in blue ink, appearing to read 'Andrew Roud', is written over a light blue horizontal line.

Andrew Roud  
Regional Partner

ATTACHMENT 1



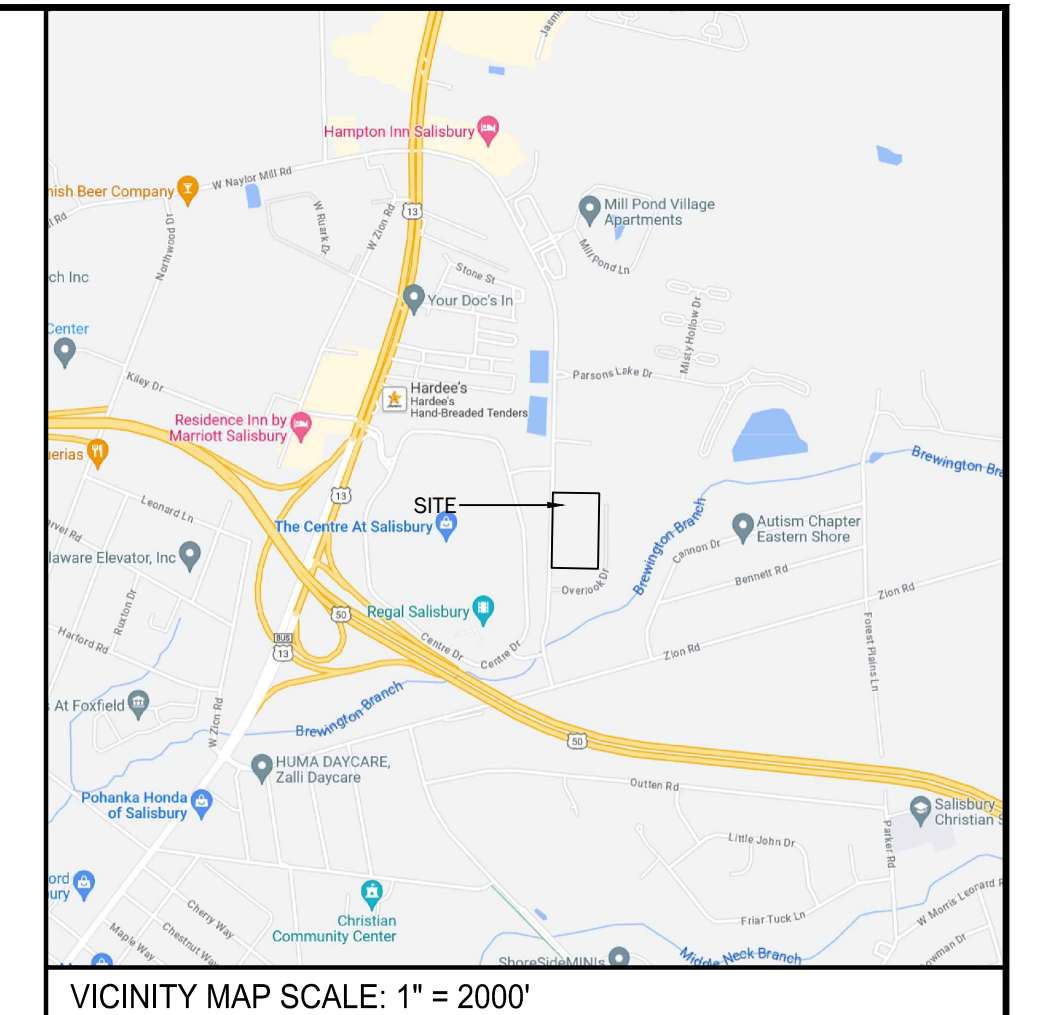
**GENERAL NOTES**

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY:  
 RWB INVESTMENTS LLC  
 4920 SNOW HILL RD  
 SALISBURY, MD 21804
- THE PROPERTY SHOWN HEREON IS CURRENTLY BEING DEVELOPED BY:  
 ST. JOHN PROPERTIES, INC  
 C/O MATTHEW DESTINO  
 2560 LORD BALTIMORE DRIVE  
 WINDSOR MILL, MD 21244  
 443-464-1316  
 mdestino@sjpi.com
- PARCEL 240 (LOT 4)  
 DEED REF: 3524/1
- PRESENT ZONING OF THIS PROPERTY: GENERAL COMMERCIAL  
 PROPOSED ZONING: GENERAL COMMERCIAL
  - FRONT MINIMUM SETBACK: 25'  
 REAR MINIMUM SETBACK: 15'  
 SIDE SETBACKS: TWO REQUIRED TOTALING NO LESS THAN 20'  
 MINIMUM LOT SIZE: 10,000 SF  
 MAXIMUM BUILDING HEIGHT: 50'
  - THESE PROPERTIES ARE LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
  - THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1. CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECTS UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OF ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023. THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
  - THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
  - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
  - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
  - CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
  - ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
  - PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
  - PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR. VERTICAL DATUM IS BASED ON NAVD8S.

# EAST NAYLOR MILL, LOT 4

## CITY OF SALISBURY PROJECT #

### COMPREHENSIVE DEVELOPMENT PLAN



VICINITY MAP SCALE: 1" = 200'

**SHEET LIST**

TITLE SHEET	SHEET 1
SITE PLAN	SHEET 2
LANDSCAPE & LIGHTING PLAN	SHEET 3
ARCHITECTURAL ELEVATIONS	A-1
ARCHITECTURAL ELEVATIONS	A-2

**LAND USE SUMMARY**

SITE AREA	= 380,133 SF (± 8.73 AC)
PROPOSED BREAKDOWN	
BUILDING	= 69,350 SF
PAVING	= 186,462 SF
CONCRETE	= 4,627 SF
TOTAL	
IMPERVIOUS	= 260,439 SF
PERCENT IMP	= 68.5 %

**PARKING TABULATION**

MIXED USE BUILDINGS: 1 PARKING SPACE PER 350 SF  
 69,350/350 = 198.1 (199 MAX REQUIRED)

198 SPACES PROVIDED INCLUDING 7 ADA ACCESSIBLE SPACES  
 (ADA CALCULATIONS BASED ON 2010 ACCESSIBILITY GUIDELINES AND STANDARDS AS APPLIED TO EACH INDIVIDUAL PARKING STRUCTURE/LOT)

**ESTIMATED WATER & SEWER USAGE**

CALCULATIONS BASED ON OFFICE SPACE	
GROSS AREA X 0.09 = GPD	1 EDU = 250 GPD
PROJECT USAGE:	
69,350 X 0.09 = 6,241.5 GPD	
6,241.5 / 250 =	25 EDU

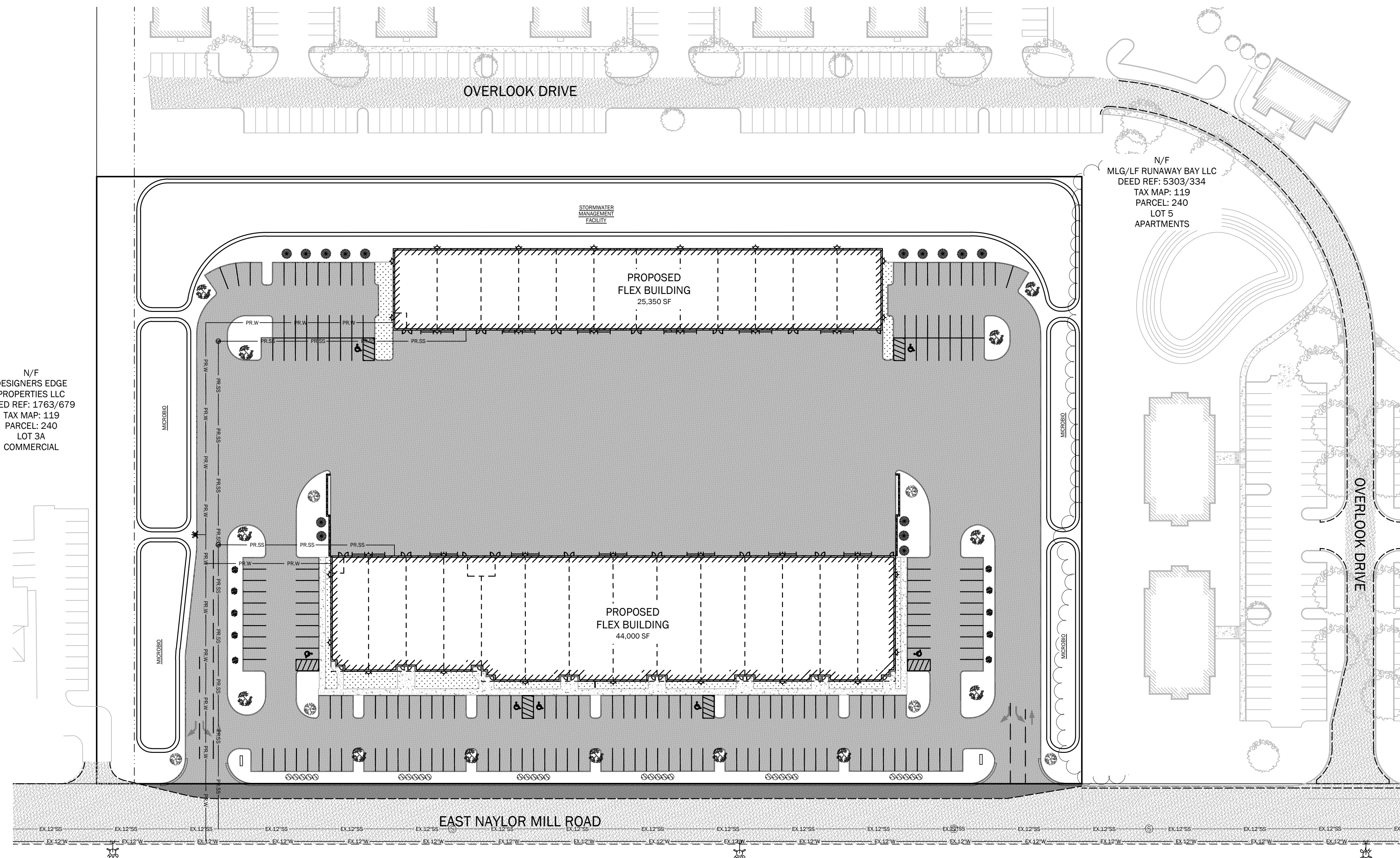
**LIST OF CITY STANDARDS USED**

STANDARD CURB AND GUTTER STD. NO. 100.11A

**LEGEND:**

- WATER METER
- BIKE RACK
- SITE LIGHTING
- DUMPSTER
- EXISTING SEWER MANHOLE
- TELEPHONE/COMMUNICATIONS PEDESTAL
- EXISTING UTILITY POLE
- ACCESSIBLE PARKING AND ACCESS WAY
- PROPERTY LINE
- BUILDING SETBACK
- EXISTING CURB
- PROPOSED CURB
- EDGE OF PAVEMENT
- PROPOSED PARKING STRIPE
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND ELECTRIC
- SIDEWALK/CONCRETE
- ASPHALT/PAVEMENT
- EXISTING ROADWAY
- PROPOSED BUILDING FOOTPRINT

N/F  
 DESIGNERS EDGE  
 PROPERTIES LLC  
 DEED REF: 1763/679  
 TAX MAP: 119  
 PARCEL: 240  
 LOT 3A  
 COMMERCIAL



N/F  
 SALISBURY MALL REALTY  
 HOLDING LLC  
 DEED REF: 4811/43  
 TAX MAP: 119  
 PARCEL: 237  
 COMMERCIAL

**DEVELOPER'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS A DEVELOPER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN. DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL (SETTING OF WATER METER) TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN. AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

DATE \_\_\_\_\_

ST. JOHN PROPERTIES  
 C/O MATTHEW DESTINO  
 2560 LORD BALTIMORE DRIVE  
 WINDSOR MILL, MD 21244  
 443-464-1316  
 mdestino@sjpi.com

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27739, EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 24193, EXPIRATION DATE: JANUARY 25, 2024.

*[Signature]* DATE \_\_\_\_\_

BROCK PARKER, P.E., R.L.S.  
 528 RIVERSIDE DRIVE  
 SALISBURY, MARYLAND 21801  
 PHONE: (410) 749-1023 FAX: (410) 749-1012  
 EMAIL: BROCK@PARKERANDASSOCIATES.ORG

APPROVED: \_\_\_\_\_ CITY PROJECT # \_\_\_\_\_  
 CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT UTILITY CONTRACT # \_\_\_\_\_

Richard D. Baldwin \_\_\_\_\_ DATE \_\_\_\_\_  
 Director



**SHEET 1**

GRAPHIC SCALE  
 1 inch = 50 feet

REV.	DATE	BY	CHK.	CDP Title

COMPREHENSIVE DEVELOPMENT PLAN	
TITLE SHEET	
EAST NAYLOR MILL LOT 4	
DATE	10/20/23
SCALE	1" = 50'
DATE	0119
PARCEL	0240
DATE	0011
DATE	0240

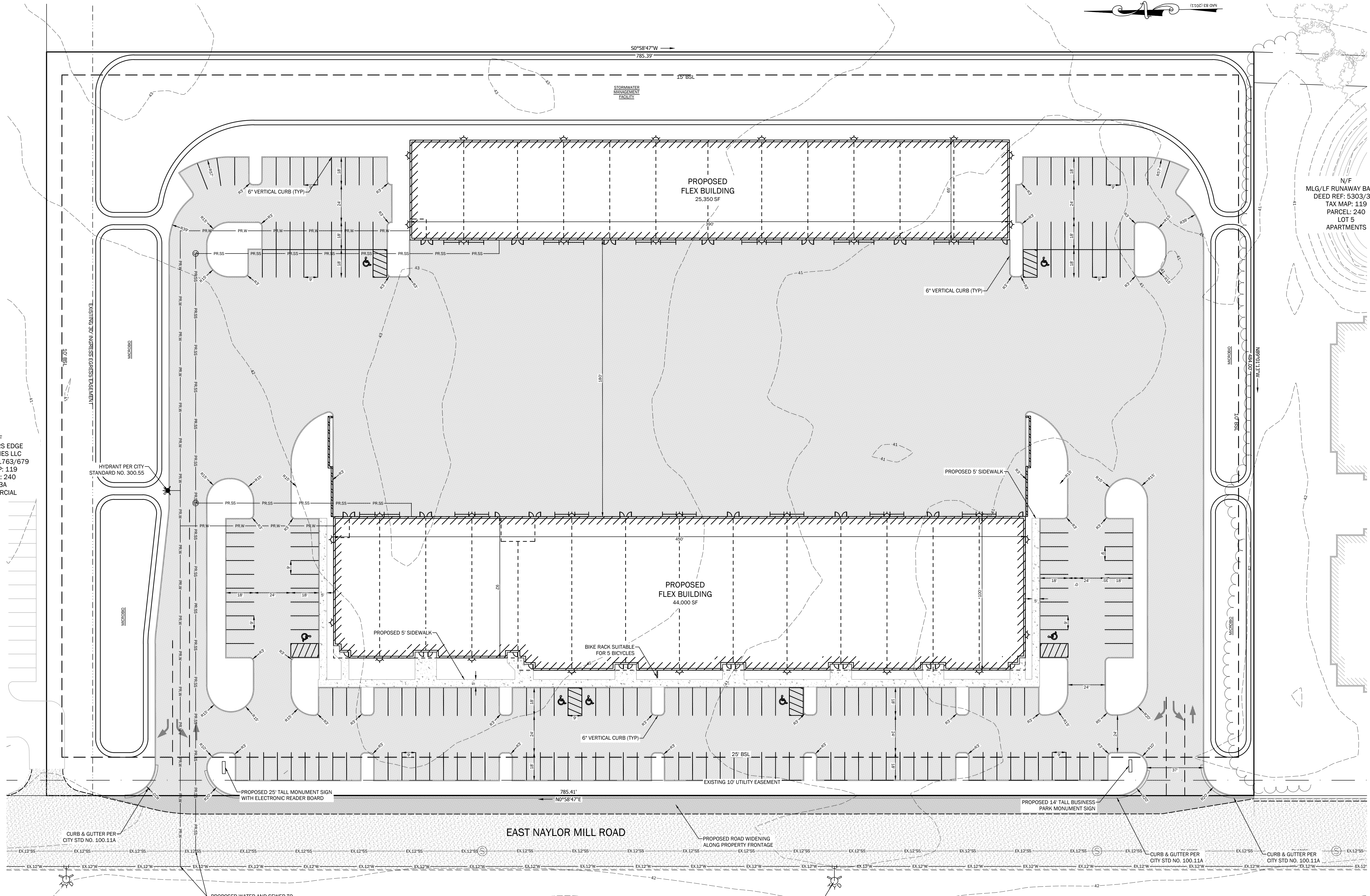




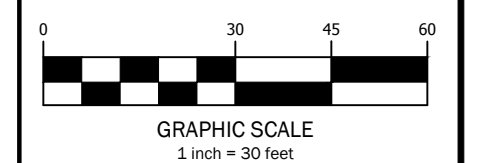
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DESIGNERS EDGE  
PROPERTIES LLC  
DEED REF: 1763/679  
TAX MAP: 119  
PARCEL: 240  
LOT 3A  
COMMERCIAL

