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City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION
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JULIE M. GIORDANO
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SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION

AGENDA

REGULAR MEETING

July 20, 2023

ROOM 301, THIRD FLOOR
GOVERNMENT OFFICE BUILDING

1:30 P.M. Convene, Chip Dashiell, Chairman

Minutes – Meeting of June 15, 2023

1:35 P.M. WICOMICO COUNTY ANNUAL REPORT for CY 2022 – Planning Commission Review for Submittal to the MD Department of Planning (G. Pusey)

CITY OF SALISBURY ANNUAL REPORT CY2022- Planning Commission Review for Submittal to the MD Department of Planning (B. Soper and A. Rodriguez)

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN/WELLHEAD PROTECTION PLAN – OCEAN AISLE PHASE IV – 1501-3 Sharen Drive, LLC, rep. by Parker and Associates – Beaglin Park Drive and Old Ocean City Road – PDD #1 Planned Development District No. 1 – Robertson Farm – M-0121, G-0005, P-2582 - #202300746 (H. Eure)

SIGN PLAN – JOHNSON’S RETREAT – D.R. Horton – Johnson Road – R-10 Residential – M-0048, G-0011, P-0288 - #202300751 (H. Eure)

SIGN PLAN – FUJI RAMEN HOUSE – South Salisbury Plaza – 800 S. Salisbury Blvd. – General Commercial – M-0115, G-0002, P-0469 - #202300752 (H. Eure)

FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – VILLAGE AT SALISBURY LAKE
– Salisbury MD LLC, rep. by Parker and Associates – Civic Ave., Glen Ave., and St Albans Dr. – PRD #11 Planned Residential District No. 11 – Village at Salisbury Lake – M-0109, G-0002, P-2518 - #22-014 (B. Soper)

PRELIMINARY CERTIFICATE OF DESIGN AND SITE PLAN APPROVAL – SALISBURY TOWN CENTER
– Rep. Parker and Associates – Camden St., N. Circle Ave., and W. Market St. – Central Business District - M-0107, G-0014 and 0020, P-1066, 1071 and 1074, 1075, 1076, 1077, 1078, and 1079 - #22-033 (B. Soper)

DISCUSSION – Cannabis Legislation (A. Illuminati and L. Carter)



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MINUTES

The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on June 15, 2023 in Room 301, Council Chambers, Government Office Building with the following persons participating:

COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman
Jim Thomas, Vice Chairman
Muir Boda
Joe Holloway
Kevin Shertz
Matt Drew

PLANNING STAFF:

Brian Soper, City of Salisbury, Department of Infrastructure and Development ("DID")
Henry Eure, DID
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")
Janæ Merchant, PZCD

Heather Konyar, City of Salisbury, Department of Law

The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

MINUTES: The minutes from May 18, 2023 were brought forward for approval. Chairman Dashiell added the original minutes that were sent out had been amended on page 4 in regards to College Square Shopping Center; the motion was changed from "Denied" to "Approved." Mr. Joe Holloway submitted a motion to approve, seconded by Mr. Muir Boda and duly carried. Mr. Matt Drew abstained from voting as he was not in attendance for May's meeting. The minutes from May 18, 2023 meeting were **APPROVED** as submitted.

PUBLIC HEARING – TEXT AMENDMENT – City of Salisbury Zoning Code – Amending Chapter 17.04.120 – Definitions and Chapter 17.160 – R-5A, R-8A and R-10A Residential Districts – To include a community clinic. (B. Soper)

Ms. Heather Konyar read the advertisement for the Public Hearing.

Mr. Henry Eure administered the oath to Mr. Brian Soper, Mr. Jeff Harmon (Becker-Morgan Group) and Mr. Mark Cropper (Ayres, Jenkins, Gordy & Almand; attorney representing TidalHealth).

Mr. Soper distributed the Text Amendment which was omitted in the original packets and entered it and the Staff Report into the record.

Mr. Mark Cropper, on behalf of TidalHealth, requested a text amendment to add a community-based clinic to the uses permitted by special exception in the R-5A zoning district.

Mr. Soper presented the definition of **“Clinic – Residential” to mean a place used for the outpatient care, diagnosis and treatment of sick, ailing, infirmed and injured persons and those who are in need of medical or surgical attention, but who are not provided with board or room nor kept overnight on the premises. Behavioral and mental health counseling, community wellness outreach and education may also be provided. Medication Assisted Treatment (“MAT”) for addiction is not permitted.**

The draft amendment was reviewed by the City Solicitor for legal sufficiency.

The Planning Staff recommended the Commission to forward a favorable recommendation to the Mayor and City Council for the proposed amendments.

Under R5 – R8 districts special exception (17.160.030), the following was added:

Clinic – Residential in the R-5A district on a minimum lot of one (1) acre, in accordance with a comprehensive site plan, as approved by the Planning Commission, with the following:

- 1. Medical and dental clinic and office in 17.196.030 shall be used to determine parking space requirements,**
- 2. Screening from adjoining residential uses shall consist of a fence six feet in height and a twenty-foot-wide landscaped area shall be included on the comprehensive site plan approved by the Planning Commission, and**
- 3. A sign plan shall be approved by the Planning Commission, in accordance with 17.216.120.**

Mr. Cropper mentioned TidalHealth is interested in creating a clinic in the area zoned as R5-A. This would not be allowed if this Text Amendment is not approved. He agreed with the Staff Report and adopted it as his and Mr. Harmon's presentation.

Mr. Boda added he supports this request and believes it will be a great addition to the neighborhood.

Mr. Drew fully supported the Text Amendment. He asked if “Medication Assisted Treatment” is a new term and inquired if the term should be added as a definition. Mr. Soper clarified it is a commonly used term in the medical industry for treatment of addiction (i.e. Methadone). Mr. Soper said, in the definition, it was made clear this was for addiction only so the clinic is not prevented from other medical assisted times not related to addiction.

Mr. Holloway inquired if this facility would be used for the distribution of cannabis. Mr. Soper responded this has not been covered nor defined in the code. Mr. Soper anticipates amendments to the Code but waits for guidance from the State. At this time, there will be no distribution because the clinic will not include a pharmacy.

Chairman Dashiell added he believes the clinic is a positive step forward and hopes it is successful. If successful, it would allow for clinics similar to this to be in other neighborhoods to help the residents.

As there were no additional comments, Chairman Dashiell said they would entertain a motion to forward a favorable recommendation to the Mayor and City Council for the proposed amendment as set forth in Attachment 2 of the Staff Report and based on the findings identified in the Staff Report. Mr. Boda entered a motion to approve then it was seconded by Mr. Holloway and duly carried, the Commission approved the Text Amendment.

Chairman Dashiell stated the motion was **APPROVED**.

Chairman Dashiell closed the Public Hearing at 1:44 p.m.

Mr. Jim Thomas arrived at 1:48 p.m.

REVISED FINAL COMPREHENSIVE DEVELOPMENT PLAN WELLHEAD PROTECTION SITE PLAN APPROVAL – THE CROSSING AT SUMMIT POINTE – Parker and Associates for Attar Enterprises, LLC – Parker Road, Old Ocean City Road, and Beaglin Park Drive – R-10A Residential Zoning District – M-0038, G-0012, P-0110, 295, & 429 - Case #202300605 (H. Eure)

Mr. Eure was joined by Mr. Soper, Mr. Brock Parker (Parker and Associates) and Mr. Jay Attar (Attar Enterprises, LLC). Mr. Eure distributed an addendum with revisions to the landscaping plan, then presented the Staff Report.

The applicant, on behalf of the owners, proposed to develop thirty-seven (37) two-story townhouse-style apartments with one-car garages for a total of 266 units. The proposed construction would consist of four (4) through eight (8) unit buildings, a community building and a pool. The remaining areas would consist of recreational areas, stormwater management ponds, forest conservation and landscaped areas.

In July 2022, a Final Comprehensive Development Plan was approved for a 209-townhouse development. In February 2023, the Planning Commission approved a subdivision for the project but it was never recorded.

Staff presented the Comprehensive Development Plan Review. These included Site Plan Review, Development Schedule, Community Impact Statement and Statement of Intent to Proceed and Financial Capability, Stormwater Management, Fire Service, Building Elevations, Forest Conversation, Wellhead Protection District, Wicomico County Board of Education, Traffic Study and Sign Plan.

Mr. Eure modified the landscaping to be compliant at this point with the addendum provided.

Staff believed the project is compliant with the City's Zoning Code standards for townhouse development. However, additional landscaping is required in the community building parking lot. Staff would like to see a typical Landscaping Plan for the individual lots.

Staff recommended approval for the Revised Final Comprehensive Development Plan and Revised Wellhead Protection Site Plan for The Crossing at Summit Pointe subject to the three (3)

conditions listed below. (Mr. Eure removed the conditions concerning community building parking lot landscaping and the need to provide a Landscaping Plan; both have been addressed.)

1. Obtain Sign Plan approval from the Salisbury/Wicomico Planning Commission prior to the installation of any signs.
2. Subject to further review and approval by the Salisbury Fire Department.
3. Subject to further review and approval by the Salisbury DID.