N/F  
MLG/LF RUNAWAY BAY LLC  
DEED REF: 5303/334  
TAX MAP: 119  
PARCEL: 240  
LOT 5  
APARTMENTS

N/F  
SALISBURY MALL REALTY  
HOLDING LLC  
DEED REF: 4811/43  
TAX MAP: 119  
PARCEL: 237  
COMMERCIAL



SHEET 2



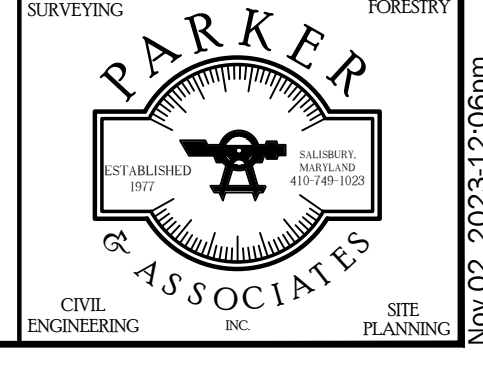
NO.	DATE	DESCRIPTION	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN

**SITE PLAN**  
**EAST NAYLOR MILL LOT 4**

Road Names: EAST NAYLOR MILL RD  
FOR PARK INVESTMENTS  
PARSONS ELECTION DISTRICT, SALISBURY, WICOMICO COUNTY, MARYLAND

DATE	10/30/23	PROJECT	0240
SCALE	1" = 30'	DRAWN BY	EAL
PROJECT		DATE	10/30/23



Nov 02, 2023 12:06pm





### LANDSCAPE & LIGHTING LEGEND

TR-1	13	PLATANUS X ACERIFOLIA (LONDON PLANE) - OR SIMILAR DECIDUOUS SHADE TREE SPECIES - PLANTING LOCATION
TR-2	15	THUJA OCCIDENTALIS (AMERICAN ARBORVITAE) - OR SIMILAR EVERGREEN TREE FOR SCREENING - 4' TO 6' PLANTING LOCATION
TR-3	8	LAGERSTROEMIA X NATCHOZ (NATCHOZ CRAPE MYRTLE) - OR SIMILAR FLOWERING ORNAMENTAL TREE - 4' TO 6' PLANTING LOCATION
BU-1	30	ROSA 'KNOCK OUT' (KNOCK OUT ROSE) - OR SIMILAR FLOWERING SHRUB - 1 GALLON PLANTING LOCATION CONSOLIDATED INTO BEDS
BU-2	10	ILEX GLABRA (INKBERRY) - OR SIMILAR NATIVE SHRUB - 1 GALLON PLANTING LOCATION
L-1	34	PROPOSED BUILDING WALLMOUNT LIGHT PACK FOR SITE LIGHTING TO BE PLANNED AND PROVIDED BY OTHERS

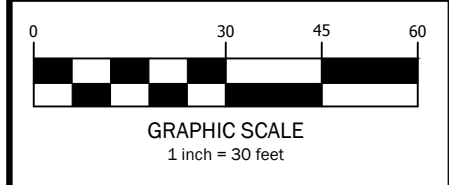
6' BUFFER OF FOUNDATIONAL PLANTINGS TO BE PLANTED ALONG SIDEWALK OF EACH BUILDING'S MAIN FACADE TO INCLUDE A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS (PINK SUMMERSWEET (CLETHRA ALNFOLIA (PINK SPIRE)), BURNING BUSH (EUONYMUS ALATUS), HYPERICUM, SPIRAEA, AZALEAS (RHODODENDRON ATLANTICUM), AND JUNIPERS (JUNIPERUS)) AND A MIXTURE OF GROUND COVERS AND PERENNIALS (JUNIPERS AND FLOWERS, WITH ANNUAL COLOR TO BE SUPPLEMENTED WHERE APPLICABLE).

N/F  
DESIGNERS EDGE  
PROPERTIES LLC  
DEED REF: 1763/679  
TAX MAP: 119  
PARCEL: 240  
LOT 3A  
COMMERCIAL

N/F  
MLG/LF RUNAWAY BAY LLC  
DEED REF: 5303/334  
TAX MAP: 119  
PARCEL: 240  
LOT 5  
APARTMENTS



SHEET 3



REVISIONS	DATE	BY	CHK

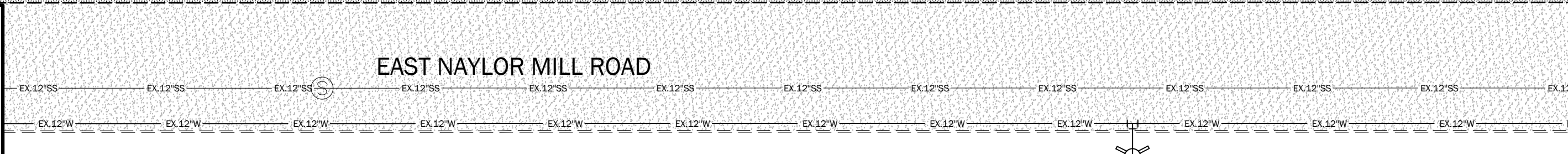
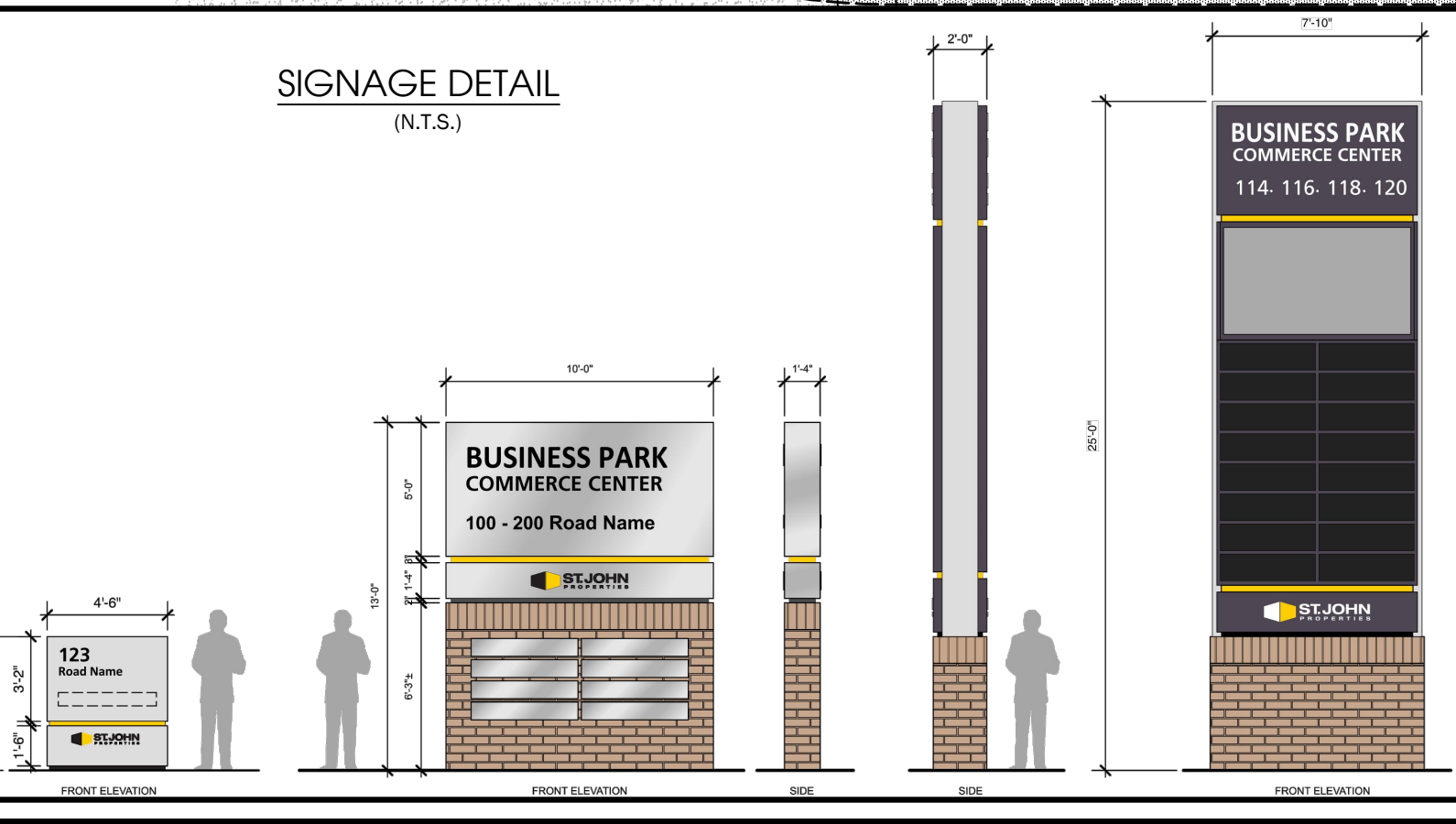
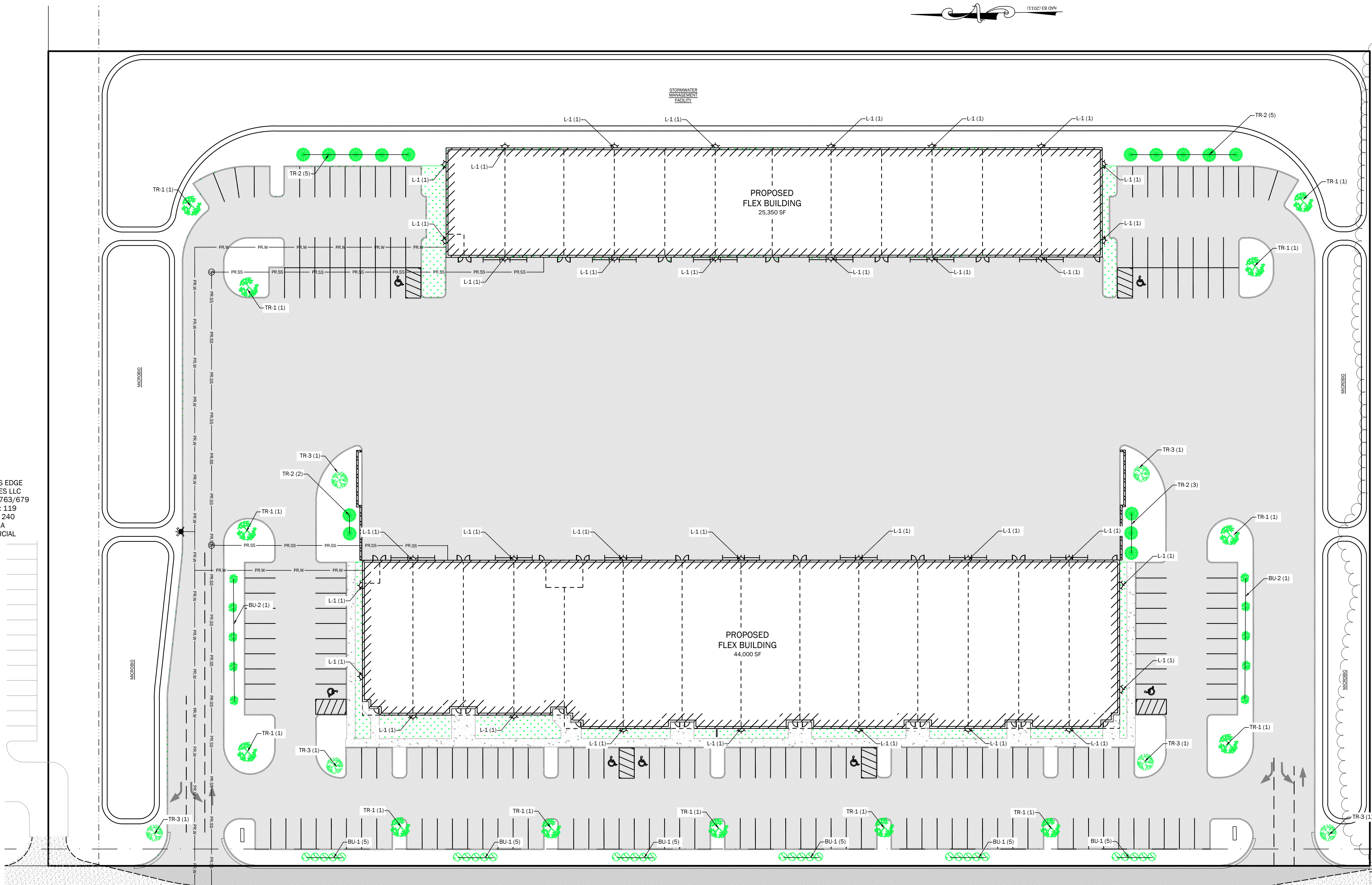
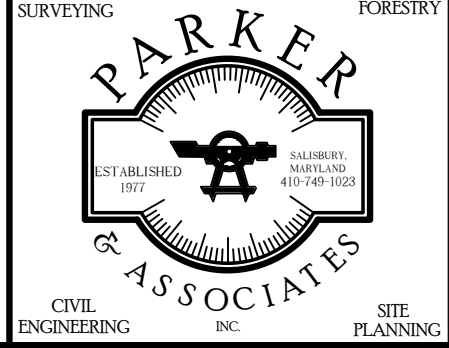
**COMPREHENSIVE DEVELOPMENT PLAN**

**LANDSCAPE & LIGHTING PLAN**

**EAST NAYLOR MILL LOT 4**

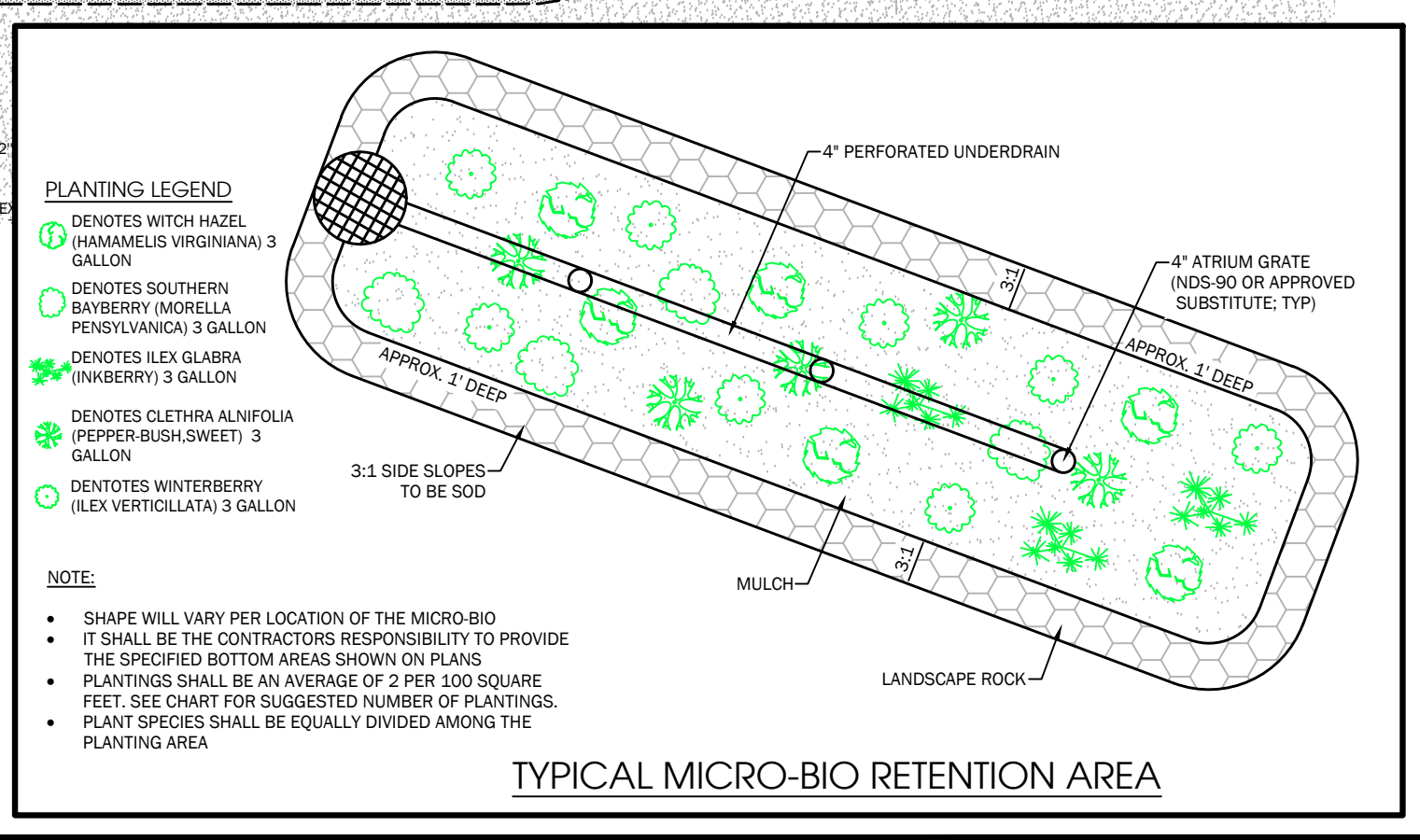
Road Name: EAST NAYLOR MILL RD  
For: RMB INVESTMENTS  
PARSONS ELECTION DISTRICT, SALISBURY, WICOMICO COUNTY, MARYLAND

DATE: 10/30/23  
SCALE: 1" = 30'  
DRAWN: EAL  
CHECKED: CDP  
JOB NO: 0011  
PARCEL: 0240

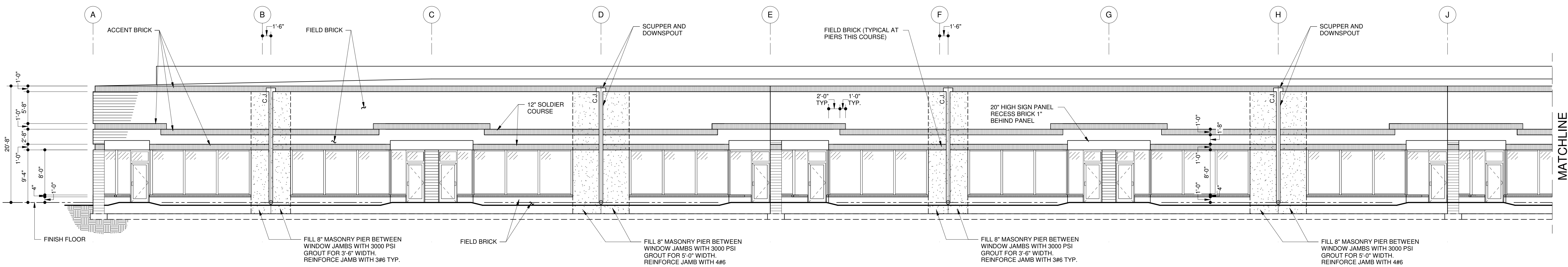


N/F  
SALISBURY MALL REALTY  
HOLDING LLC  
DEED REF: 4811/43  
TAX MAP: 119  
PARCEL: 237  
COMMERCIAL

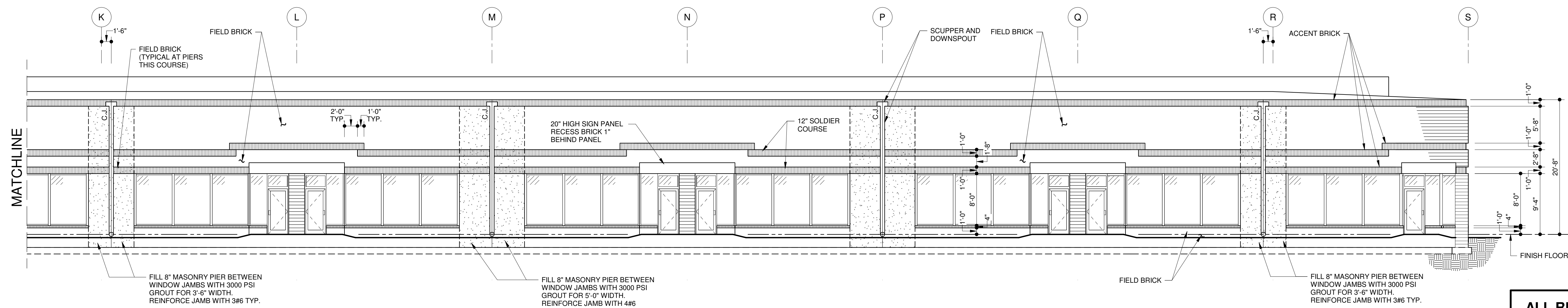
- LANDSCAPE NOTES:**
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - CONTRACTOR SHALL CONTACT "MISS UTILITY" AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
  - ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
  - THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.





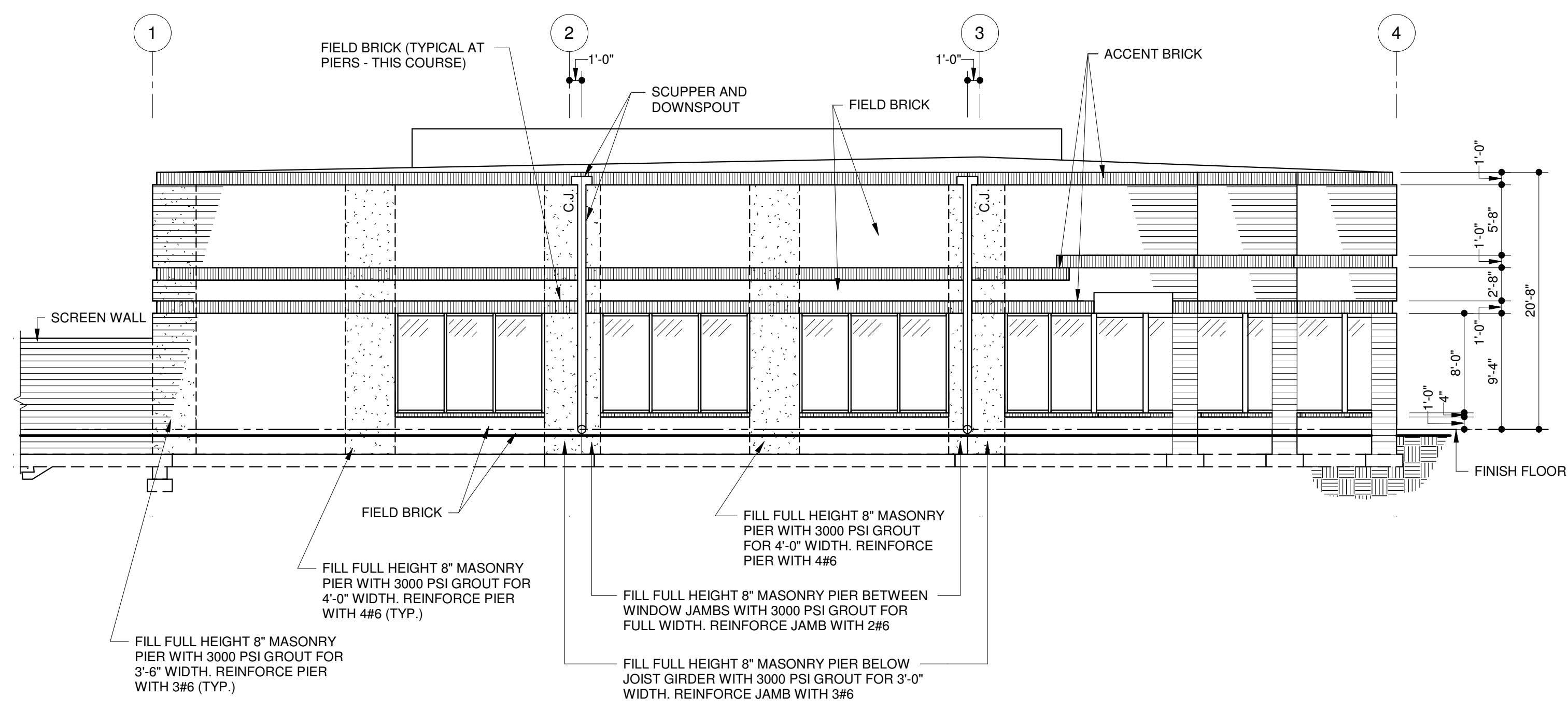


FRONT ELEVATION

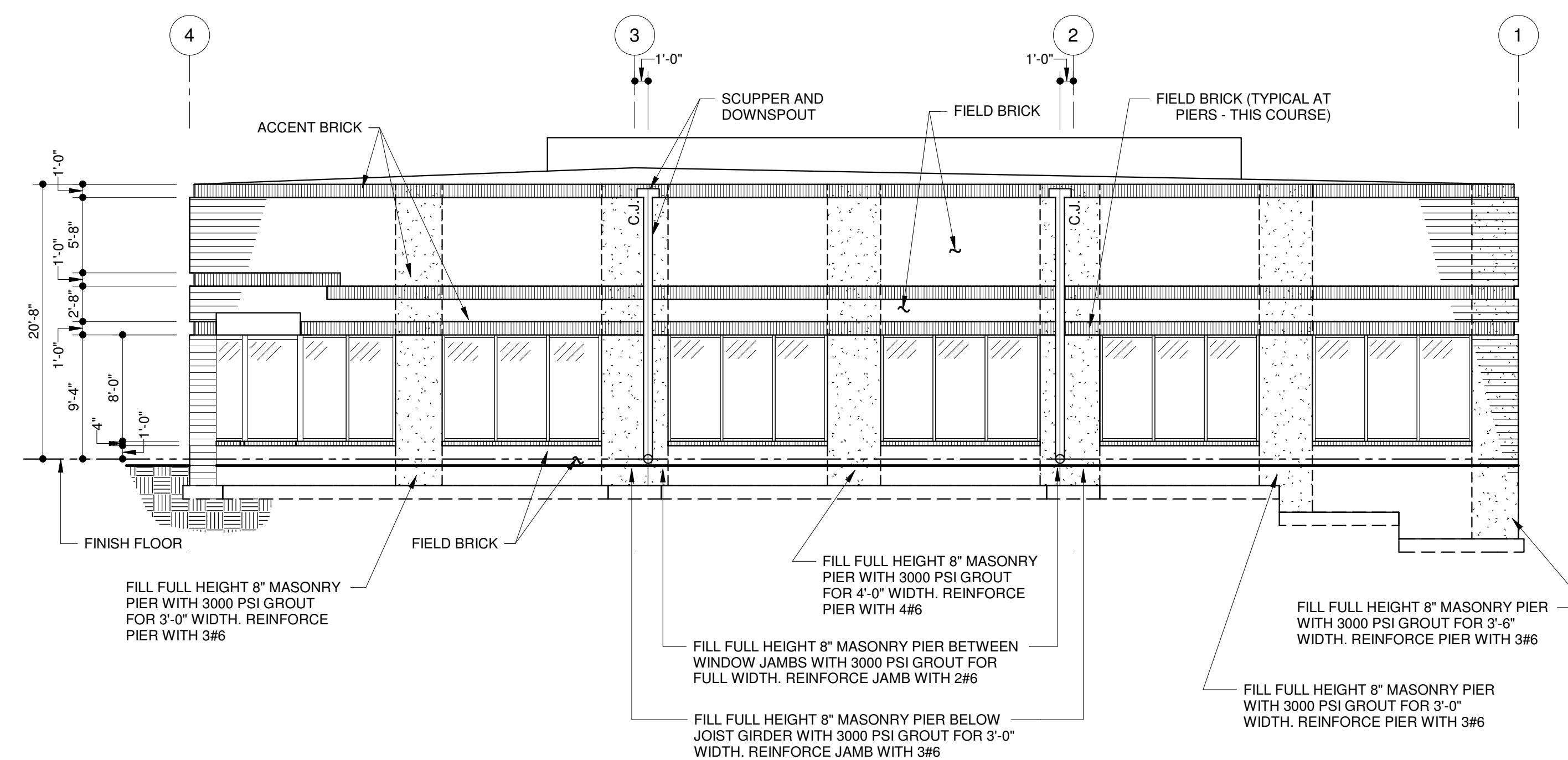


FRONT ELEVATION

**ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL, LAP SPLICE ALL BARS 36" MINIMUM.**



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Seal:

Professional Certification: I hereby declare that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License No. 2298-A  
 Expiration Date: 03/31/22

**ST. JOHN PROPERTIES**

2660 LORD BALTIMORE DRIVE  
 BALTIMORE, MD 21244  
 410-788-0100

**PENZA+BAILEY**

ARCHITECTS  
 401 Woodbourne Avenue  
 Baltimore, Maryland 21212  
 T 410-435-6677 | F 410-435-6868  
 www.PenzaBailey.com

**morabito consultants**

Structural Engineers | Parking Consultants  
 952 Ridgebrook Rd | Suite 1700  
 Sparks, MD 21152-9472  
 410.467.2377 | www.morabitoconsultants.com  
 © Copyright Morabito Consultants, Inc.

No.	Date	Revisions

DESIGNED	KAP	DRAWN	KAP
CHECKED	JAM	APPROVED	JAM

Project No.: 21028

Date: 02-19-21

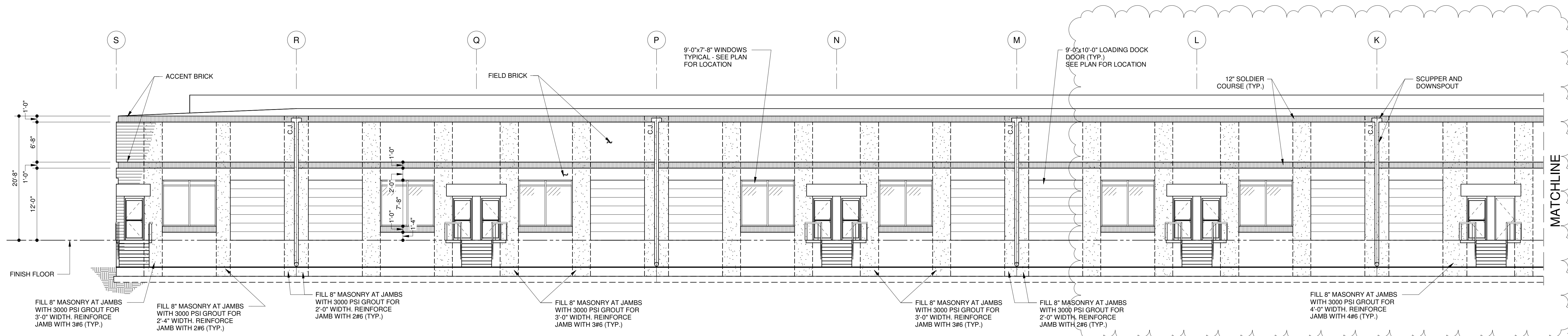
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Sheet Title:

Sheet No.:

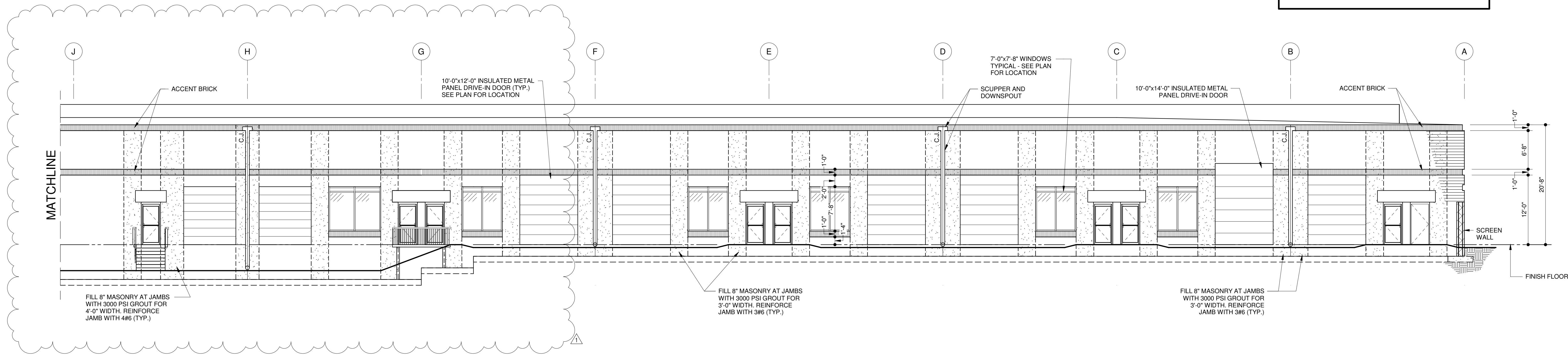
A-1





REAR ELEVATION

**ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL. LAP SPLICE ALL BARS 36" MINIMUM.**



REAR ELEVATION

Seal:

Professional Certification: I hereby declare that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License No. 2298-A  
 Expiration Date: 03/30/22

**ST. JOHN PROPERTIES**  
 2660 LORD BALTIMORE DRIVE  
 BALTIMORE, MD 21244  
 410-788-0100

**PENZA+BAILEY ARCHITECTS**  
 401 Woodbourne Avenue  
 Baltimore, Maryland 21212  
 T 410-435-6677 | F 410-435-6868  
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**morabito consultants**  
 Structural Engineers | Parking Consultants  
 952 Ridgelywood Rd Suite 1700  
 Sparks, MD 21152-9472  
 410.467.2377 | www.morabitoconsultants.com  
 © Copyright Morabito Consultants, Inc.