Mr. Parker discussed when Mr. Attar contracted to buy the property, Mr. Attar's biggest concern was the lack of open space and a community building. Also, the distance between the lot lines of townhomes were not wide enough. Mr. Parker said, by eliminating the lot lines and slightly boosting the density it enabled him to enlarge the size of the units and have eight (8) units per building. By doing this, there will be more space between buildings and/or in the central area of the project. They have planned on two (2) dog parks, and two (2) tot lots with picnic tables and barbecue areas. The streets within the project, sewer, and trash pick-up will be private.

Mr. Holloway inquired if the water and sewer would be private. Mr. Parker responded saying the water would be public. Mr. Holloway also wanted to know if septic systems would be on the property. Mr. Brock added there will be pipes tied into the city but it will not be city maintained. Mr. Thomas asked if the Homeowner's Association ("HOA") would be responsible for the maintenance of the pipes. Mr. Brock said this is a "for rent" property so there will not be an HOA, but there will be a management company.

Mr. Shertz inquired if they have notified the Board of Education ("BOE") of the potentially revised capacity of this new project. Mr. Soper added, they will update the BOE if the information is not provided by the developer.

Mr. Holloway mentioned the project borders the railroad tracks along the back. He asked if there will be any fencing along there for the safety of people and something to block out the noise. Mr. Parker said, along the northern and western areas of the plans there are swales that wrap around the entire property and is hoping it will serve to impede people from going on the railroad tracks.

Mr. Thomas inquired about the number of vehicle trips estimated coming out of the project. Mr. Parker said the recent traffic study resulted in an acceptable level of service.

Chairman Dashiell asked Mr. Parker to expand on the information regarding the train tracks and safety. Mr. Parker asked if a 6 ft. vinyl fence along the entire railroad frontage would suffice. The fence would be a little over 1,300 ft. Mr. Holloway added the property north of the project is currently being farmed and is for sale. He believes a fence would be more advantageous since residential and farming do not always get along. Mr. Soper further mentioned the easements along the railroad tracks; there is a 60 ft. easement for Conrail Railroad, 25 ft. for the City and 50 ft. for the powerline. The fencing would be outside the easements. Mr. Parker indicated he would be able to put the fence on the edge of the powerline easement. Chairman Dashiell said the fencing should be extended to the setback at Beaglin Park Drive. Mr. Eure added the condition, provide a 6 ft. tall fence along the north setback line subject to review and approval by Salisbury DID.

Mr. Drew inquired if there would be bike parking available. Mr. Eure and Mr. Parker agreed there will be bike parking.

As there were no additional comments, Mr. Thomas entered a motion to approve the Revised

Final Comprehensive Development Plan and Wellhead Protection Site Plan for The Crossing at Summit Pointe with the three (3) conditions mentioned in the Staff Report and adding the condition to provide a 6 ft. tall fence along the north setback line subject to review and approval by Salisbury DID. Mr. Shertz seconded the motion and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

COMPREHENSIVE SITE PLAN APPROVAL – CELTIC INSURANCE – 542 Snow Hill, LLC – 526 - 542 Snow Hill Road – General Commercial Zoning District – M-0112, G-0016, P-1901 & 1902 - Case #202300606 (H. Eure)

Mr. Eure and Mr. Soper remained at the table. Mr. Eure presented the Staff Report.

The applicant proposed to convert an existing 6,040 sq. ft. building into a multi-use building, with the first floor as office space, and the second floor as residential apartments. The building was built in 1962.

Staff presented the Comprehensive Development Plan Review. These included Parking and Landscaping.

Planning Staff had no concerns and indicated numerous improvements had been made to make this an attractive site. Staff recommended approval of the Site Plan as submitted.

Chairman Dashiell said it was an improved property with the additional landscaping that had been completed.

As there were no additional comments, Mr. Thomas motioned to approve the Comprehensive Site Plan for Celtic Insurance as submitted. The motion was seconded by Mr. Boda and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

The Commission was waiting for Mr. Bret Flory to arrive from Texas before discussing the final case for Caliber Collision. While waiting, staff announcements were heard.

Mr. Soper received the bids from vendors for a Comprehensive Plan bid; the Staff has reviewed them and made a recommendation. The recommended vendor is now with Procurement and going through the process. Once approved by Procurement, Mr. Soper hopes it will be discussed at the next meeting. He is happy with the chosen vendor because they have experience in the City doing similar work. Also, they are reviewing five (5) submittals for various Comprehensive Development Plans from Mr. Brock Parker. He believes next month's agenda will be busy. All Certificate of Occupancy's ("CO") have been completed for Glen Heights. Johnsons Retreat has begun building out their project, Sassafras 3 started building out their project, Parsons Lake Apartments are being built, and Ocean Isle is at the point they are ready to request water tie and water meters.

Mr. Thomas inquired, with all the building going on, have we made up the housing deficiency. Mr. Soper referred Mr. Thomas to the Association of Realtors. The developers are still moving forward with projects. If it were to slow down, it would be seen on the frontend of developments. Mr. Soper recently spoke with a realtor and found out there are still around five (5) offers on starter homes in the

range of \$100,000 - \$225,000 and the market for houses over \$400,000 is fairly tight.

Ms. Carter announced, coming before The Commission within the next few months will be discussions on cannabis. We have been working with the County and attorneys looking at the new reform bill; House Bill 556. There will be lengthy discussions, much like the Text Amendment for solar.

Chairman Dashiell inquired when the MACo Conference was this year. Ms. Carter said it is scheduled for August 16 – 19; there will be a section on cannabis. The August Planning Commission meeting may be a week scheduled before or after the conference.

Chairman Dashiell thanked the Commissioners for attending the meeting and their commitment to the Planning Commission. There are good things happening in the City and County. He also thanked Ms. Konyar for filling in for Ms. Laura Hay.

Chairman Dashiell paused the meeting at 2:46 p.m. for a recess. Mr. Matt Drew excused himself from the meeting to attend to other matters.

After a brief recess, Chairman Dashiell announced the Planning Commission meeting was back in session at 3:05 p.m.

REVISED COMPREHENSIVE DEVELOPMENT PLAN AND PALEOCHANNEL PROTECTION SITE PLAN APPROVAL – CENTRE AT SALISBURY – Cross Architects for Caliber Collision/Salisbury Mall Realty Holding, LLC – 2306 N. Salisbury Blvd. (SW Corner of N. Mall Drive & East Naylor Mill Road – General Commercial Zoning District – M-0119, G-0015, P-0237 - Case #202300548 (H. Eure)

Mr. Eure was joined by Mr. Soper and Mr. Bret Flory (architect on the project). Mr. Eure presented the Staff Report.

The applicant submitted a Revised Comprehensive Development Plan proposing to convert the former Sears Automotive store into an automobile repair facility. Approximately 16,700 sq. ft. of the building would be renovated, with four (4) repair bays and a paint booth. Also proposed is an enclosed outdoor storage area.

Extensive history exists for the Centre at Salisbury Shopping Center and adjoining outparcels. In 1987, the Salisbury Board of Zoning Appeals granted the original Special Exception for the mall's construction and it was completed in 1990; the Sears Auto Center was included. The Planning Commission had several approvals for the mall and outparcels since then, most recently in May 2023, a revised sign plan for Banfield Pet Hospital.

Staff presented the Comprehensive Development Plan Review. These included Parking, Building Elevations/Plans, Sign Plan, Landscaping/Screening Plans, Fire Service and Stormwater Management.

Mr. Eure revised the Landscaping Plan; there was an addendum distributed to the Commissioners. Originally the Staff Report stated there were no trees at the ends of all parking rows, the revision lists trees are now provided. The Zoning Code indicated that additional landscaping be provided around the outdoor storage areas in order to further screen the area from view. In the revised plan, this is now compliant with the Zoning Code.

Originally, Staff believed there was not adequate screening around the vehicle storage area; however, this has been revised. The proposed screening now meets Zoning Code requirements. The revised plan does meet Code in regards to visibility.

Staff recommended approval for the Revised Comprehensive Development Plan and Paleochannel Protection Site Plan for Caliber Collision, with the following five (5) conditions:

1. The site shall be developed in accordance with the Final Comprehensive Development Plan. Minor plan adjustments may be approved by the Salisbury DID.
2. Provide bicycle parking/storage for at least five (5) bicycles.
3. A Sign Plan shall be submitted and approved by the Planning Commission prior to the Installation of any signs.
4. Provide a revised landscaping plan that is compliant with the Zoning Code standards. Landscaping shall include providing trees at the ends of parking rows that are not within the vehicle storage area, and around the perimeter of the storage yard. The revised plan shall be approved by Staff prior to the issuance of any building permits.
5. This approval is subject to further review and approval by the Salisbury DID, the Salisbury Fire Department, and any other appropriate agencies.

Mr. Flory thanked the Commission for their patience while he traveled to the meeting. He provided information on Caliber Collision; they are the world's largest repair company, they have over 1,600 locations all over the country, there are 25,000 employees, they work with all the insurance companies, and they are a top of the line organization. Mr. Flory has been the architect for Caliber Collision for the past eleven (11) years and has worked all over the country. They are a good asset to have in the town and they are good neighbors. They bring top paying jobs and order parts locally to support the city where they are located. They work with an organization to keep them compliant with Occupational Safety and Health Administration ("OSHA") and environmental air quality. All work is done within the building, nothing outside; the building will be air conditioned. He anticipated there would be 15 – 20 employees at the Salisbury location and painters would make over \$100,000 per year.