No.	Date	Revisions
1	2-2-22	LOADING DOCK SHIFT

DESIGNED	KAP	DRAWN	KAP
CHECKED	JAM	APPROVED	JAM

Project No.: 21028  
 Date: 02-19-21  
 Scale: 1/8" = 1'-0"  
 Sheet Title:

Sheet No.:  
**A-2**





# Infrastructure and Development Planning Commission Staff Report December 21, 2023

## I. BACKGROUND INFORMATION:

**Infrastructure and Development Case No.:** 23-031

**Project Name:** East Naylor Mill Parcel 239

**Applicant/Developer:** Parker and Associates Inc. for St. John Properties

**Nature of Request:** Preliminary Comprehensive Development Plan Approval

**Location of Property:** Naylor Mill Road and Parsons Lake Drive

**Zoning District:** General Commercial District

**Tax Map and Parcel:** Tax Map: 0119, Grid: 0005, Parcel: 0239

**Area:** 17.76 Acres

## II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the developer, has submitted a narrative (Attachment 1) and a Preliminary Comprehensive Development Plan ("PCDP") (Attachment 2) for the development of two (2) flex/R&D buildings and three (3) retail buildings. For the purposes of defining the use and compliance with the zoning code, staff has determined this is a "Business Center" in the General Commercial District.

17.04.120 – Definitions:

*"Business center" means a group of buildings for business use arranged on a parcel of land or on a group of individual lots in accordance with a predetermined development plan.*

## III. APPROVAL HISTORY:

These properties have not had any prior approvals.

## IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires a Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



**A. Site Plan (Attachment 2)**

- 1. Parking/Access:** The proposed access point is one on Naylor Mill Road.

A total of 485 spaces are provided plus 19 handicap spaces. The developer has calculated the parking using the mixed-use building standard of one (1) parking space per 350 sf and shopping center standard of one (1) parking space per 250 sf. The parking standard for mixed-use building should be used for the entire business center for a maximum of 409 spaces plus any additional parking as may be required for any restaurant.

Loading spaces are not shown. These will be required to be shown on the Final Comprehensive Development Plan.

Bicycle parking shall be provided compliant with the 17.196.060.

- 2. Refuse Disposal:** Trash collection will be private.
- 3. Building Setbacks/Spacing:** The minimum yard and perimeter requirements are set forth in 17.172.020 as follows:

A. Minimum Yard and Perimeter Requirements.

1. Front yard: twenty-five (25) feet.
2. Side yard: ten feet (two required).
3. Rear yard: twenty (20) feet.
4. Whenever any property line in a planned business center abuts a residential district a setback of twenty-five (25) feet shall be required abutting the property line;
5. Space between buildings:
  - a. One story—twenty (20) feet;
  - b. Two story—twenty-five (25) feet;
  - c. Three story—thirty (30) feet;
  - d. More than three stories—thirty (30) feet plus five feet per story.

The proposed development shall comply with all code requirements above prior to approval of the Final Comprehensive Development Plan.





# City of Salisbury

- 4. Open Space:** Multiple stormwater bio areas are shown throughout the property and existing drainage and maintenance easements.

## **B. Building Elevations/Floor Plans**

Proposed building elevations and floor plans are included on Sheets A-1 to A-4 of Attachment 2. Building plans are approved by DID for compliance prior to the issuance of building permits.

## **C. Sign Plan**

Preliminary signage is provided as part of Attachment 2. A plan shall be required showing the overall design, colors and location of signs throughout the center, which shall be submitted to and approved by the planning commission as part of the comprehensive development plan.

## **D. Landscaping Plan**

Landscaping details are provided on Sheet 3 of Attachment 2. A final landscape plan will be approved as part of the Final Comprehensive Development Plan.

## **E. Development Schedule**

A development schedule was not indicated.

## **F. Community Impact Statement**

A Community Impact Statement was not provided.

## **G. Statement of Intent to Proceed and Financial Capability**

A Statement of Intent to Proceed and Financial Capability were not provided.

## **H. Fire Service**

The project is subject to further review by the Salisbury Fire Department.

## **I. Stormwater Management**





# City of Salisbury

A Stormwater Management Concept has not been submitted for review. Staff anticipates this submittal for review after PCDP approval.

## **J. Forest Conservation Program**

City staff will request review by the County of the project for compliance with the FCA.

## **K. Transportation, Streets, and Pedestrians**

A traffic impact study will be required as part of the civil engineering review and comments must be addressed prior to approval of the Final Comprehensive Development Plan.

A shared use path will be required along Naylor Mill Rd.

## **V. PLANNING COMMENTS**

Staff notes that current and proposed residential development in the surrounding area has generated the demand for commercial retail and services that would be located in the business center. Future comments may be forthcoming following submittal of the engineering plans, community impact statement, and traffic impact study.

## **VI. RECOMMENDATION**

Staff recommends approval of the Preliminary Comprehensive Development Plan with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Submit a sign plan for Planning Commission approval as part of the Final Comprehensive Development Plan Approval;
3. Revise the parking tabulation to mixed-use building;
4. Provide locations of bicycle parking and loading spaces compliant with 17.196 of the zoning code;
5. Provide a Development Schedule, Community Impact Statement, Statement of Intent to Proceed and Financial Capability; and





# City of Salisbury

6. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.





December 14, 2023

City of Salisbury  
PLANNING AND ZONING COMMISSION  
Govt. Bldg., 3rd Floor, Council Chambers  
125 N Division Street  
Salisbury, MD 21801

To Whom It May Concern,

This letter is to provide a project narrative for the Preliminary Comprehensive Development Plan application for St. John Properties' proposed construction along Naylor Mill Road.

With this application, St. John Properties (SJP) proposes to construct two (2) Flex/R&D buildings and three (3) Drive-Thru Retail buildings along Naylor Mill Road. SJP has been developing and constructing Flex/R&D and Retail buildings in the greater Baltimore metropolitan area for over 50 years, and have begun over the past 20 years to expand into other markets outside of Baltimore. At the time of this letter, SJP owns and operates almost 24 million square feet of commercial space throughout the United States, with a vast majority of that space being Flex/R&D.

Flex/R&D buildings are a remarkable hybrid solution providing space for a wide array of commercial tenants. SJP constructs the shell of the building and then works with each tenant to build out a space customized for their specific needs. Some tenants in SJP buildings are light manufacturing/assembly type uses, where the finished space would only include 1-2 offices and a restroom. Other SJP tenants require full office buildouts. The Flex/R&D can be tenanted and re-tenanted as the market demands, without constructing new buildings or additions.

The Drive-thru inline Retail buildings are an excellent complement to the Flex/R&D buildings in larger parks. The tenants of these buildings are typically those service-oriented business that support the employees of the Flex/R&D and surrounding areas. Restaurants, Salons, and Coffee Shops are a few of the many tenants in our inline retail buildings.

This application is requesting approval to construct two (2) flex buildings totaling 106,950 sf and three (3) retail buildings totaling 36,075 sf, for a combined total of 143,025 sf. The application also proposes the construction of all of the requisite parking, drive-aisle, stormwater management, landscape, and lighting improvements commensurate with a development of this scope.

We appreciate your time and attention in reviewing this matter and look forward to adding to both your employment and tax base.

Thank you,

A handwritten signature in blue ink, appearing to read 'Andrew Roud', is written over a light blue horizontal line.

Andrew Roud  
Regional Partner

ATTACHMENT 1



**GENERAL NOTES**

- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY:  
 RWB INVESTMENTS LLC  
 4920 SNOW HILL RD  
 SALISBURY, MD 21804
- THE PROPERTY SHOWN HEREON IS CURRENTLY BEING DEVELOPED BY:  
 ST. JOHN PROPERTIES, INC  
 C/O MATTHEW DESTINO  
 2560 LORD BALTIMORE DRIVE  
 WINDSOR MILL, MD 21244  
 443-464-1316  
 mdestino@sjpi.com
- PARCEL 239 (LOT PAR16)  
 DEED REF: 3524/1
- PRESENT ZONING OF THIS PROPERTY: GENERAL COMMERCIAL  
 PROPOSED ZONING: GENERAL COMMERCIAL
  - FRONT MINIMUM SETBACK: 25'  
 REAR MINIMUM SETBACK: 15'  
 SIDE SETBACKS: TWO REQUIRED TOTALING NO LESS THAN 20'  
 MINIMUM LOT SIZE: 10,000 SF  
 MAXIMUM BUILDING HEIGHT: 50'
  - THESE PROPERTIES ARE LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
  - THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1
  - CONTRACTOR TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
  - THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
  - THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
  - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL BE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
  - PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
  - CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY.
  - ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
  - PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY PUBLIC WORKS.
  - PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR.
  - VERTICAL DATUM IS BASED ON NAVD83.

**LAND USE SUMMARY**

SITE AREA	=	17.8 AC
PROPOSED BREAKDOWN		
BUILDING	=	143,025 SF
PAVING	=	327,412 SF
CONCRETE	=	15,300 SF
TOTAL IMPERVIOUS	=	11.2 AC
PERCENT IMP	=	62.9%

**PARKING TABULATION**

SHOPPING CENTER: 1 PARKING SPACE PER 250 SF  
 MIXED USE BUILDINGS: 1 PARKING SPACE PER 350 SF

36,075 / 250 = 144.3 (145 MAX REQUIRED)
106,950 / 350 = 305.6 (306 MAX REQUIRED)
TOTAL = 451 MAX

485 SPACES PROVIDED INCLUDING 19 ADA ACCESSIBLE SPACES (ADA CALCULATIONS BASED ON 2010 ACCESSIBILITY GUIDELINES AND STANDARDS AS APPLIED TO EACH INDIVIDUAL PARKING STRUCTURE/LOT)

**ESTIMATED WATER & SEWER USAGE**

CALCULATIONS BASED ON OFFICE SPACE  
 GROSS AREA X 0.09 = GPD 1 EDU = 250 GPD

PROJECT USAGE:	143,025 X 0.09 = 12,872 GPD	12,872 / 250 = 52 EDU
----------------	-----------------------------	-----------------------

**LIST OF CITY STANDARDS USED**

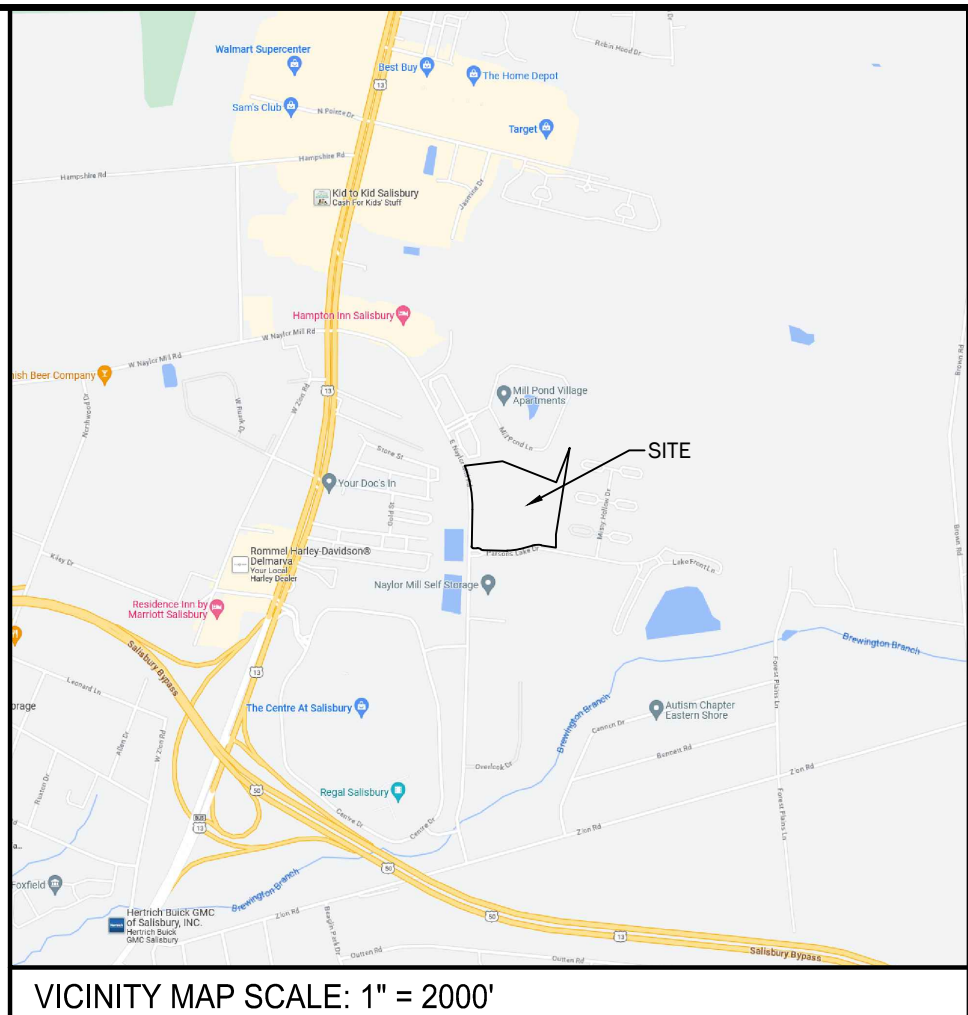
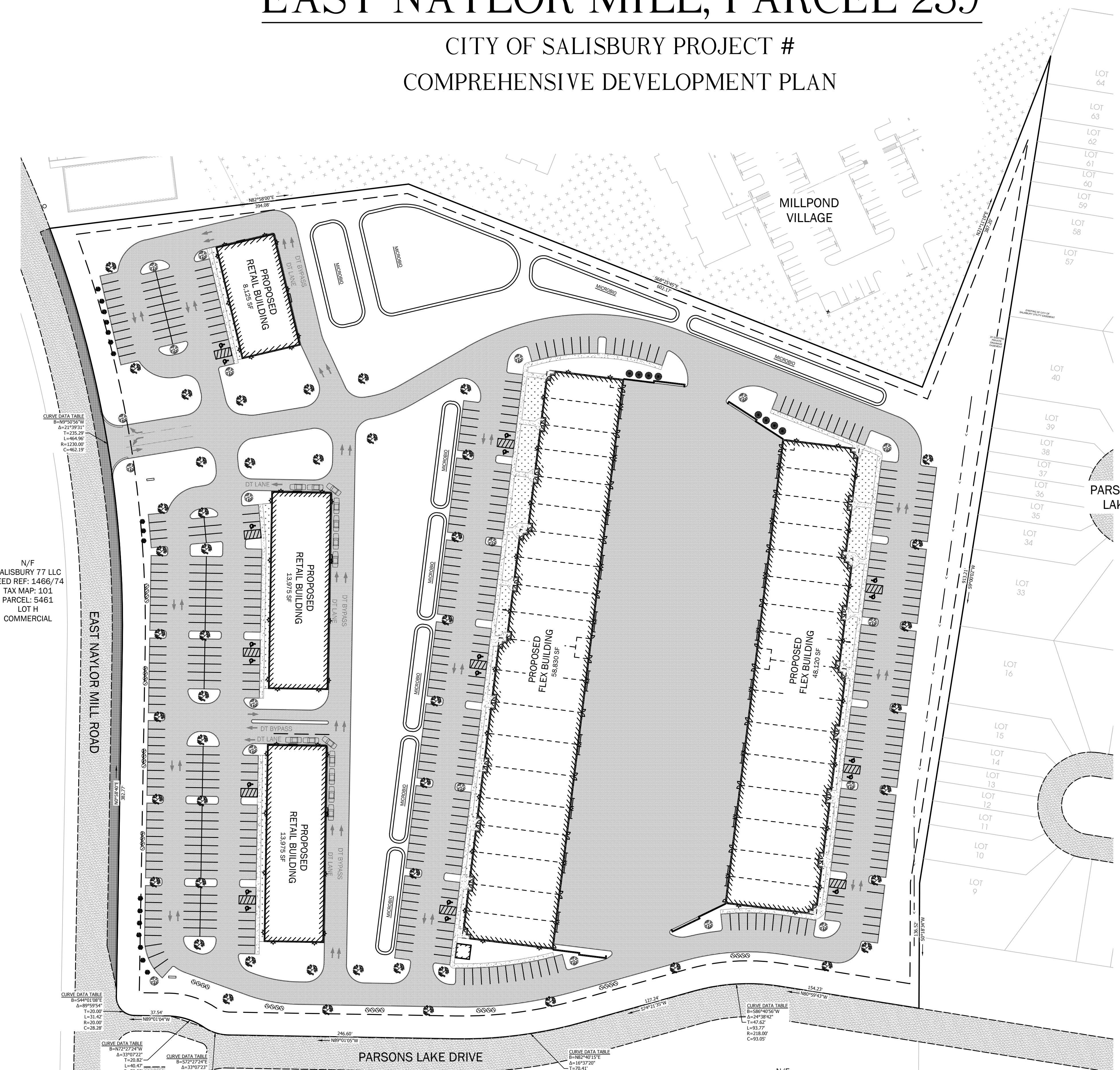
STANDARD INSTALLATION FIRE HYDRANT	STD. NO. 300.55
STANDARD CURB AND GUTTER	STD. NO. 100.11A

**LEGEND:**

	WATER METER
	BIKE RACK
	SITE LIGHTING
	DUMPSTER
	EXISTING SEWER MANHOLE
	TELEPHONE/COMMUNICATIONS PEDESTAL
	EXISTING UTILITY POLE
	ACCESSIBLE PARKING AND ACCESS WAY
	PROPERTY LINE
	BUILDING SETBACK
	EXISTING CURB
	PROPOSED CURB
	EDGE OF PAVEMENT
	PROPOSED PARKING STRIPE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND ELECTRIC
	SIDEWALK/CONCRETE
	ASPHALT/PAVEMENT
	EXISTING ROADWAY
	PROPOSED BUILDING FOOTPRINT

# EAST NAYLOR MILL, PARCEL 239

## CITY OF SALISBURY PROJECT # COMPREHENSIVE DEVELOPMENT PLAN



**SHEET LIST**

TITLE SHEET	SHEET 1
SITE PLAN	SHEET 2
LANDSCAPE & LIGHTING PLAN	SHEET 3
FLEX ELEVATIONS	A-1
FLEX ELEVATIONS	A-2
RETAIL ELEVATIONS	A-3
RETAIL ELEVATIONS	A-4



**SHEET 1**

GRAPHIC SCALE  
1 inch = 60 feet

NO.	DATE	DESCRIPTION	BY	CHK.	APP.

**DEVELOPER'S CERTIFICATION**

HEREBY CERTIFY THAT THIS IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS A DEVELOPER OF THE SUBJECT PROPERTY. DEVELOPER SUCCESSOR OR ASSIGNS SHALL ENSURE ALL STORMWATER MANAGEMENT IMPROVEMENTS ARE COMPLETED PER DESIGN AND AS REQUIRED BY REGULATIONS INCLUDING BUT NOT LIMITED TO GRADUAL SLOPES AWAY FROM BUILDINGS, DISSIPATION OF FLOW, MIN. DISCONNECTION FLOW PATH LENGTH, SEPARATION FROM NEAREST IMPERVIOUS SURFACE OF SIMILAR OR LOWER ELEVATION AS APPROPRIATE. DEVELOPER SUCCESSOR OR ASSIGNS ARE RESPONSIBLE FOR CONDUCTING A FINAL INSPECTION TO BE CONDUCTED PRIOR TO USE AND OCCUPANCY APPROVAL (SETTING OF WATER METER) TO ENSURE SIZING FOR TREATMENT AND GRADING ARE PER DESIGN, AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED. DEVELOPER SUCCESSOR OR ASSIGNS SHALL PREPARE INDEPENDENT THIRD PARTY INSPECTION REPORT OF ALL STORMWATER MANAGEMENT IMPROVEMENTS SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER CURRENTLY REGISTERED IN MARYLAND AND SCHEDULE A WALK-THROUGH WITH CITY STORMWATER INSPECTOR.

ST. JOHN PROPERTIES  
 C/O MATTHEW DESTINO  
 2560 LORD BALTIMORE DRIVE  
 WINDSOR MILL, MD 21244  
 443-464-1316  
 mdestino@sjpi.com

DATE \_\_\_\_\_

**PROFESSIONAL CERTIFICATION**

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27739, EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21193, EXPIRATION DATE: JANUARY 25, 2024.

BRUCE PARKER, P.E., R.L.S.  
 858 RIVERSIDE DRIVE  
 SALISBURY, MARYLAND 21801  
 PHONE: (410) 749-1023 FAX: (410) 749-1012  
 EMAIL: BROCK@PARKERANDASSOCIATES.ORG

DATE \_\_\_\_\_

APPROVED: \_\_\_\_\_ CITY PROJECT # \_\_\_\_\_  
 CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT UTILITY CONTRACT # \_\_\_\_\_

Richard D. Baldwin Director DATE \_\_\_\_\_

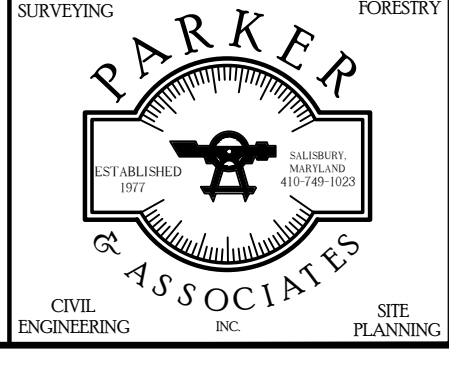
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 TAX MAP: 101  
 PARCEL: 5461  
 LOT H  
 COMMERCIAL

N/F SALISBURY VENTURES LLC  
 DEED REF: 4288/248  
 TAX MAP: 119  
 PARCEL: 240  
 LOT 7AA  
 COMMERCIAL

N/F SALISBURY VENTURES LLC  
 DEED REF: 4288/248  
 TAX MAP: 119  
 PARCEL: 251  
 COMMERCIAL

COMPREHENSIVE DEVELOPMENT PLAN

TITLE SHEET  
 EAST NAYLOR MILL, PARCEL 239





N/F  
SALISBURY 77 LLC  
DEED REF: 1466/74  
TAX MAP: 101  
PARCEL: 5461  
LOT H  
COMMERCIAL

MILLPOND  
VILLAGE

PARSONS  
LAKE

LOT 64  
LOT 63  
LOT 62  
LOT 61  
LOT 60  
LOT 59  
LOT 58  
LOT 57

LOT 40  
LOT 38  
LOT 37  
LOT 36  
LOT 35  
LOT 34

LOT 15  
LOT 14  
LOT 13  
LOT 12  
LOT 11  
LOT 10  
LOT 9

EAST NAYLOR MILL ROAD

PARSONS LAKE DRIVE

N/F  
SALISBURY VENTURES LLC  
DEED REF: 4288/248  
TAX MAP: 119  
PARCEL: 251  
COMMERCIAL



PROPOSED CURB & GUTTER  
PER CITY STD NO 100.11A

PROPOSED HYDRANT TO BE INSTALLED  
PER CITY STD NO 300.55

PROPOSED HYDRANT TO BE INSTALLED  
PER CITY STD NO 300.55

SEWER TO CONNECT  
TO EXISTING 12" MAIN

EXISTING DRAINAGE EASEMENT  
TO BE MOVED WITH DITCH

PROPOSED LOCATION OF  
RELOCATED DITCH

PROPOSED 25' MONUMENT SIGN  
WITH ELECTRONIC READER BOARD

PROPOSED ROAD WIDENING  
ALONG PROPERTY FRONTAGE

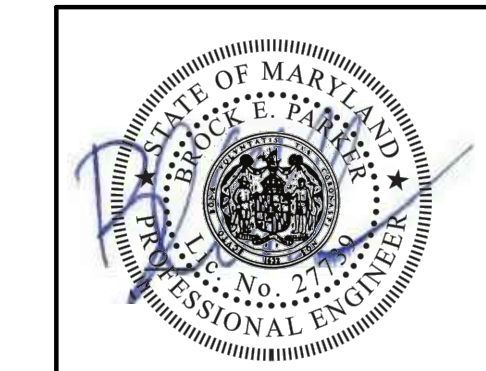
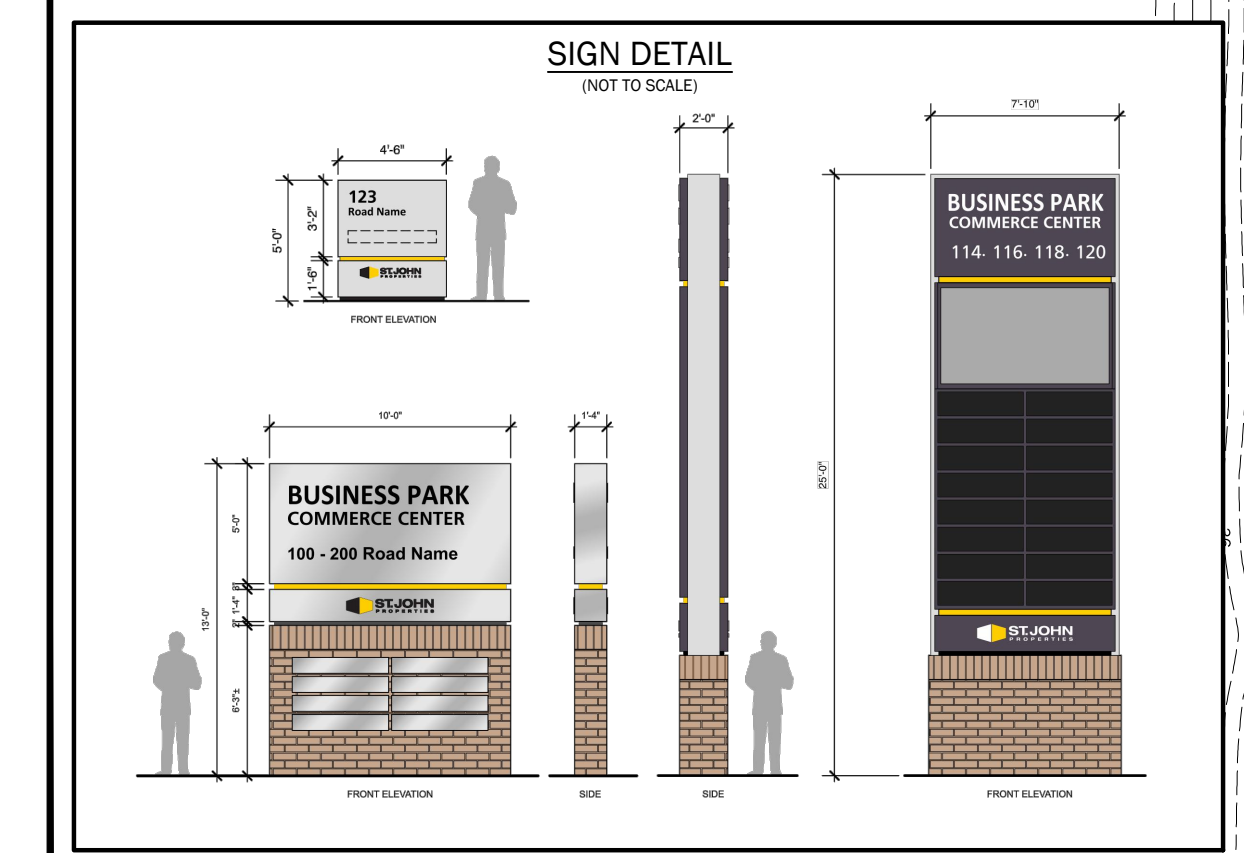
PROPOSED BIKE RACK SUITABLE  
FOR 5 BICYCLES (TYP)

PROPOSED BIKE RACK SUITABLE  
FOR 5 BICYCLES (TYP)

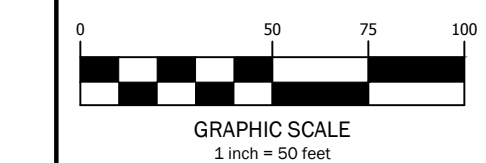
PROPOSED 14' BUSINESS PARK  
MONUMENT SIGN

PROPOSED GAZEBO  
WITH PICNIC TABLES

WATER TO TIE INTO EXISTING STUB  
EXISTING HYDRANT TO REMAIN



SHEET 2

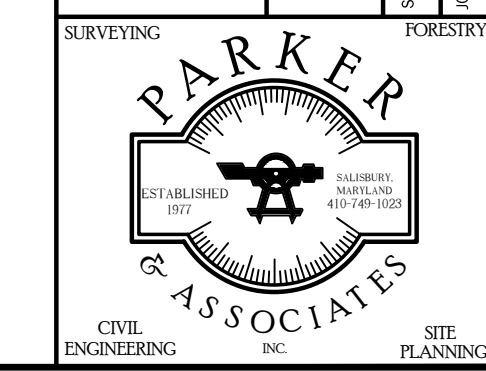


REVISIONS	DATE	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN

**SITE PLAN**  
**EAST NAYLOR MILL, PARCEL 239**

Road Name: East Naylor Mill Rd  
 East Naylor Mill, Parcel 239  
 City of Salisbury, Wicomico County, Maryland  
 DATE: 11/1/23  
 SCALE: 1" = 50'  
 DRAWN BY: EAL  
 CHECKED BY: EAL  
 PROJECT: 239  
 SHEET: 5  
 PLAN NO: 232604-CP-COMP-PLAN-DWG