Mr. Shertz inquired what type of material would be woven in the chain-link fence. Mr. Flory replied the fence will be steel with masonry columns on the northside of the building and there will be an opaque black mesh on the other side. Mr. Flory added, on the southside there will be black slats. Mr. Eure said it met the Code but there is concern about the mesh not being completely opaque and there will be some visibility inside the storage yard. Mr. Shertz asked why it could not be opaque. Mr. Flory said the mesh they use is 90% opaque and with the landscaping, you will not be able to see the automobiles. He also said they could change to totally opaque and offered to supply pictures of the mesh. Mr. Flory had no concerns with the conditions mentioned.

Chairman Dashiell was concerned for residential property owners who may be looking at Caliber Collision and seeing vehicles being stored at different points of repair. He would like to ensure residents are not looking at something that is unpleasant or unsightly. He agreed the mesh should be as opaque as possible.

Mr. Holloway mentioned there are three-story apartment buildings nearby and suggested a 20 ft. fence. Mr. Flory does not want to build a wall. Everyone agreed the buildings are far enough away not to bother the residents too much.

Chairman Dashiell requested additional information on landscaping. Mr. Flory said a landscaping plan would be completed within a couple days. He added trees along the north and

inside the lot. Chairman Dashiell addressed Mr. Eure asking what additional landscaping could be done and how we could assist Mr. Flory with his plan. Mr. Eure referenced an addendum he had distributed, along East Naylor Mill Road he believes vertical and densely planted landscaping would be beneficial to reduce the lack of opaqueness in the screening. Mr. Soper added they should use larger stock for landscaping so no one waits for it to grow.

Mr. Holloway asked if they had cameras to monitor the storage area for twenty-four (24) hours; Mr. Flory said they do.

Mr. Thomas inquired if they would need to come back to the Commission to gain approval for Signage; Mr. Eure concurred. Mr. Eure added, free-standing signs will not be allowed and the mall agrees with that statement.

As there were no additional comments, Mr. Thomas entered a motion to approve the Revised Comprehensive Development Plan and Paleochannel Protection Site Plan for Caliber Collision subject to the five (5) conditions in the Staff Report and it was seconded by Mr. Holloway and duly carried.

Chairman Dashiell stated the motion was **APPROVED**.

Upon a motion by Mr. Holloway, seconded by Mr. Boda, and carried unanimously, the Commission meeting was adjourned at 3:33 p.m.

The next regular Commission meeting will be on July 20, 2023.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

Charles "Chip" Dashiell, Chairman

Lori A. Carter, MBA, Secretary

Janæ Merchant, Recording Secretary



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Julie M. Giordano
County Executive

Bunky Luffman
Director of Administration

Lori A. Carter
Director

MEMORANDUM

TO: Salisbury-Wicomico County Planning and Zoning Commission
FROM: Lori A. Carter, MBA, Planning Director
DATE: July 10, 2023
SUBJECT: Calendar Year 2022 Annual Report

The State of Maryland's Land Use Article defines a process for the submittal of an "Annual Report" to the MD Dept. of Planning (MDP) that summarizes development that occurred in the local jurisdiction for the previous calendar year. MDP provides the form that is to be used, which is attached to this memo.

If approved by the Planning Commission, the Report is then "filed" with the local legislative body (i.e., the County Council). The Report is also provided to MDP.

Thank you, and please let me know if you have any questions.

**Annual Report Worksheet – Wicomico County
Reporting (Calendar) Year 2022**

**Section I: New Residential Permits Issued (Inside and Outside the PFA)
(§1-208(c)(1)(i) and (c)(3)(ii))**

(A) In Table 1, *New Residential Permits Issued (Inside and Outside the PFA)* below, enter the number of new residential building permits issued in calendar year (2022). Enter 0 if no new residential building permits were issued in 2022.

**Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)**

Residential – Calendar Year 2022	PFA	Non - PFA	Total
# New Residential Permits Issued*	2	59	61

* "New Residential Permits" is defined as building permits for new residences, and does not include permits for accessory structures, replacement residences, rehabilitation or repairs, or similar.

**Section II: Amendments and Growth Related Changes In Development Patterns
(§1-207(c)(1) and (c)(2))**

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A) Were any new comprehensive plan or plan elements adopted? If yes, briefly summarize what was adopted Y N
N/A

(B) Were there any amendments to the zoning regulations or zoning map? If yes, briefly summarize each amendment, include a map, or GIS shapefile, if available. Y N

One amendment to the County’s Zoning Ordinance was approved by the County Council during CY 2022. Legislative Bill 2022-10 was adopted by the Council effective Dec. 27, 2022, to amend various sections of the Ordinance to prohibit the open top tank storage of a liquid organic soil amendment and/or DAF residuals in any County zoning district. No zoning map amendments occurred during CY 2022.

(C) Were there any growth related changes, including Land Use Changes, Annexations, New Schools, Changes in Water or Sewer Service Area, etc., pursuant to the Land Use Article? If yes, please list or map and provide a description of consistency of internal, state or adjoining local jurisdiction plans Y N

One amendment to the County’s adopted Water & Sewer Plan occurred in CY 2022. The County Council adopted Resolution #137-2022 on Oct. 18, 2022, that changed the Water and Sewer categories for a 0.43 ac. improved lot with a failing septic system from W-6 and S-6 to W-2 and S-2. This property was located adjacent to the City of Salisbury boundary.

One annexation occurred in CY 2022, by the City of Salisbury on Beaver Run Drive on the City’s east side with an effective date of 2/25/2022. The property totals 3.1 acres, consists of two parcels, one improved with a convenience store and the second parcel is unimproved. The property was zoned LB-1 Light Business and Institutional in the County,

**Annual Report Worksheet – Wicomico County
Reporting (Calendar) Year 2022**

and upon annexation was zoned Mixed-Use Non-Residential, which is a comparable zoning district to the County's zoning. The County's Plan designates the property as "Urban Corridor" and the City's Plan recommends "Mixed Use." Review by the County's Planning Commission determined the proposed zoning met all requirements of State Annexation Law.

No other changes as listed above occurred during CY 2022.

- (D) Did your jurisdiction identify any recommendations for improving the planning and development process within the jurisdiction? If yes, please list. Y N X

N/A

Annual Report Worksheet – Wicomico County Reporting (Calendar) Year 2022

Section III: Development Capacity Analysis (DCA)(§1-208(c)(iii))

Note: MDP provides technical assistance to local governments in completing a development capacity analyses. Please contact your MDP regional planner for more information.

(A) Has an updated DCA been submitted with your Annual Report or to MDP within the last three years? Y N

1. If no, explain why an updated DCA has not been submitted, such as, no substantial growth changes, etc.

No substantial growth changes have occurred in the unincorporated area of the County since the Comprehensive Plan’s adoption date of March 21, 2017.

2. If yes, when was the last DCA submitted? Identify Month and Year: N/A

a. Was the DCA shared with the local School Board Facilities Planner? Y N

(B) Using the most current DCA available, provide the following data on capacity inside and outside the PFA in *Table 2, Residential Development Capacity (Inside and Outside the PFA)*:

The County’s most recent DCA, prepared by the MD Dept. of Planning and endorsed by the County, dates to the development and adoption of the current Zoning Ordinance (ZO) in 2004. The ZO has undergone several reviews since its adoption, most recently in conjunction with the update of the Comprehensive Plan in 2017, and has been determined to still be valid. As a result, the DCA is still valid as well. It is anticipated that the DCA will be updated in preparation for the next review of the Comprehensive Plan, which is expected to occur prior to 2027.

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity			
Residential Parcel & Lots w/Capacity			
Residential Capacity (Units)			

**Annual Report Worksheet – Wicomico County
Reporting (Calendar) Year 2022**

**Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use
Goal (Counties Only) (§1-208(C)(1)iv and v)**

- (A) How many acres were preserved using local agricultural land preservation funding? Enter 0 if no acres were preserved using local funds. Enter value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation* – CY 2022

Local Preservation Program Type	Acres	Value (\$)
Transfer of Development Rights	0	0
Land Purchase	0	0
Local Land Trust	0	0
Total	0	0

* Note: Agricultural lands preserved through State funding (e.g., MALPF and Rural Legacy) are not included in this Table.

- (B) What is the county’s established local land use percentage goal?

The County’s Comprehensive Plan includes a goal that 80% of the undeveloped land within the Priority Preservation Area (PPA) is to be preserved. The PPA contains about 118,000 acres of undeveloped land and the 80% goal equals about 94,500 acres. Currently more than 66,000 acres have been preserved, representing 70% of the undeveloped land, with another 28,000 acres to be preserved in order to meet the goal.

- (C) What is the timeframe for achieving the local land use percentage goal?

The 2017 Plan states that if 300 acres are preserved annually, it would take a century to achieve the preservation goal. Given the preservation rates over the last five years (more than 400 acres preserved annually), updated figures indicate it would now take about 70 years to achieve the preservation goal. To achieve the goal within the 30 year timeframe of the Plan, more than 900 acres annually would need to be preserved.

- (D) Has there been any progress in achieving the local land use percentage goal?

Over the last five years, more than 2,000 acres have been preserved in the PPA, an annual average of more than 400 acres per year.

- (E) What are the resources necessary for infrastructure inside the PFAs?

- (F) What are the resources necessary for land preservation outside the PFAs?

Funding for the purchase of development rights is the primary resource needed to increase land preservation efforts outside of the PFAs. The County intends to pursue Certification of a Local Agricultural Preservation Program that will allow more funding to be allocated to easement purchases of productive agricultural land, resulting in increased preservation efforts.

Annual Report Worksheet – Wicomico County Reporting (Calendar) Year 2022

Section V: Measures and Indicators ([§1-208\(c\)\(1\)](#))

Note: The Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non - PFA	Total
Total # Minor Subdivisions Approved	3	14	17
Total # Minor Subdivision Lots Approved	4	20	24
Total # Minor Subdivision Units Approved	4	20	24
Total Approved Minor Subdivision Area (Gross Acres)	97	355	452
Total Approved Minor Subdivision Lot Area (Net Acres)	35	110	145
Total # Major Subdivisions Approved	0	0	0
Total # Major Subdivision Lots Approved	0	0	0
Total # Major Subdivision Units Approved	0	0	0
Total Approved Major Subdivision Area (Gross Acres)	0	0	0
Total Approved Major Subdivision Lot Area (Net Acres)	0	0	0
Total # Units Constructed in Jurisdiction	2	59	61
Total # Units Demolished*	N/A	N/A	N/A
Total # Units Reconstructed/Replaced*	0	0	0

*Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	4	20	24
Total # Approved Lot Area (Major + Minor Subdivisions)	35	110	145

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total # Units Approved (Major + Minor Subdivisions)	4	20	24
% of Total Units (# Units/Total Units)	17%	83%	100%

**Annual Report Worksheet – Wicomico County
Reporting (Calendar) Year 2022**

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non - PFA	Total
Total Site Plan Area Approved (Gross Acres)	0.54	0.03	0.57
Total Building Square Feet Approved (Gross)	3,900	1,072	4,972
Total # New Permits Issued	0	1	1
Total Square Feet Constructed in Jurisdiction (Gross)	0	1,072	1,072

Table 4E: Net Density of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non – PFA	Total
Total Building Square Feet Approved (Gross)	3,900	1,072	4,972
Total Lot Size (Net Acres)	0.54	0.61	1.15

Table 4F: Share of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non – PFA	Total
Total Building Square Feet Approved (Gross)	3,900	1,072	4,972
% of Total Building Square Feet (Building Square Feet/Total Approved Square Feet)	78.4%	21.6%	100.0%

**Annual Report Worksheet – Wicomico County
Reporting (Calendar) Year 2022**

**Section VI: Adequate Public Facility Ordinance (APFO) Restrictions (§7-104)
(Section VI is only required by jurisdictions with adopted APFOs)**

Note: Jurisdictions with adopted APFOs must submit a biennial APFO report. The APFO report is due by July 1 of each even year and covers the reporting period for the previous two calendar years. APFO reports for 2020 and 2021 are due July 1, 2022. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

- (A) What is the type of infrastructure affected? (List each for Schools, Roads, Water, Sewer, Stormwater, Health Care, Fire, Police or Solid Waste.) **N/A**

- (B) Where is each restriction located? (Identify on a map, including PFA boundary.) **N/A**

- (C) Describe the nature of what is causing each restriction. **N/A**

- (D) What is the proposed resolution of each restriction? **N/A**

- (E) What is the estimated date for the resolution of each restriction? **N/A**

- (F) What is the resolution that lifted each restriction? **N/A**

- (G) When was each restriction lifted? **N/A**

- (H) Addition Information. To help the Sustainable Growth Commission Statewide School Education Committee for School related restrictions:
 - 1. List the State Rated Capacity for each affected facility. **N/A**
 - 2. Identify date local School APFO standards were last evaluated or amended. **N/A**
 - 3. Provide a letter from the School Board confirming what actions are being taken by the School Board to remedy each restriction. (This could include a change in State Rated Capacity (SRC); scheduled improvements in the local Capital Improvement Program (CIP); or redistricting, etc., to address (B) –(G) above.) **N/A**

Annual Report Worksheet – Wicomico County Reporting (Calendar) Year 2022

Section VII: Planning Survey Questions (Optional)

The information provided can assist MDP and MDOT staff with identifying potential pedestrian/bicycle projects and project funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan? See Note below. Y N

1. Plan name
2. Date Completed (MM/DD/YR)
3. Has the plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? (Every ____ years)
6. Are existing and planned bicycle and pedestrian facilities mapped? Y N

(B) Does your jurisdiction have a transportation functional plan in addition to your comprehensive plan? See Note below. Y N

1. Plan name
2. Date completed (MM/DD/YY)
3. Has plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? (Every ____ years)

NOTE: Wicomico County does not have a transportation plan separate from the Comprehensive Plan. However, a portion of the County adjacent to the municipalities of Salisbury, Fruitland and Delmar is included in the Salisbury/Wicomico Metropolitan Planning Organization’s (S/WMPO) Urbanized and Metropolitan Planning Areas. The S/WMPO Council adopted the Long Range Transportation Plan (LRTP) entitled “Connect 2050” on Dec. 17, 2019, and this Plan guides transportation improvements within the S/WMPO region. The Plan is required to be updated every four (4) years and is currently in the initial stages of being updated, with an expected completion date of Dec. 2023. Among other elements, the Plan contains a chapter on the bicycle and pedestrian system within the MPO area.

In addition to the aforementioned planning efforts, the S/WMPO has existing and recommended bike and pedestrian facilities mapped in GIS.

END

5-Year Report Attachment

Plan Implementation and Development Process

5-Year Report

Wicomico County, MD

2018-2022

Include a summary of the following, pursuant to §1-207(c)(6):

- (i). Development trends contained in the previous (4) annual reports filed during the period covered by the narrative;

Development in the County has remained relatively stable over the last five (5) years. The number of building permits issued for new residences has been in the 60-80 range each year, and subdivision activity has also been minimal, consisting of minor subdivisions scattered throughout the County, and typically consisting of only one (1) additional lot from the parent parcel. According to Maryland Department of Planning (“MDP”) and U.S. Census figures, Wicomico County’s total population increased by almost 600 persons in the 2017-2021 period (2022 estimates are not yet available), but in the unincorporated area of the County the population actually decreased by almost 600 persons. This decrease was offset by a population increase of 1,200 residents in the County’s eight (8) municipalities.

- (ii). The status of comprehensive plan implementation tools, such as comprehensive rezoning, to carry out the provisions of the comprehensive plan;

The County’s Comprehensive Plan was adopted on March 21, 2017. At that time, the zoning ordinance was reviewed and it was determined that it adequately implemented the goals and objectives of the Comprehensive Plan, and the current County-wide zoning also remained unchanged. The next scheduled review and update, if necessary, of the Comprehensive Plan is scheduled prior to 2027.

- (iii). Identification of any significant changes to existing programs, zoning ordinances, regulations, financing programs, or State requirements that will be necessary to achieve the visions and goals of the comprehensive plan during the remaining planning timeframe;

Although not occurring in this 5-year period, the County is planning to pursue certification of a local agricultural preservation program. The County was initially certified in July 2001, and retained this certification until Sept. 30, 2009. Efforts are now underway to once again become certified.

The Comprehensive Plan stresses the importance of agriculture to the County, as Wicomico is the top ranked County in the State for the market value of agricultural

5-Year Report Attachment

products sold (2017 Census of Agriculture), and the Plan includes a goal to continue exploring funding mechanisms for the purpose of purchasing development rights. With a certified program, the County will have access to more funds through the agricultural transfer tax that can be used towards easement purchase and agricultural land preservation. Moreover, the Plan indicates the County's intent to pursue recertification of its County Land Preservation Program (pp.6-9).

- (iv). Identification of any State or federal laws, regulations, or requirements that have impeded local implementation of the comprehensive plan and recommendations to remove any impediments;

None noted.

- (v). Future land use challenges and issues; and

One of the most important land use challenges facing the County is the provision of public water and sewer facilities to areas of the County that historically developed with on-site septic systems and private wells.

In Wicomico County, public water and sewer systems are owned and operated by the municipalities, and connection to those facilities usually requires annexation. Properties that are annexed are typically undeveloped and need water and sewer service to accommodate the proposed development.

However, some developed areas of the County are too distant for annexation, and consist of concentrated residential development on small lots with septic systems and drain fields that are susceptible to failure over time.

There are more than 18,000 septic systems in the County and most wells installed before the year 2000 are in shallow unconfined aquifers, leading to a possibility for contamination from failed septic systems. These represent a potential public health emergency and these areas have been targeted by the County as possible areas to be served by community water and sewer systems.

The County has contracted with a consultant to study the future needs of the County related to water and sewer service, in an attempt to (1) safeguard public health; (2) protect water resources; and (3) enrich the economic well-being of the County. The focus of the study was on the possibility of serving already-developed areas in order to avoid a future health issue related to failing on-site septic systems.

This study is on-going and a first step was taken in the 2023 MD Legislative Session with the introduction of a Bill (SB 246 and HB 1004) that would give the County the authority to create a sanitary district.

- (vi). A summary of any potential updates to the comprehensive plan.