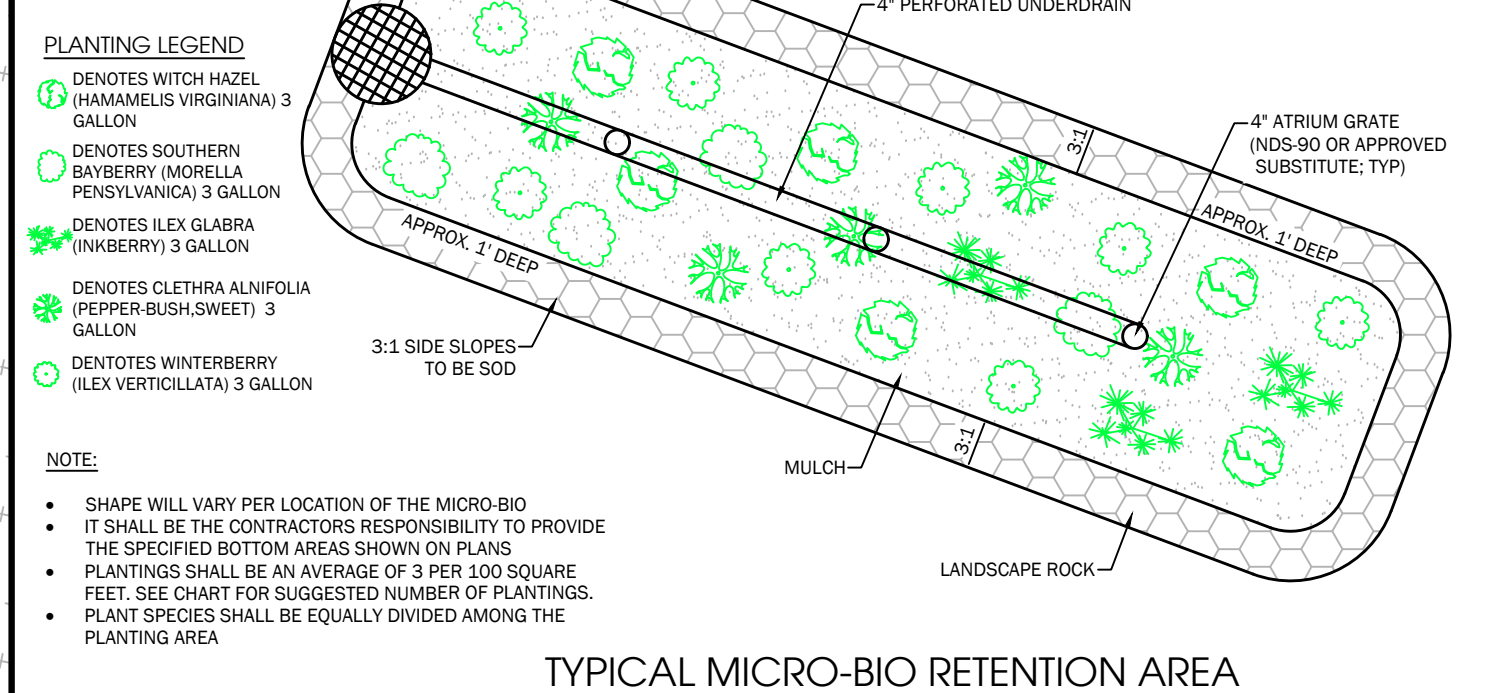


Nov 02, 2023 6:18pm

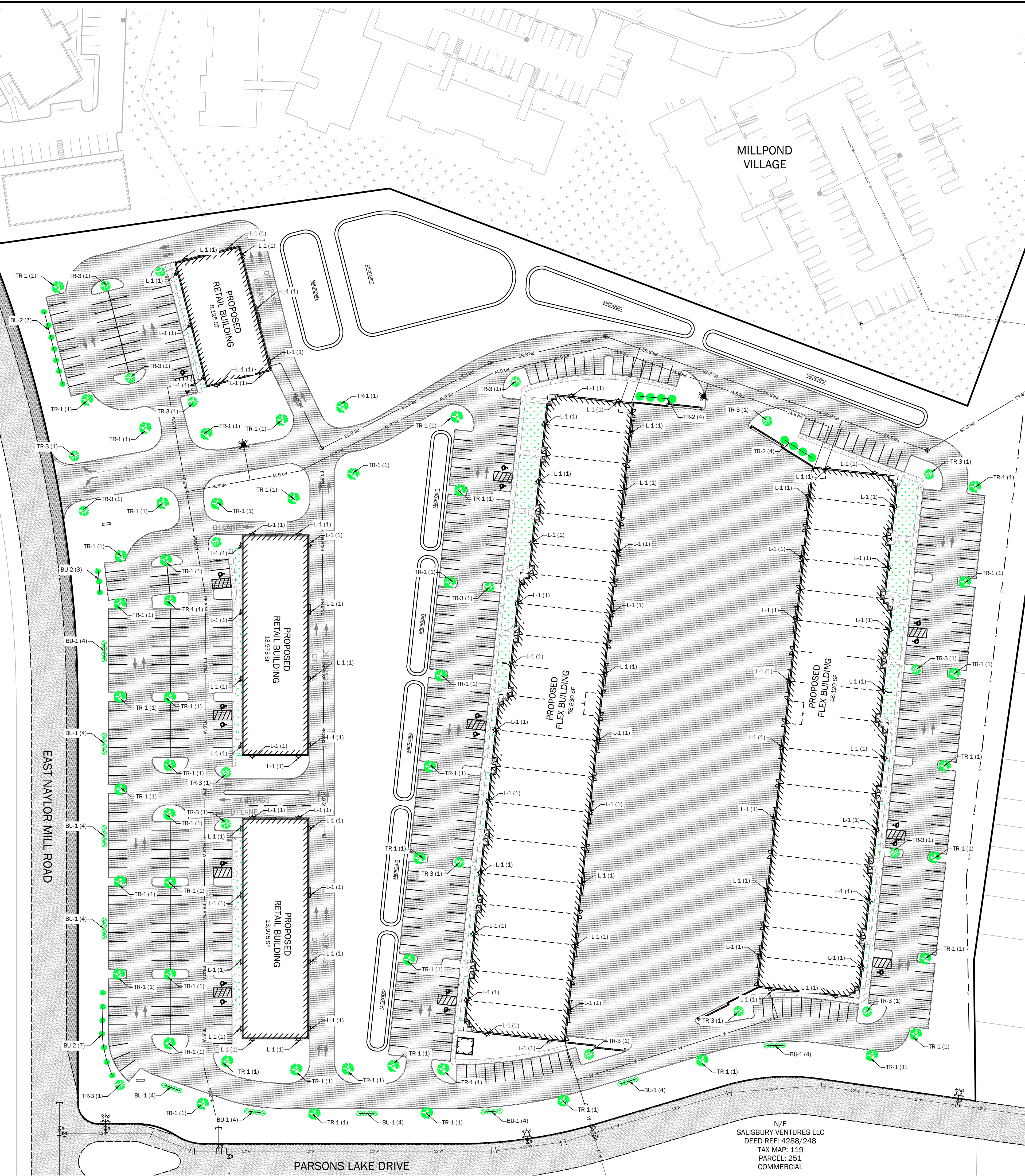


**LANDSCAPE & LIGHTING LEGEND**

- TR-1 49 - PLATANUS X ACERIFOLIA (LONDON PLANE) - OR SIMILAR DECIDUOUS SHADE TREE SPECIES - PLANTING LOCATION
  - TR-2 8 - THUJA OCCIDENTALIS (AMERICAN ARBORVITAE) - OR SIMILAR EVERGREEN TREE FOR SCREENING - 4' TO 6' PLANTING LOCATION
  - TR-3 20 - LAGERSTROEMIA X 'NATCHEZ' (NATCHEZ CRAPE MYRTLE) - OR SIMILAR FLOWERING ORNAMENTAL TREE - 4' TO 6' PLANTING LOCATION
  - BU-1 40 - ROSA 'KNOCK OUT' (KNOCK OUT ROSE) - OR SIMILAR FLOWERING SHRUB - 1 GALLON PLANTING LOCATION CONSOLIDATED INTO BEDS
  - BU-2 17 - ILEX GLABRA (INKBERRY) - OR SIMILAR NATIVE SHRUB - 1 GALLON PLANTING LOCATION
  - L-1 78 - PROPOSED BUILDING WALLMOUNT LIGHT PACK FOR SITE LIGHTING TO BE PLANNED AND PROVIDED BY OTHERS
- 6' BUFFER OF FOUNDATIONAL PLANTINGS TO BE PLANTED ALONG SIDEWALK OF EACH BUILDING'S MAIN FACADE TO INCLUDE A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS (PINK SUMMERSWEET (OLETHRA ALNIFOLIA 'PINK SPIRE'), BURNING BUSH (EUONYMUS ALATUS), HYPERICUM, SPIRAEA, AZALEAS (RHODODENDRON ATLANTICUM), AND JUNIPERS (JUNIPERUS)) AND A MIXTURE OF GROUND COVERS AND PERENNIALS (JUNIPERS AND FLOWERS, WITH ANNUAL COLOUR (TO BE SUPPLEMENTED WHERE APPLICABLE).



N/F  
SALISBURY 77 LLC  
DEED REF: 1466/74  
TAX MAP: 101  
PARCEL: 5461  
LOT H  
COMMERCIAL

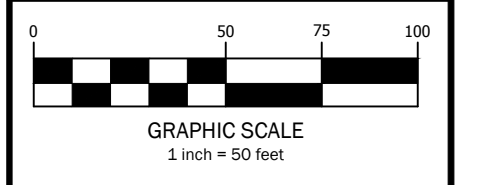


**LANDSCAPE NOTES:**

1. ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. CONTRACTOR SHALL CONTACT 'MISS UTILITY' AND SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO INSTALLATION OF PLANT MATERIAL.
3. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
4. THE ROOT BALL OF ANY TREE SHALL NOT BE PLANTED WITHIN 10' OF ANY WATER OR SEWER LINE. NO PLANTINGS SHALL BE PLANTED DIRECTLY ON TOP OF ANY UTILITY.



**SHEET 3**



REVISIONS	DATE	BY	CHK	CDP

**COMPREHENSIVE DEVELOPMENT PLAN**

**LANDSCAPE & LIGHTING PLAN**  
**EAST NAYLOR MILL, PARCEL 239**

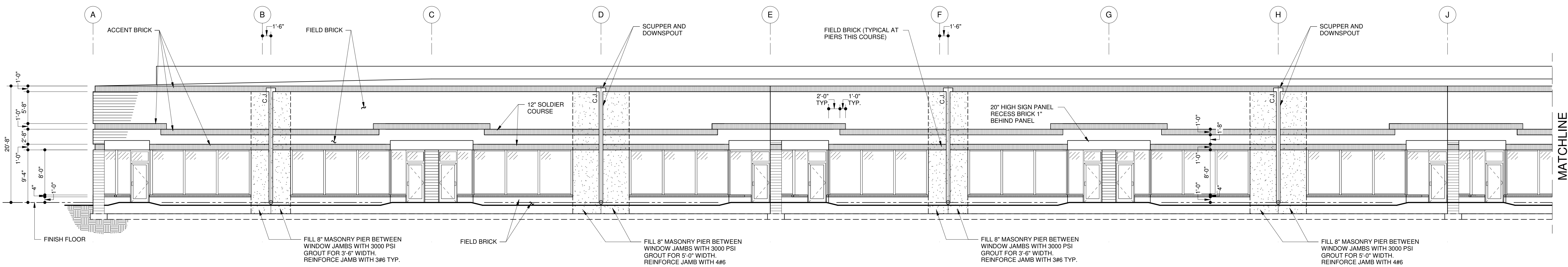
Road Name: East Naylor Mill Rd  
For: St. Johns Properties Inc.  
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

DATE: 11/7/23  
DRAWN: EAL  
SCALE: 1" = 50'

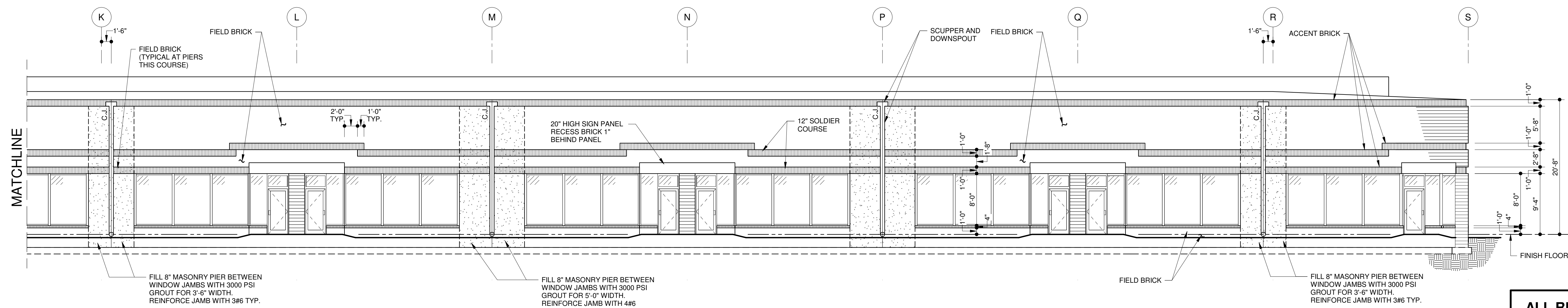


Nov 02, 2023 6:15pm



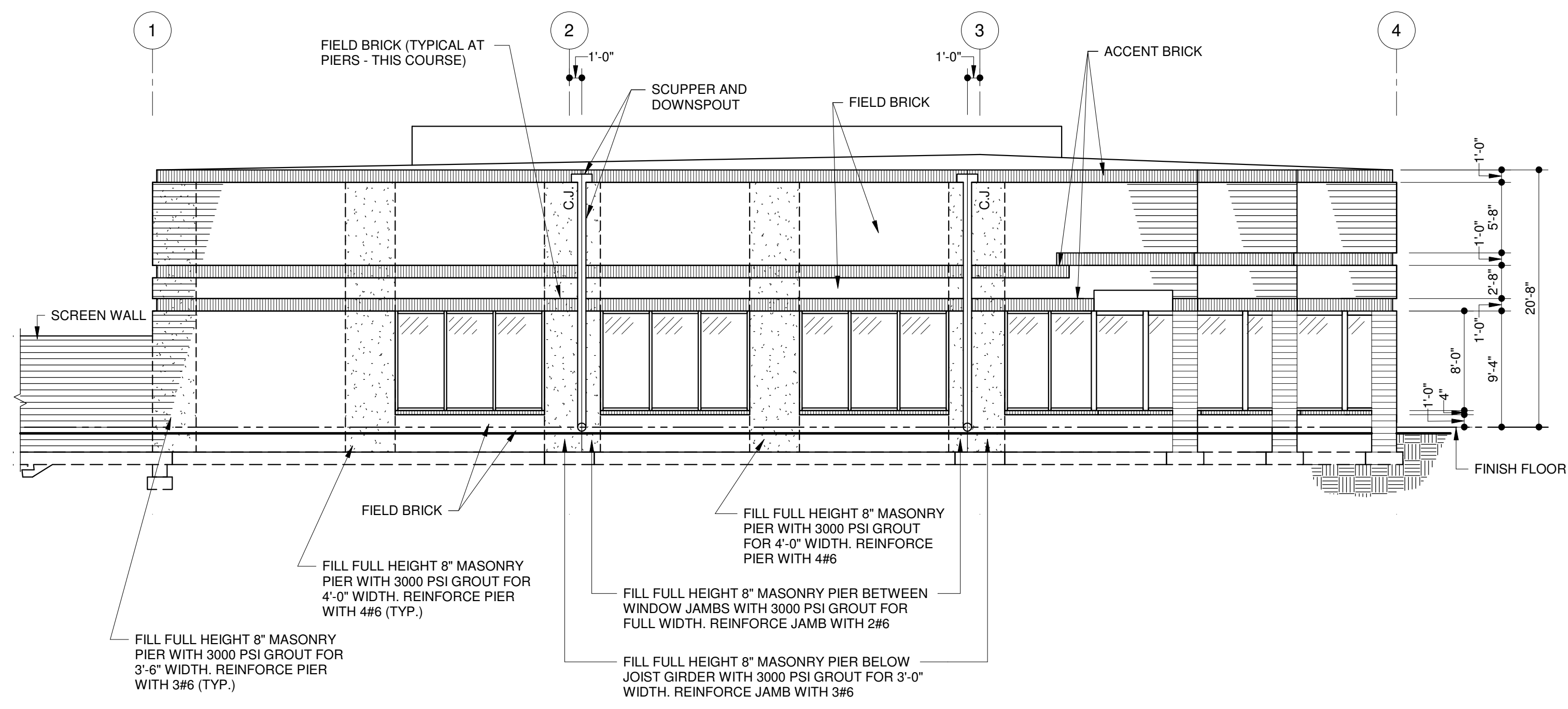


FRONT ELEVATION

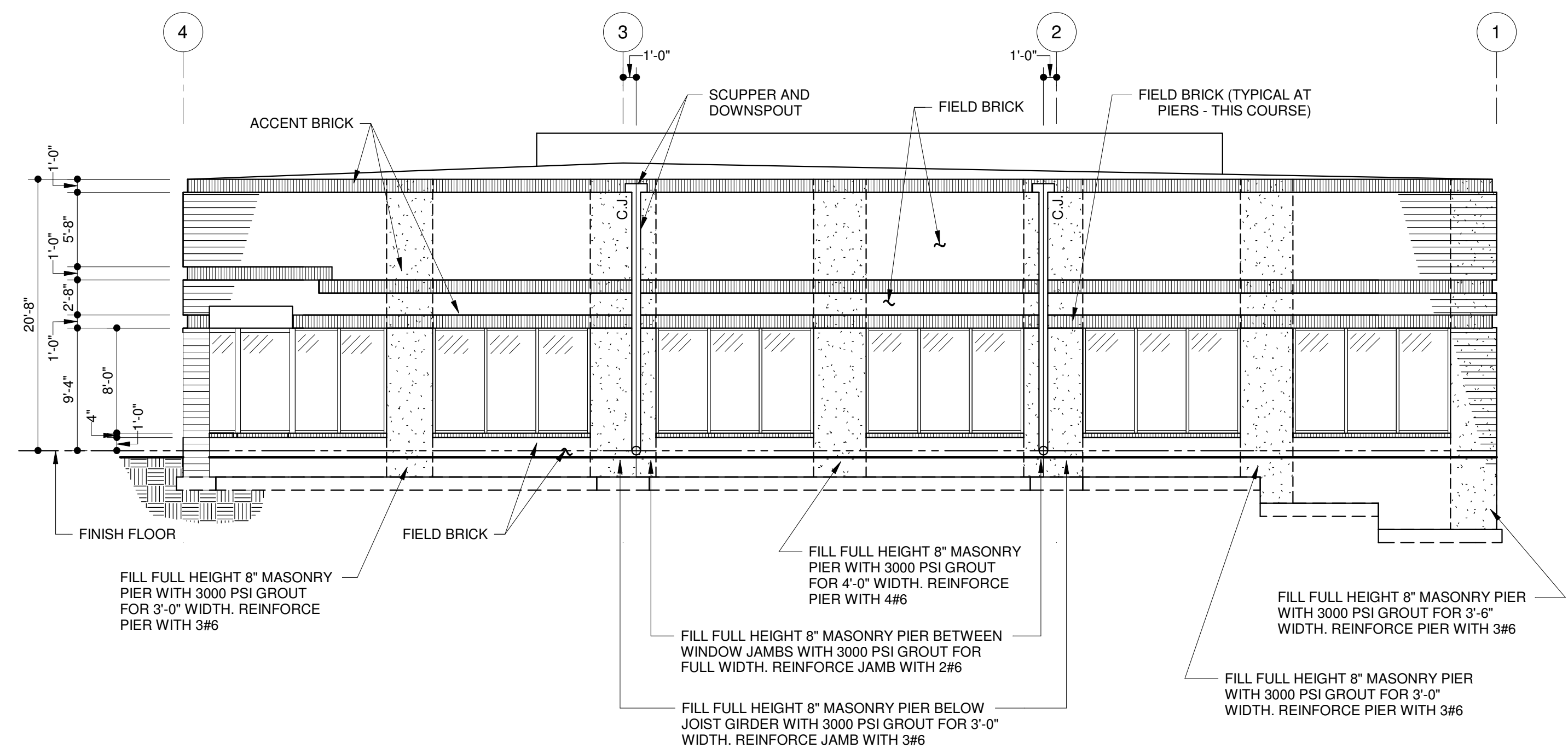


FRONT ELEVATION

**ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL, LAP SPLICE ALL BARS 36" MINIMUM.**



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Seal:

Professional Certification: I hereby declare that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License No. 2298-A  
 Expiration Date: 03/31/22