The 10-year review and possible update of the Comprehensive Plan is due by 2027. At this time, no updates are scheduled prior to that date.



City of
Salisbury
John "Jack" R. Heath, Mayor

To: Salisbury – Wicomico County Planning and Zoning Commission
From: Amanda Rodriguez, Associate Planner *AR*
Date: July 12, 2023
Re: City of Salisbury CY2022 Annual Report to Maryland Department of Planning

Annually, the Maryland Department of Planning (MDP) requests each local jurisdiction report significant growth changes and metrics as required by the General Assembly under Land Use Article §1-207. The City of Salisbury's CY2022 report is attached for review and approval by the Planning Commission. Once approved, the Annual Report shall be filed with the local legislative body and the Maryland Department of Planning.

Section I of this report reflects the number of new residential building permits issued within City of Salisbury municipal limits. In CY2022, 80 new construction residential building permits were issued, all within the Priority Funding Area (PFA).

Section II addresses Amendments to municipal codes, boundaries, maps, and service areas. CY2022 included a small expansion of the corporate limits, as detailed in the attached map. There were no amendments to the comprehensive plan or zoning regulations.

Section III concerns the most recent Development Capacity Analysis (DCA). The DCA is an estimate of the total amount of possible development in an area under applicable land use laws and policies and environmental conditions. Such information is useful for long-range planning. The last DCA compiled for the City was completed in conjunction with the 2010 Comprehensive Plan update. The 2024 Comprehensive Plan update will include an updated DCA.

Section V highlights the amount of residential growth inside and outside the PFA, including approved major and minor subdivisions, the number of lots created inside and outside the PFA, number of residential units actually constructed, and other density figures. Within CY2022, 2 major subdivisions comprised of 243 lots total were approved for 243 single-family residential units, all located within the PFA. Section V also includes commercial growth metrics. CY2022 saw a total of 4 commercial site plans approved, covering 193,503 square feet of gross building area.

Sections IV and VI do not apply to the City of Salisbury.

Section VII of this report is optional, but provides valuable information to MDP and MDOT regarding multimodal transportation planning and the potential need for funding for future projects. The City of Salisbury does not have a transportation plan that is separate from the Comprehensive Plan, but pedestrian and bicycle plans are updated every 5 years.

City Staff recommends approval of this report, to be forwarded to City Council and Maryland Department of Planning.

Annual Report Worksheet Reporting (Calendar) Year 2022

INSTRUCTIONS

Each Planning Commission/Board must approve an Annual Report for the reporting calendar year 2022 (January 1, 2022 - December 31, 2022), as required under [§1-207\(b\)](#) of the Land Use Article. In addition, the Annual Report shall be filed with the local legislative body and the Maryland Department of Planning (MDP), via email to david.dahlstrom@maryland.gov and cc: to mdp.planreview@maryland.gov.

A jurisdiction may use the attached template form, or any of the previous Annual Report forms. The requirements have not changed for calendar year 2022, however, an optional survey is included in Section VII. We encourage all jurisdictions to respond.

Section I- New Residential Permits, and **Section II- Amendments and Growth-Related Changes**, are required by all local jurisdictions.

Section III- Development Capacity Analysis, is required every three years.

Section IV- Locally Funded Agriculture Preservation, is required for counties only.

Section V – Measures and Indicators, is required for jurisdictions reporting more than 50 new residential permits in Section I.

Section VI- Adequate Public Facility Ordinances, is required every two years for jurisdictions with adopted Adequate Public Facility Ordinances (APFOs).

Section VII – Planning Survey Questions is optional

Annual Report Worksheet Reporting (Calendar) Year 2022

Section I: New Residential Permits Issued (Inside and Outside the PFA) (§1-208(c)(1)(i) and (c)(3)(ii))

(A) In Table 1, *New Residential Permits Issued (Inside and Outside the PFA)* below, enter the number of new residential building permits issued in calendar year (2022). Enter 0 if no new residential building permits were issued in 2022.

**Table 1: New Residential Permits Issued
Inside and Outside the Priority Funding Area (PFA)**

Residential – Calendar Year 2022	PFA	Non - PFA	Total
New Residential Permits Issued	80	0	80

Section II: Amendments and Growth Related Changes In Development Patterns (§1-207(c)(1) through (c)(4))

Note: Growth related changes in development patterns are changes in land use, zoning, transportation capacity improvements, new subdivisions, new schools or school additions, or changes to water and sewer service areas.

(A) Were any new comprehensive plan or plan elements adopted? If yes, briefly summarize what was adopted. Y N

(B) Were there any amendments to zoning regulations or zoning map? If yes, briefly summarize each amendment, include a map, or GIS shapefile, if available. Y N

(C) Were there growth-related changes, including land use, annexations, zoning ordinance changes, new schools, changes in water or sewer service areas, municipal annexations that changed municipal or unincorporated area boundaries? If yes, describe or attach a map of the changes, and describe how they are consistent with internal, state, or adjoining jurisdiction plans. Y N

(D) If yes to municipal annexations, have copies of each adopted resolution been submitted to: Georgeanne Carter, Legislative Counsel Municipal Resolution Repository Department of Legislative Services, 90 State Circle, Annapolis MD, 21401-1991? Y N

(E) Did your jurisdiction recommend improvements to the local planning and development process? If yes, please describe. Y N

Annual Report Worksheet Reporting (Calendar) Year 2022

Section III: Development Capacity Analysis (DCA)(§1-208(c)(1)(iii))

Note: MDP provides technical assistance to local governments in completing development capacity analyses. Please contact your MDP regional planner for more information.

(A) Has an updated DCA been submitted with your annual report or to MDP within the last three years? Y N

1. If no, explain why not, such as, no substantial growth changes.

Resource availability, COVID protocols, and limited growth changes have all contributed to the inability to complete a DCA.

2. If yes, when was the last DCA submitted? Identify month and year: June 2010

Note: A DCA is not due if a comprehensive plan was updated in the past three years (2020-2022). MDP recommends that jurisdictions share DCAs with local school boards.

Was the DCA shared with the local school board facilities planner? Y N

(B) Using the most current DCA available, provide the following data on capacity inside and outside the PFA in Table 2, Residential Development Capacity (Inside and Outside the PFA):

Table 2: Residential Development Capacity (Inside and Outside the PFA)

Parcels & Lots w/ Residential Capacity	PFA	Non – PFA	Total
Residentially Zoned Acres w/ Capacity	1247.58	250.83	1498.41
Residential Parcel & Lots w/Capacity	N/A	N/A	N/A
Residential Capacity (Units)	4854	1929	6783

**Annual Report Worksheet
Reporting (Calendar) Year 2022**

Section IV: (Locally) Funded Agricultural Land Preservation & Local Land Use Goal (Counties Only) [\(§1-208\(C\)\(1\)\(iv and v\)](#)

(A) How many acres were preserved using **local** agricultural land preservation funding? Enter 0 if no land was preserved using **local** funds. Enter the value of local program funds, if available.

Table 3: Locally Funded Agricultural Land Preservation

Local Preservation Program Type	Acres	Value (\$)
Example: Transfer of Development Rights		
Example: Building Lot Retirement		
Example: Land Purchase		
Example: Local Land Trust		
Example: Easement		
Example: Other		
Total		

*State funded agricultural land preservation acres and values are not required to be reported as state funding is documented.

- (B) What is the county’s established local land use percentage goal? This percentage should include land uses within PFAs, not including PFA comment areas %
- (C) What is the timeframe for achieving the local land use percentage goal? Years.
- (D) Has there been any progress in achieving the local land use percentage goal?
- (E) What are the resources necessary (e.g. legislative actions (programs incentives), functional planning, and capital funding) for infrastructure inside the PFAs?
- (F) What are the resources necessary (e.g. legislative actions (program incentives and zoning changes), preservation planning, and easement funding) for land preservation outside the PFAs?

Annual Report Worksheet Reporting (Calendar) Year 2022

Section V: Measures and Indicators ([§1-208\(c\)\(1\)](#))

Note: Measures and Indicators, Section VII, is only required for jurisdictions issuing more than 50 new residential building permits in the reporting year, as reported in Table 1.

Table 4A: Amount of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non - PFA	Total
Total Minor Subdivisions Approved	0	0	0
Total Minor Subdivision Lots Approved	0	0	0
Total Residential Units Approved in Minor Subdivisions*	0	0	0
Gross Acres of All Approved Minor Subdivisions	0	0	0
Net Lot Area** in Acres of All Approved Minor Subdivisions	0	0	0
Total Major Subdivisions Approved	2	0	2
Total Major Subdivision Lots Approved	243	0	243
Total Residential Units Approved in Major Subdivisions	243	0	243
Gross Acres of All Approved Major Subdivisions	64.6	0	64.6
Net Lot Area** in Acres of All Approved Major Subdivisions	55.66	0	55.66
Total Residential Units Constructed	0	0	0
Total Residential Units Demolished***			
Total Residential Units Reconstructed/Replaced***			

* Residential units may be greater than lots if they include duplexes, triplexes, or multifamily

**Net lot area is the sum of all developed lots, minus open spaces and right-of-way, other publicly dedicated land.

***Not required.

Table 4B: Net Density of Residential Growth (Inside and Outside PFAs)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Residential Units Approved (Major + Minor Subdivisions)	243	0	243
Total Approved Net Lot Area (Major + Minor Subdivisions)	55.66	0	55.66

Table 4C: Share of Residential Growth (Inside and Outside the PFA)

Residential – Calendar Year 2022	PFA	Non – PFA	Total
Total Units Approved (Major + Minor Subdivisions)	243	0	243
% of Total Units (Approved Residential Units)	100%	0%	100%

Annual Report Worksheet Reporting (Calendar) Year 2022

Table 4D: Amount of Commercial Growth (Inside and Outside the PFA)

Commercial – Calendar Year 2022	PFA	Non - PFA	Total
Site Plans			
Total # of Commercial Site Plans Approved	4	1	5
Gross Acres of All Approved Commercial Site Plans	25.034	2.83	27.864
Gross Building Area Approved in Square Feet for Commercial Site Plans	160,503.4	33,000	193,503.4
Building Permits			
Total Commercial Building Permits Issued	7	0	7
Gross Building Area Constructed in Square Feet for issued Building Permits	101,296	0	101,296

Annual Report Worksheet Reporting (Calendar) Year 2022

Section VI: Adequate Public Facility Ordinance (APFO) Restrictions ([§7-104](#)) (Section VI is only required by jurisdictions with adopted APFOs)

Note: Jurisdictions with adopted APFOs must submit a biennial APFO report. The APFO report is due by July 1 of each even year and covers the reporting period for the previous two calendar years. APFO reports for 2020 and 2021 are due July 1, 2022. However, jurisdictions are encouraged to submit an APFO report on an annual basis.

- (A) What type of infrastructure is monitored and may trigger development approval restrictions or require a developer to address deficiencies? (List each for schools, roads, water, sewer, stormwater, health care, fire, police or solid waste.)
- (B) Has APFO impacted development approvals? Y/N
- (C) If APFO has delayed, limited, or denied development, defined here as a “restriction”:
- a. Are there infrastructure or service facility deficiencies that have triggered denials of development requests, or held up development approvals? Y/N
Note: This does not include APFO required developer-funded projects, , or phased development approvals due to APFO limitations, or APFO required study areas for approval.
 - b. Can the impact area of facility deficiencies/ development restrictions, which temporarily delay development approvals, be mapped? Y/N
- (D) If yes for (C)(b), where is each restriction located? (Identify on a map, including PFA boundary.)
- (E) Describe what is causing each restriction.
- (F) If applicable, what is the proposed resolution of each restriction?
- (G) If applicable, what is the estimated date to resolve each restriction?
- (H) If a development restriction has been addressed, what was the resolution that lifted each restriction?
- (I) If a development restriction has been addressed, when was each restriction lifted?

Annual Report Worksheet Reporting (Calendar) Year 2022

Section VII: Planning Survey Questions (Optional)

This information can help MDP and MDOT staff to identify potential pedestrian/bicycle projects and their funding.

(A) Does your jurisdiction have a bicycle and pedestrian plan? Y N

1. Plan name- Bicycle Master Plan
2. Date Completed 12/12/2016
3. Has the plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? Every 5 years
6. Are existing and planned bicycle and pedestrian facilities mapped? Y N

(B) Does your jurisdiction have a transportation functional plan in addition to a comprehensive plan? Y N

1. Plan name
2. Date completed (MM/DD/YY)
3. Has plan been adopted? Y N
4. Is the plan available online? Y N
5. How often do you intend to update it? (Every ____ years)

NOTE: The City of Salisbury does not have a transportation plan separate from the Comprehensive Plan. However, The City is included in the Salisbury/Wicomico Metropolitan Planning Organization's (S/WMPO) Planning Area. The S/WMPO Council adopted the Long Range Transportation Plan (LRTP) entitled "Connect 2050" on Dec. 17, 2019, and this Plan guides transportation improvements within the S/WMPO region. The Plan is required to be updated every four (4) years and is currently in the initial stages of being updated, with an expected completion date of Dec. 2023. Among other elements, the Plan contains a chapter on the bicycle and pedestrian system within the MPO area.

(C) Has your jurisdiction completed and submitted a five year mid-cycle comprehensive plan implementation review report this year? Y N

Note: To find out if your jurisdiction is scheduled to submit this report, consult the Transition Schedule (Counties) section located at: <https://planning.maryland.gov/pages/OurWork/compPlans/ten-year.aspx>

If yes, please include the 5-Year Report as an attachment.

END

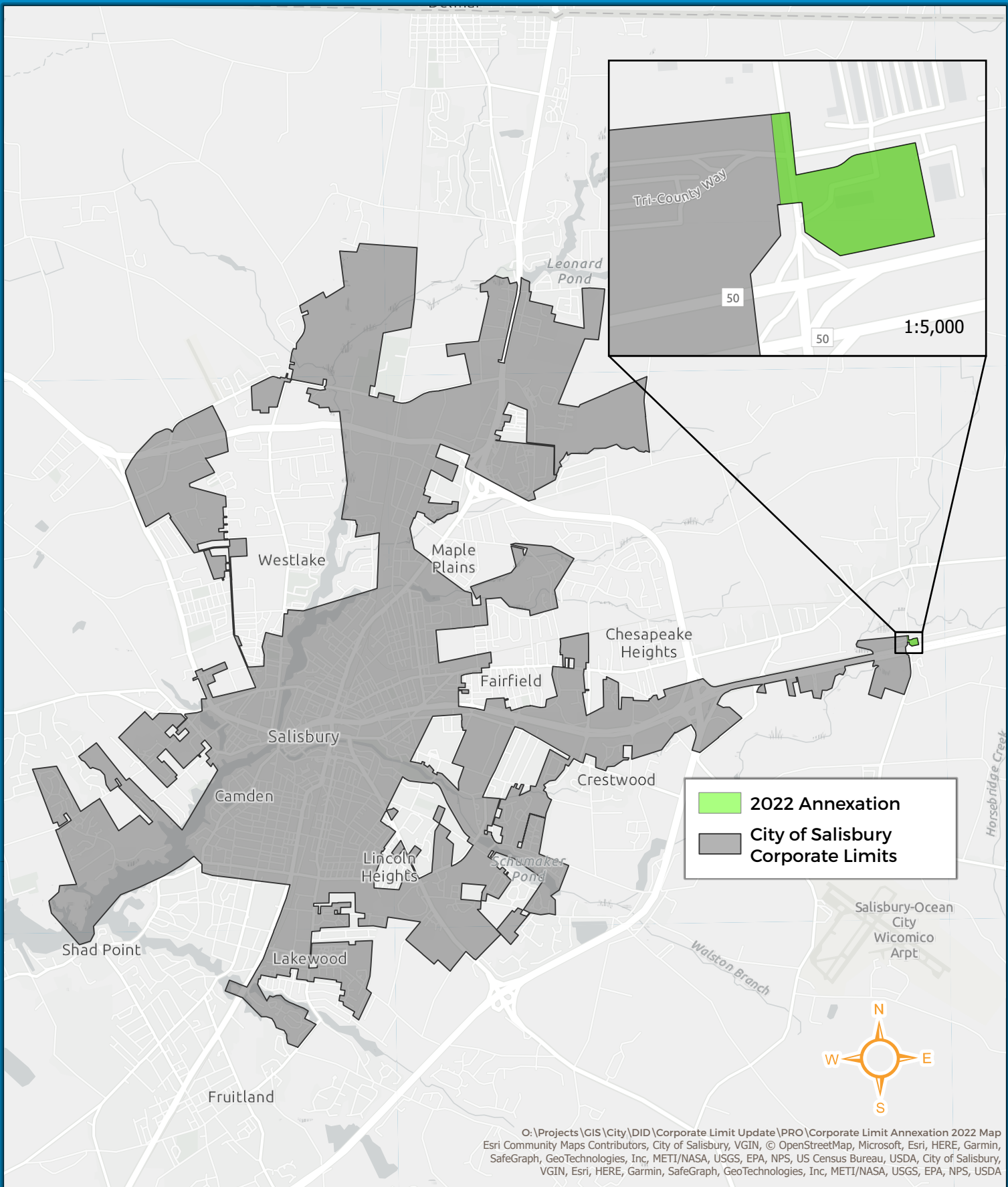
**Annual Report Worksheet
Reporting (Calendar) Year 2022**

Submitting Annual Reports and Technical Assistance

- (A) Annual Reports may be submitted via email (preferred) to david.dahlstrom@maryland.gov with a cc: to mdp.planreview@maryland.gov, or if emailing is not possible one copy may be mailed to:

Office of the Secretary
Maryland Department of Planning
301 W. Preston Street, Suite 1101
Baltimore, Maryland 21201-2305
Attn: David Dahlstrom, AICP

- (B) Annual reports should include a cover letter indicating that it has been approved by the planning commission and that a copy has been filed with the local legislative body. The cover letter should also indicate a point of contact(s) should MDP have questions about the report.
- (C) If you need assistance to prepare or submit reports, MDP regional planners are available to assist. Contact information is found at: Planning.Maryland.gov/OurWork/local-planning-staff.shtml
- (D) You may wish to send additional copies directly to your MDP regional planner or school board facilities planner.
- (E) Copies of this annual report worksheet, and links to legislation about annual report requirements can be found on the Maryland Department of Planning website: Planning.Maryland.gov/YourPart/SGGAnnualReport.shtml
- (F) If you have any suggestions to improve this worksheet or any of the annual report materials, please list or contact David Dahlstrom at david.dahlstrom@maryland.gov.