**ST. JOHN PROPERTIES**  
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 BALTIMORE, MD 21244  
 410-788-0100

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No.	Date	Revisions

DESIGNED	KAP	DRAWN	KAP
CHECKED	JAM	APPROVED	JAM

Project No.: 21028

Date: 02-19-21

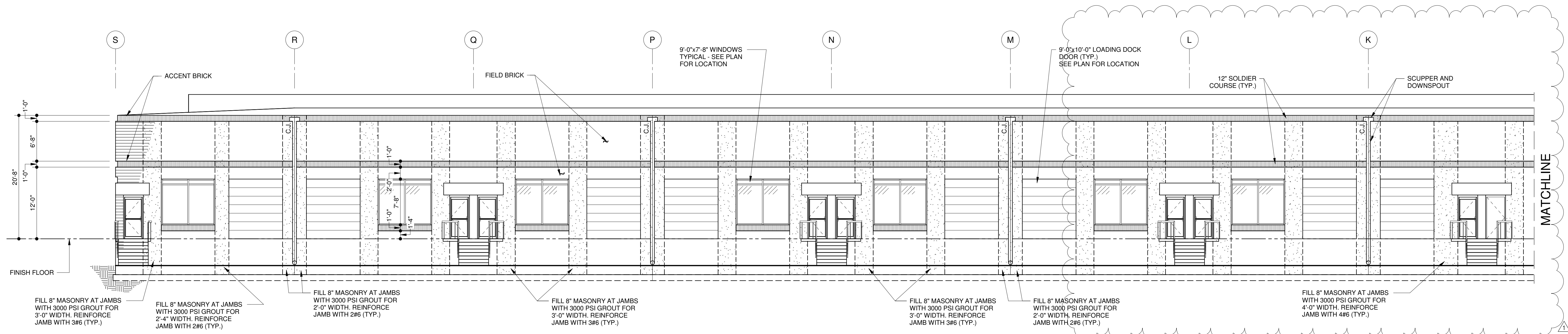
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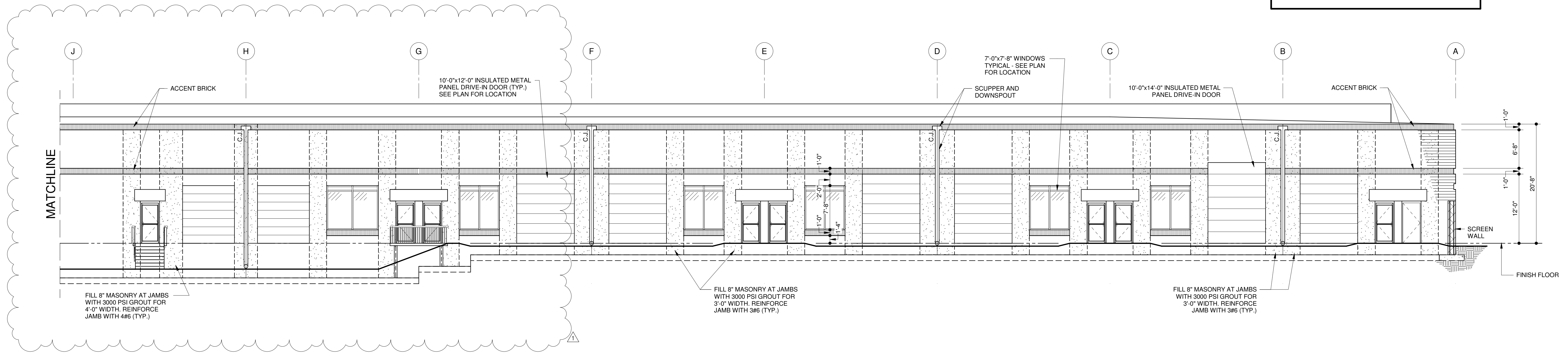
A-1





REAR ELEVATION

**ALL REINFORCING BARS IN BLOCK WALLS SHALL EXTEND FROM TOP OF FOOTING TO TOP OF WALL. LAP SPLICE ALL BARS 36" MINIMUM.**



REAR ELEVATION

Seal:

Professional Certification: I hereby declare that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
 License No. 2298-A  
 Expiration Date: 03/30/22

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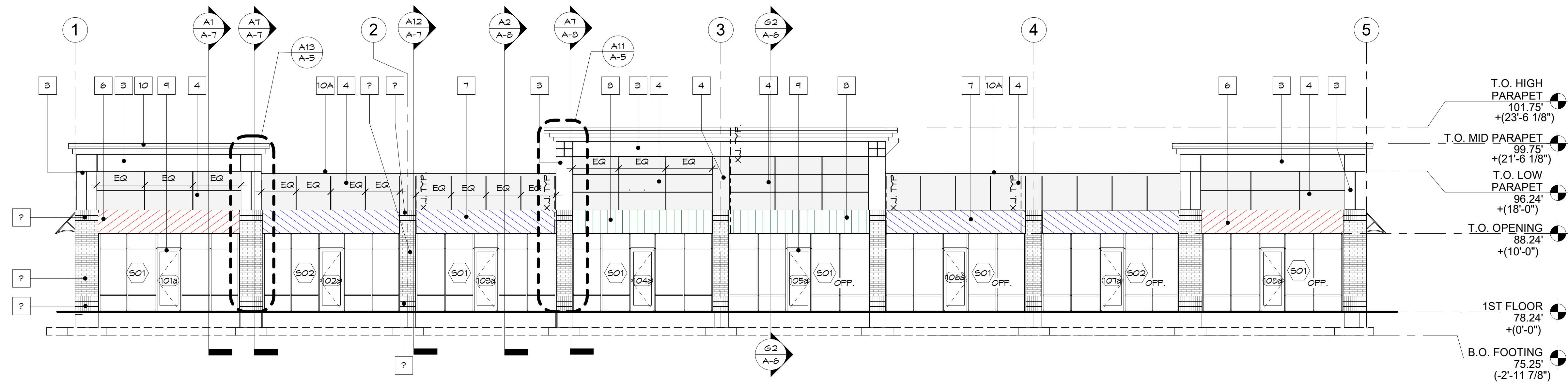
No.	Date	Revisions
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DESIGNED	KAP	DRAWN	KAP
CHECKED	JAM	APPROVED	JAM

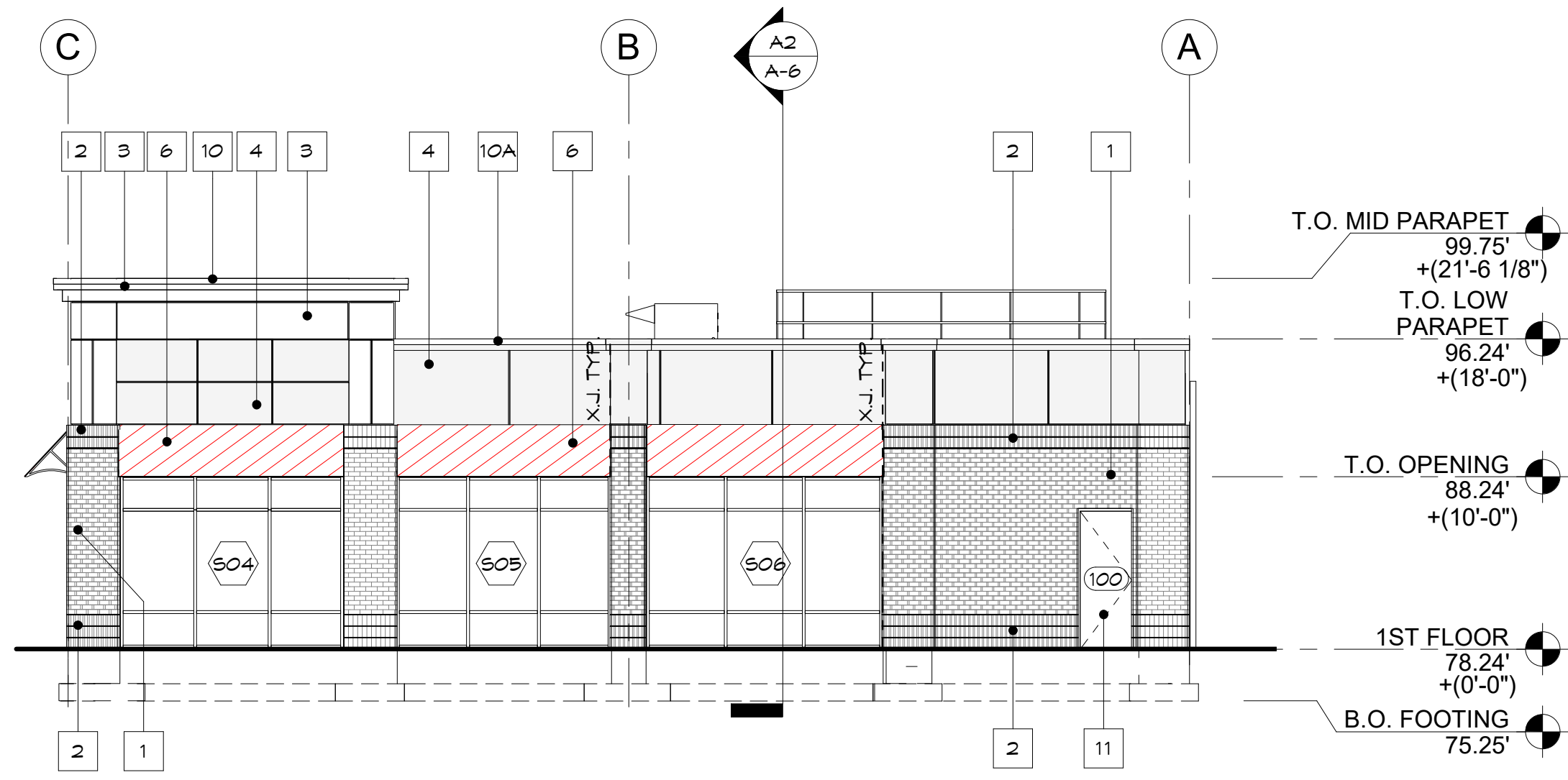
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 Date: 02-19-21  
 Scale: 1/8" = 1'-0"  
 Sheet Title:

Sheet No.:  
**A-2**





**H3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0" A-2



**B3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" A-2

**EXTERIOR MATERIAL SCHEDULE**

ITEM NUMBER	DESCRIPTION	ITEM NUMBER	DESCRIPTION
1	MANUFACTURER : WATSON TOWN DESCRIPTION : "CLOSURE" 3-5/8" x 3-5/8" x 7-5/8" FACEBRICK FINISH : COLOR: LATROBE KT, MORTAR: ARGOS GORDOVA TAN	8	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100 % SOLUTION DYED FIRESIST AVNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME IV POWDER COATING COLOR: TBD FINISH : COLOR: TBD
2	MANUFACTURER : WATSON TOWN DESCRIPTION : "CLOSURE" 3-5/8" x 3-5/8" x 7-5/8" SOLDIER COURSE FINISH : COLOR: MANHASSET KT, MORTAR: ARGOS PECAN	9	MANUFACTURER : YKK DESCRIPTION : YES 45 TU STOREFRONT SYSTEM FINISH : BLACK CAULK: TREMCO SPECTREM 4TS "BLACK"
3	MANUFACTURER : DRYVIT DESCRIPTION : EIFS FINISH : COLOR: #456 OYSTER SHELL, TEXTURE- SANDPEBBLE NT	10	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: STONE WHITE
4	MANUFACTURER : DRYVIT DESCRIPTION : EIFS FINISH : COLOR: #110 VAN DYKE, TEXTURE- SANDPEBBLE NT	10A	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: TBD
5	MANUFACTURER : NOT USED DESCRIPTION : FINISH :	10B	MANUFACTURER : PAC-GLAD DESCRIPTION : PRE-FINISHED ALUMINUM COPING, KYNAR 500 FINISH : COLOR: TBD
6	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100% SOLUTION DYED FIRESIST AVNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME IV POWDER COATING COLOR: TBD FINISH : COLOR: TBD	11	MANUFACTURER : SHERWIN WILLIAMS DESCRIPTION : DOOR AND TRIM PAINTED TO MATCH ADJACENT FINISH : COLOR: TBD
7	MANUFACTURER : GLEN RAVEN DESCRIPTION : 100 % SOLUTION DYED FIRESIST AVNING FABRIC OVER SHED TYPE WELDED, GALVANIZED METAL FRAME IV POWDER COATING COLOR: TBD FINISH : COLOR: TBD	12	MANUFACTURER : TBD DESCRIPTION : PRE-FINISHED METAL THRU-WALL SCUPPER AND DOWNSPOUT FINISH : COLOR: TBD

NOTE: 1. FINISH MATERIAL MOCK-UP PANEL TO BE ERCTED ON SITE PRIOR TO FINAL SELECTION OR ORDERING OF MATERIALS.  
2. MINIMUM 9 X 12 COLOR DRAWN- DOINGS TO BE SUPPLIED FOR ALL COATINGS, INCL. EIFS.

REV. NO.	DATE	DESCRIPTION
05/05/2021	15% SET	
05/21/2021	ISSUED FOR PERMIT	

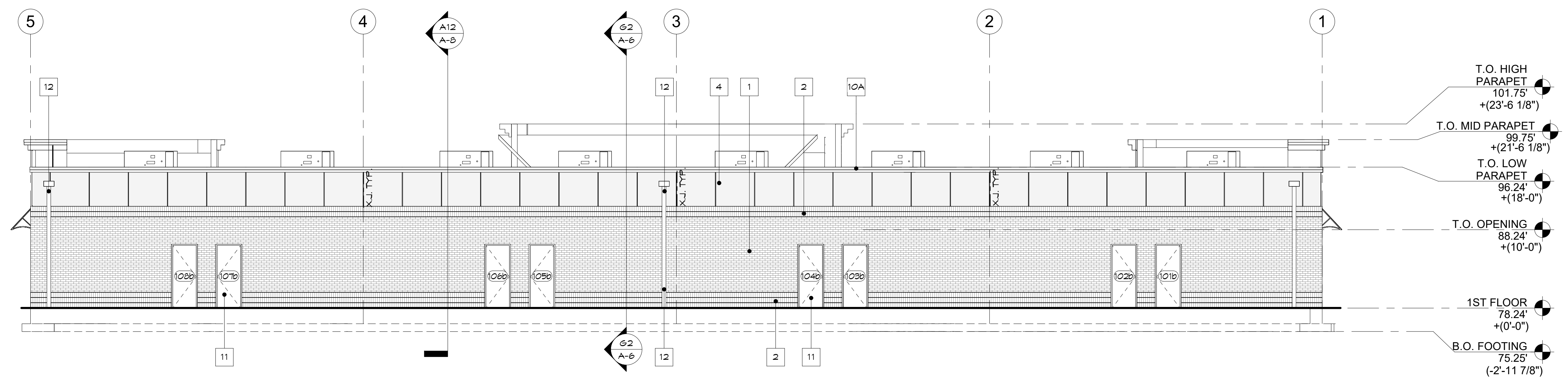
PROJECT NAME  
for  
**ST. JOHN PROPERTIES**

SHEET TITLE  
**ELEVATIONS**

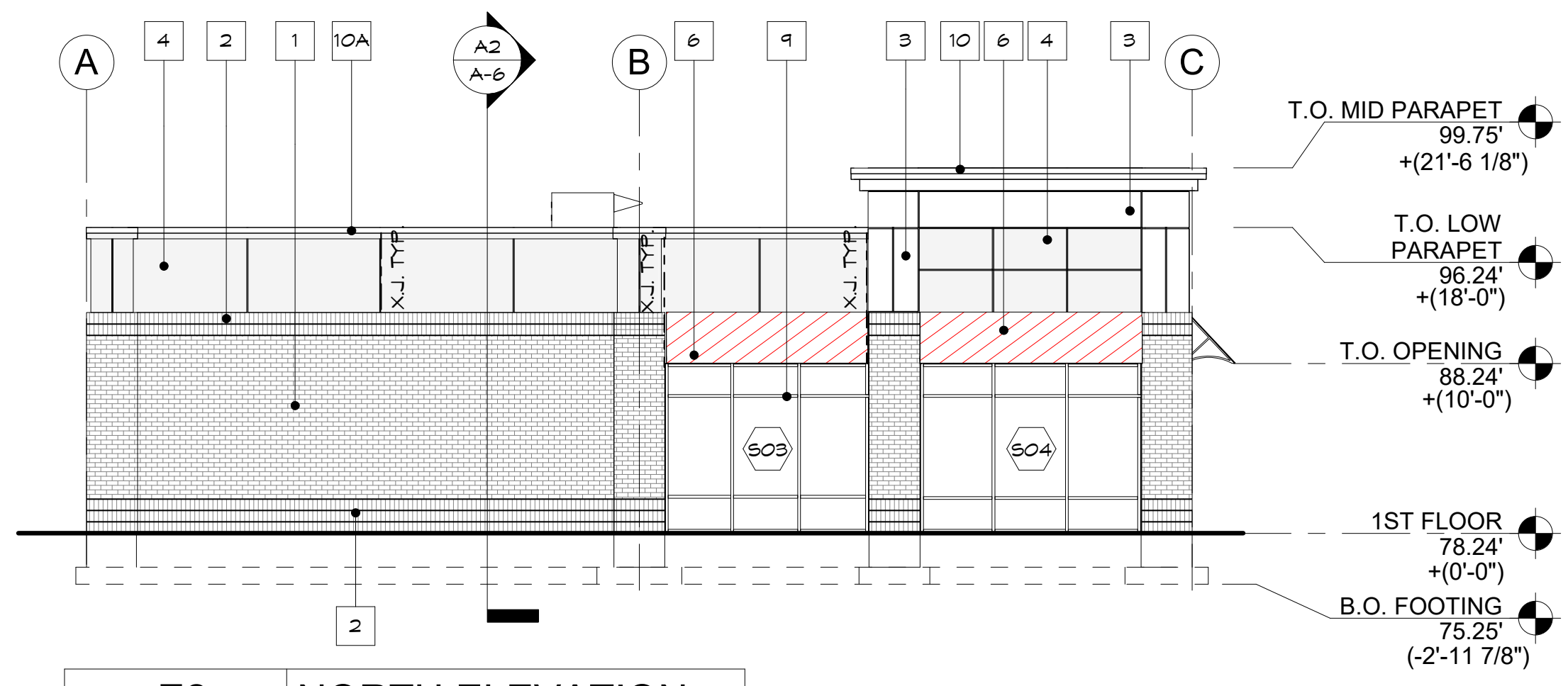
PROJECT NUMBER  
**20-163**  
FIRST RELEASE DATE  
05-05-2021