O:\Projects\GIS\City\DIR\Corporate Limit Update\PRO\Corporate Limit Annexation 2022 Map
 Esri Community Maps Contributors, City of Salisbury, VGIN, © OpenStreetMap, Microsoft, Esri, HERE, Garmin,
 SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, City of Salisbury,
 VGIN, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA



2022 Corporate Limit Annexation

Salisbury, Maryland

Scale: 1:70,000
 Date: 6/29/2023
 PCS: MD83F



Infrastructure and Development Staff Report July 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Ocean Aisle Phase 4
Applicant/Owner: Parker & Associates Inc. for 1501-3 Sharen Drive, LLC
Case No.: 202300746
Nature of Request: Preliminary Comprehensive Development Plan/Wellhead Protection Plan Approval
Location of Property: Southeast corner of Beaglin Park Drive and Old Ocean City Road
Existing Zoning: Planned Development District #1 (Robertson Farm)

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a request for construction of a 24-unit apartment building, located at the southeast corner of Beaglin Park Drive and Old Ocean City Road. **(Attachments 1 & 2)**

III. DISCUSSION:

The applicants propose to construct a 3-story garden-style 24-unit apartment building, bringing the total units to 264 across all phases of Ocean Aisle. The total acreage of the parcel being developed is 1.95 acres.

IV. APPROVAL HISTORY:

Ordinance #1879 was adopted by the Salisbury City Council in December 2003 establishing the text and boundaries of Planned Development District #1. Phases 1 and 2 of Ocean Aisle received final Planning Commission approval in April 2013. A revised final was approved in June of 2013 eliminating access to Old Ocean City and reducing parking. Most recently, a Final Comprehensive Development Plan was approved for Phase 3 of Ocean Aisle in December of 2022, and is currently under construction.

V. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



A. Site Plan

- 1. Parking/Streets:** The Zoning Code requires parking to be provided at 1.5 spaces per dwelling, equating to 36 required spaces, whereas 38 spaces are proposed, including two (2) van accessible spaces. The Planning Commission may permit additional spaces, with the inclusion of additional landscaping. The landscaping plan indicates that significant landscaping will be provided at the front of the building, as well as along both Beaglin Park Drive and Old Ocean City Road, which will help to increase curb appeal of the site. Access to the project will be from Beaglin Park Drive, while egress will be diverted to Sharen Drive. **(Attachments 3 & 4)**
- 2. Refuse Disposal:** Code requires refuse disposal areas to be screened on 3 sides. Refuse disposal area(s) are not indicated on the plan. The plan states trash collection to be private. The Final Comprehensive Plan should display any proposed dumpster areas, along with screening.
- 3. Building Setbacks/Spacing:** The existing property line is proposed to be removed, so the new structure will exceed all setback and spacing standards. The subdivision shall be recorded prior to commencement of construction. **(Attachment 4)**
- 4. Height:** The Zoning Code indicates that building height north of Sharen Drive shall not exceed 40 ft. in this zoning district. The building will be approximately 38 ft. tall, which is the same as the existing buildings currently under construction. **(Attachments 6 -8)**
- 5. Open Space:** The plan shows three (3) micro bioretention locations on the site, as well as a large open space area adjacent to the corner of Beaglin Park Drive and Old Ocean City Road. In addition, the 8 ft. wide multi-use path that exists along Beaglin Park Drive will be extended through the site. **(Attachments 4 & 5)**
- 6. Streets/Sidewalks/Streetlights:** The entrance to the site from Beaglin Park Drive will be provided with a sidewalk. Parking lot lighting will be provided.

B. Building Elevations

Building elevations and floor plans are included, and will match the existing buildings. Colors of the proposed development should be consistent with the existing Ocean Aisle development. **(Attachments 6 -8)**

C. Sign Plan

No details regarding signage for the project has been provided. Any proposed signage will need Planning Commission approval prior to issuance of building permits.



D. Landscaping Plan

The existing landscaping found in the first three (3) phases of the project will be extended along Beaglin Park Drive and Old Ocean City Road. In addition, foundation plantings are proposed along the front of the building. **(Attachment 5)**

E. Development Schedule

Construction is expected to begin once all approvals have been granted.

F. Community Impact Statement/Statement of Intent to Proceed and Financial Capability

The applicant has requested waivers from all, due to the developer's long-standing history of providing an attractive product for the community. Plans have been submitted to the Wicomico County Board of Education for their review.

G. Fire Service

The project is subject to further review by the Salisbury Fire Department.

H. Stormwater Management

The Stormwater Management Plan will be reviewed by the Salisbury Department of Infrastructure & Development.

I. Wellhead Protection District

The site is within the Wellhead Protection District. Planning Commission granted Wellhead Site Plan approval for the previous phases of the project. The increased units should not have any additional impact on the district.

J. Forest Conservation Program

Forest Conservation Program requirements will be met prior to issuance of building permits.

K. Traffic

A traffic study was provided and approved for Phase 3 of the project in October of 2022. The new plans are under review by City Staff. Comments and any necessary adjustments will be provided prior to Final Comprehensive Development Plan approval.



City of Salisbury

John "Jack" R. Heath, Mayor

L. Wicomico County Board of Education

Plans have been submitted to the Board of Education to evaluate the potentially revised capacity.

VI. PLANNING COMMENTS

A resubdivision plat to consolidate the lots will need to be approved prior to issuance of building permits. Although not required, bicycle parking should be provided for residents.

VII. RECOMMENDATION

Staff recommends approval of the Preliminary Comprehensive Development Plan/Wellhead Protection Plan for Ocean Aisle Phase 4, with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development;
2. Provide a detailed Sign Plan for approval by the Planning Commission prior to issuance of sign permits;
3. Refuse disposal areas to be screened on three (3) sides;
4. Colors of the proposed development shall be consistent with the existing Ocean Aisle development;
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and the Salisbury Fire Department.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING • CIVIL ENGINEERING • LAND PLANNING • FORESTRY SERVICES

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

Attn: Jessica Crenshaw
Ref: Ocean Aisle Phase 4

Dear Jessica,

Attached hereto, please find our proposed Preliminary Comprehensive Development Plan for the Ocean Aisle Phase 4 apartments located at the corner of Beaglin Park Drive & Old Ocean City Road in the City of Salisbury. This phase utilizes approximately 1.95 acres of parcel 2582. This phase of the project will connect to phase 3 through the continuation of parking to the South along Beaglin Park Drive. The project is accessed from Beaglin Park Drive utilizing an existing single-movement entrance.

This comprehensive development plan proposes to complete the Ocean Aisle build-out with a 24-unit, 3-story apartment building. The current zoning of this property is PDD #1 (Robertson Farm) and thus all requirements associated with this zoning have been met. All construction and development on this project will be in accordance with the zoning code, as well as the city of Salisbury construction specifications. Sewer service and trash collection will be private, and water will be a public entity. Parking provided is in excess of code requirements, and pedestrian connections have been provided to previous phases of Ocean Aisle. Also proposed is an 8' Multi-use path along Beglin Park Drive to extend same from Phase 3 and provide a path along the entire frontage of Ocean Aisle. An area of open space has been provided at the northwest corner of the site for the use of residents. The plan contains a dedicated Lighting and Landscaping plan with all pertinent information regarding planting counts, species and also lighting specifications.

Stormwater management will be ESD to the MEP. Meaning, all water will be filtered for quality assurances prior to being discharged into larger ponds to minimize/eliminate the potential of downstream flooding. The chosen methodology for treatment will be 3 micro-bio retentions each filtering their own drainage area, then discharging into the existing stormwater management pond constructed during phase 2.

Furthermore, we would also like to respectfully request waivers from the community impact statement, the letters of intent to proceed and of financial capability.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