SHEET NUMBER  
**A-3**

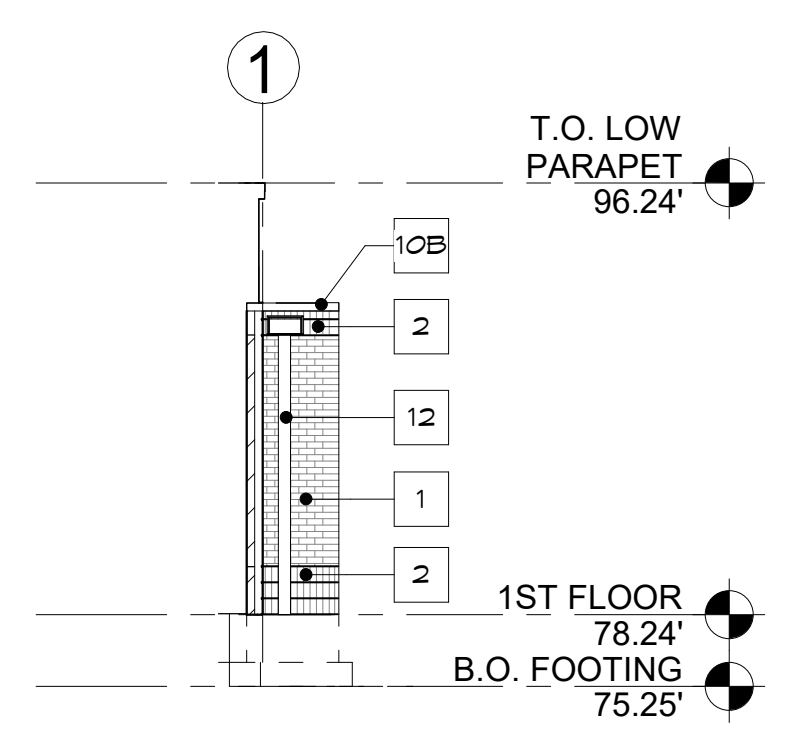




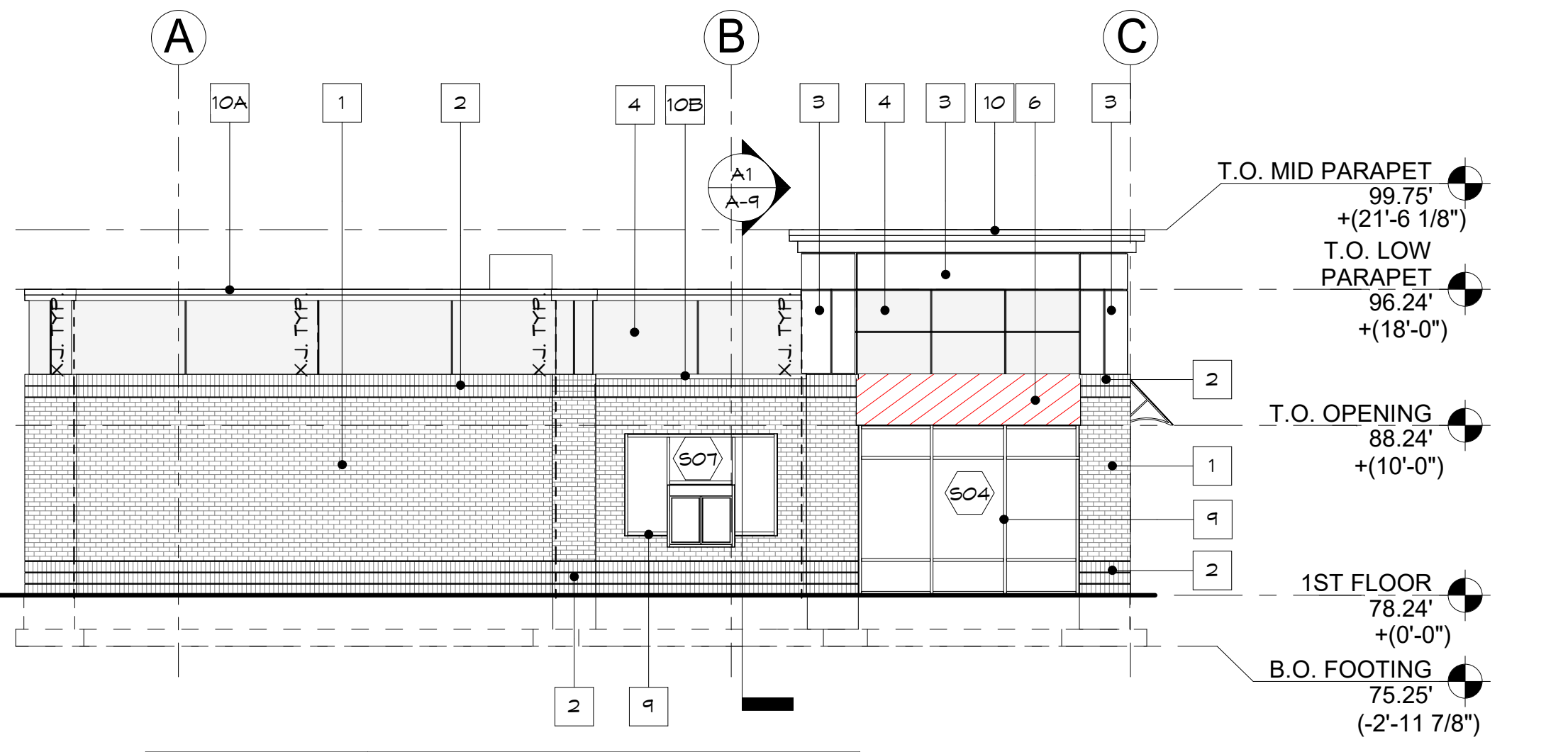
**J4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0" A-2



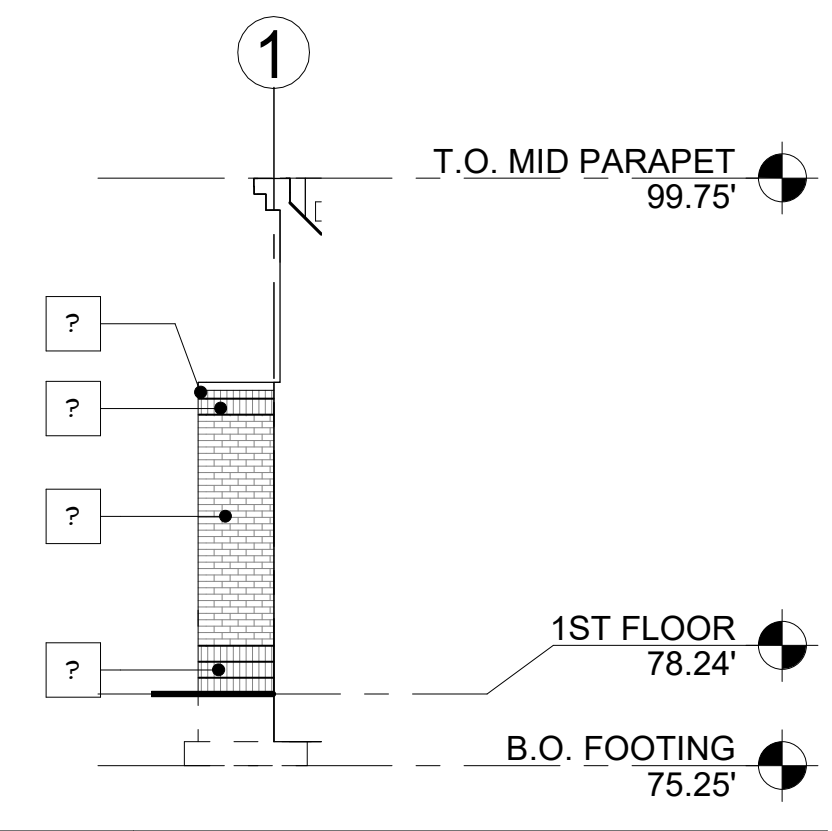
**E2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" A-2



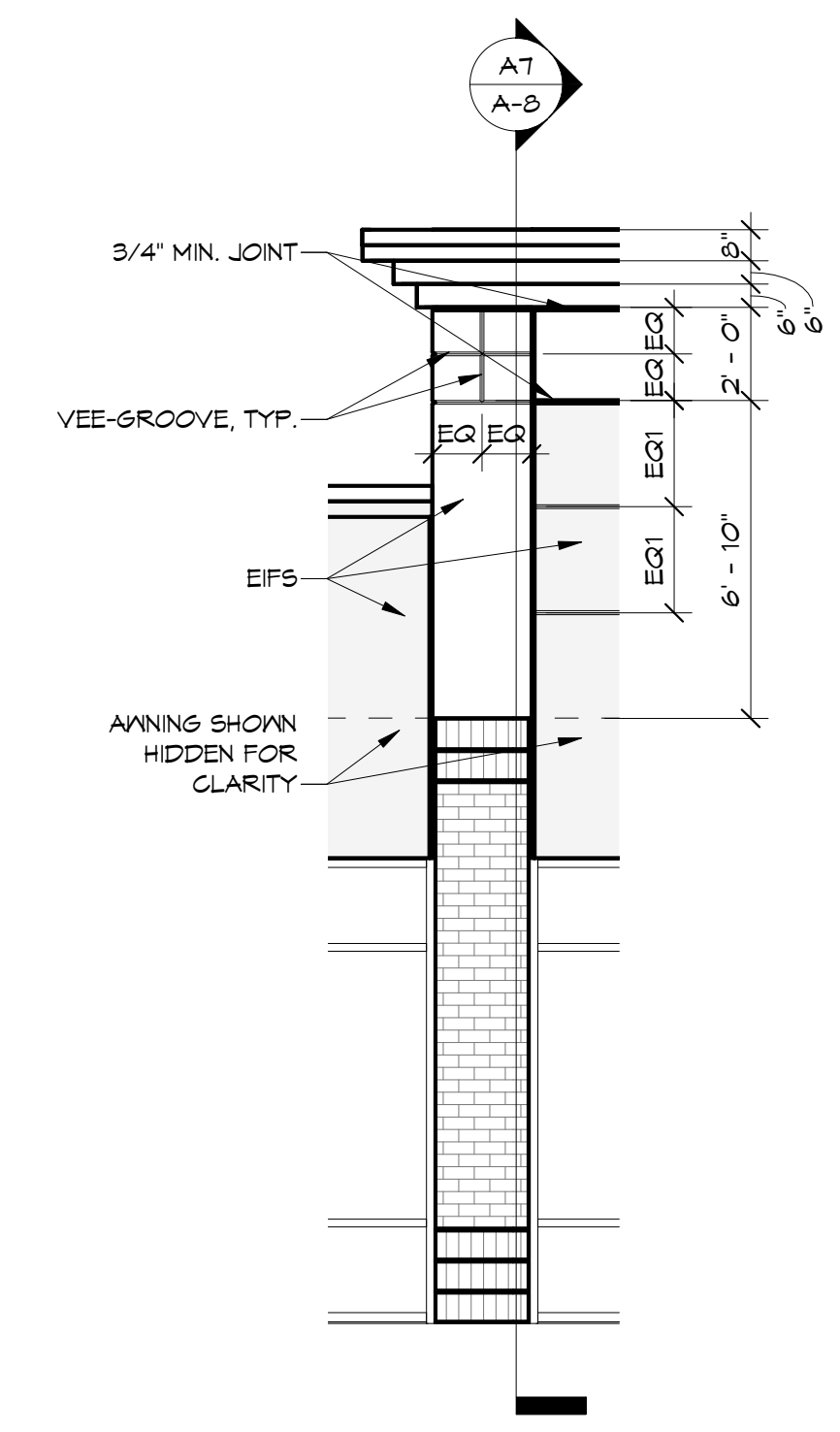
**E7 DRIVE-THRU EAST ELEVATION**  
SCALE: 1/8" = 1'-0" A-2 A1



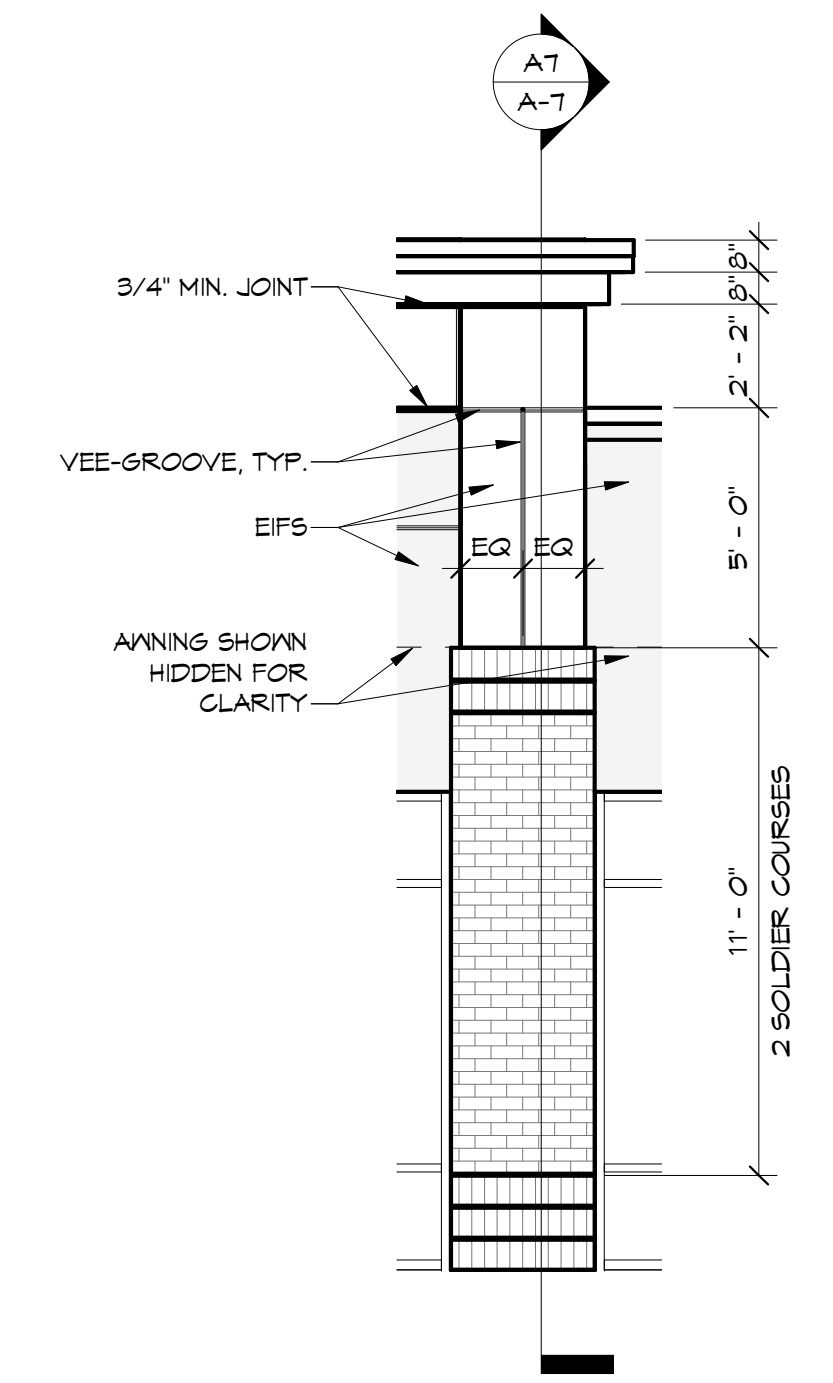
**A2 ALTERNATIVE NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" A-2 A1



**A7 DRIVE-THRU WEST ELEVATION**  
SCALE: 1/8" = 1'-0" A-2 A1



**A11 PIER ELEV. AT HIGH TOWER**  
SCALE: 1/4" = 1'-0" A-4 H3



**A13 PIER ELEV. AT LOW TOWER**  
SCALE: 1/4" = 1'-0" A-4 H3

REV. NO.	DATE	DESCRIPTION
05/05/2021	15% SET	
05/21/2021	ISSUED FOR PERMIT	

PROJECT NAME  
for  
**ST. JOHN PROPERTIES**

SEAL

SHEET TITLE  
**ELEVATIONS**  
PROJECT NUMBER  
**20-163**  
FIRST RELEASE DATE  
05-05-2021  
SHEET NUMBER  
**A-4**