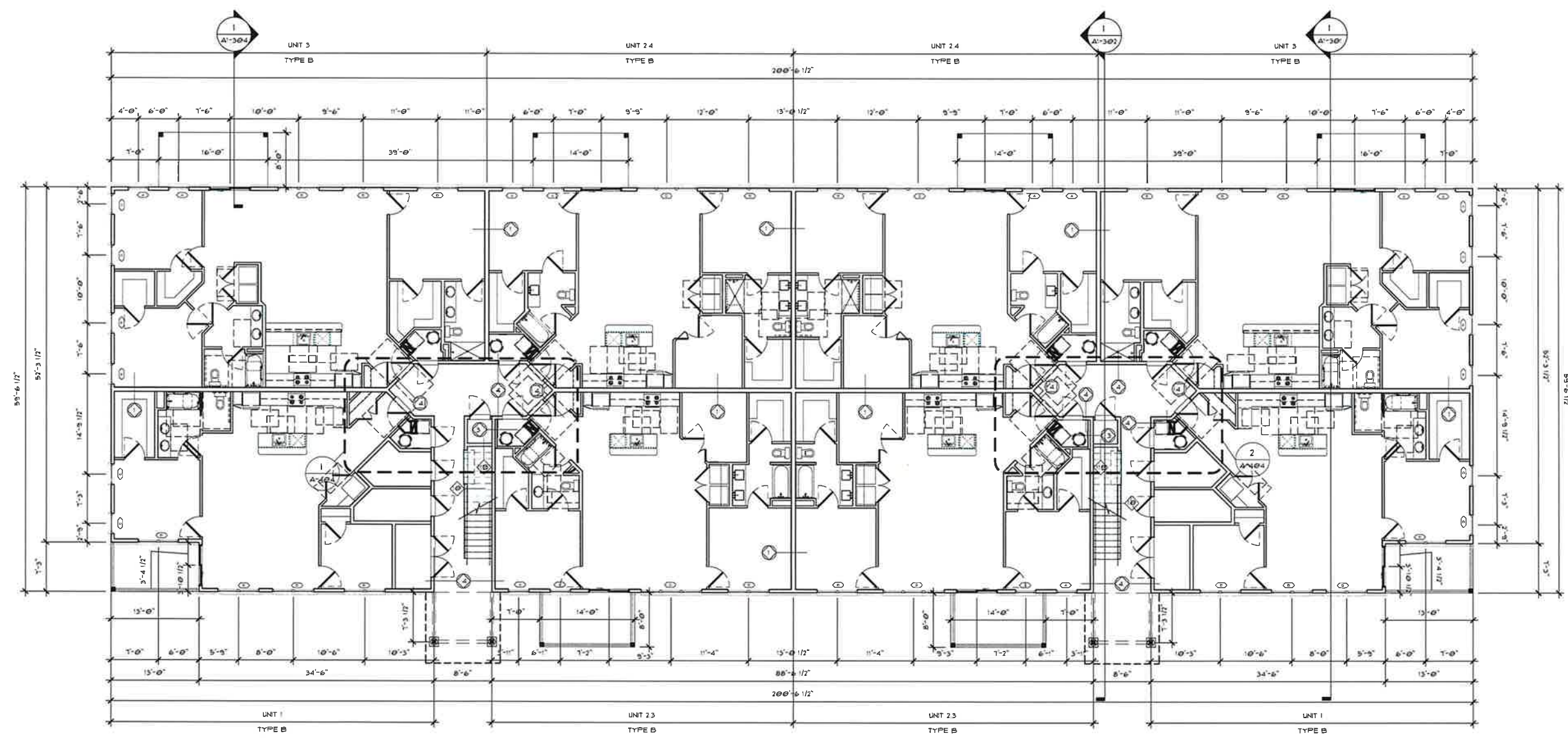
Sincerely,

A handwritten signature in black ink, appearing to read 'BEP', with a long horizontal line extending to the right.

Brock E. Parker, PE, RLS, QP
528 Riverside Drive
Salisbury, MD 21801
Phone: 410-749-1023
Fax: 410-749-1012
Email: brock@parkerandassociates.org



NOTES:
 1. ALL EXTERIOR WALLS TO BE WALL TYPE (U) N O
 2. REFER TO A-4005 FOR WALL TAGS/ DOOR TAGS/ WINDOW TAGS



1 24 UNIT BUILDING: FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"

PROFESSIONAL CERTIFICATION

LICENSE NO.: 60037555
 EXPIRATION NO.: 09-23-2022

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Blair & Vaughan
 INCORPORATED
 1000 Peachtree Street, N.E.
 Atlanta, Georgia 30309
 (404) 525-1234

MACINTOSH ENGINEERING
 1000 Peachtree Street, N.E.
 Atlanta, Georgia 30309
 (404) 525-1234

PARKER AND ASSOCIATES
 1000 Peachtree Street, N.E.
 Atlanta, Georgia 30309
 (404) 525-1234

Alamy Group

OCEAN AISLE
 BEAGLIN DRIVE
 SALISBURY, MARYLAND

SHEET INFO:
 FLOOR PLAN:
 FIRST FLOOR
 (24-UNIT BUILDING)

DATE	BY	APP'D

A1-101



1 24 UNIT BUILDING: FRONT ELEVATION
 SCALE 1/8" = 1'-0"

- PROVIDE 6" CORNER TRIM
- 30 YEAR ARCHITECTURAL ASPHALT SHINGLES, TYPICAL. OWNER TO COORDINATE COLOR WITH ARCHITECT
- VERTICAL BOARD AND BATTEN VINYL SIDING @ ALL GABLE ENDS TYPICAL THROUGHOUT
- 6" METAL WRAPPED FASCIA BOARD TYP.
- 42" HIGH VINYL GUARDRAIL & RAILING SYSTEM. SEE STANDARD NOTES FOR REQUIREMENTS TYP.
- 6" VERTICAL VINYL SIDING, COLOR TO BE CHOSEN BY OWNER, TYPICAL
- 6" HORIZONTAL VINYL SIDING, COLOR TO BE CHOSEN BY OWNER, TYPICAL
- PROVIDE 6" CORNER TRIM
- PVC WRAPPED PRESSURE TREATED POST - REFER TO STRUCTURAL DRAWINGS
- PROVIDE METAL WRAPPED TRIM AROUND WINDOW AND DOOR APPLICATIONS. G.C. TO COORDINATE INSTALLED WINDOW CONDITION, TYP.
- PROVIDE ROULOCK SILL AT TOP OF BRICK WATER TABLE, TYP
- BRICK WATER TABLE, TYP



2 24 UNIT BUILDING: BACK ELEVATION

Note: Propose façade is to mimic existing sections of Ocean Aisle Apartments.

Blair & Vaughan
 Mechanical / Electrical / Plumbing
 License No. 0003955
 Expiration No. 09-23-2022

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 Mechanical / Electrical / Plumbing
 License No. 0003955
 Expiration No. 09-23-2022

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 License No. 0003955
 Expiration No. 09-23-2022

Blair & Vaughan
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 License No. 0003955
 Expiration No. 09-23-2022

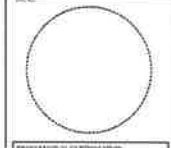
OCEAN AISLE
 BEAGLIN DRIVE
 SALISBURY, MARYLAND

SHEET INFO:

BUILDING ELEVATIONS

(24 UNIT BUILDING)

AI-201



PROFESSIONAL ENGINEER

LICENSE NO. 8002955
EXPIRATION: 09-23-2022

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FARKER AND ASSOCIATES
ARCHITECTURAL, INC.

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Atlantic Group

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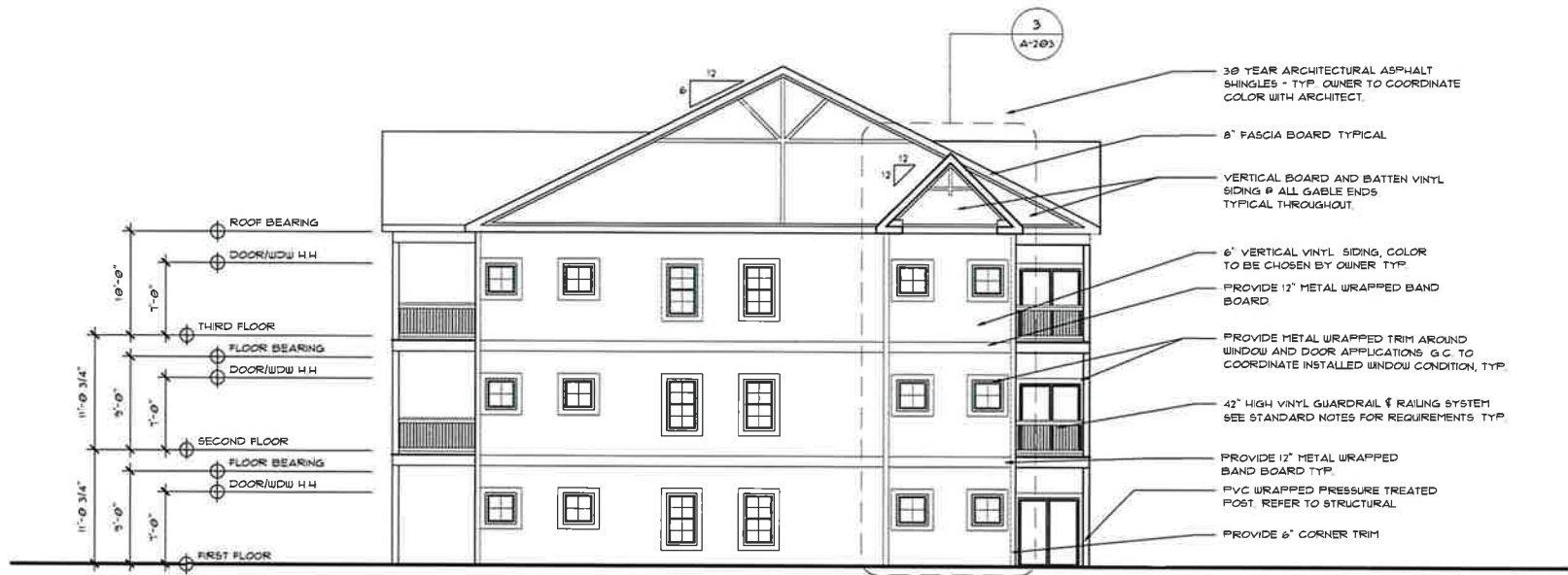
OCEAN AISLE
BEAGLIN DRIVE
SALISBURY, MARYLAND

SHEET INFO:

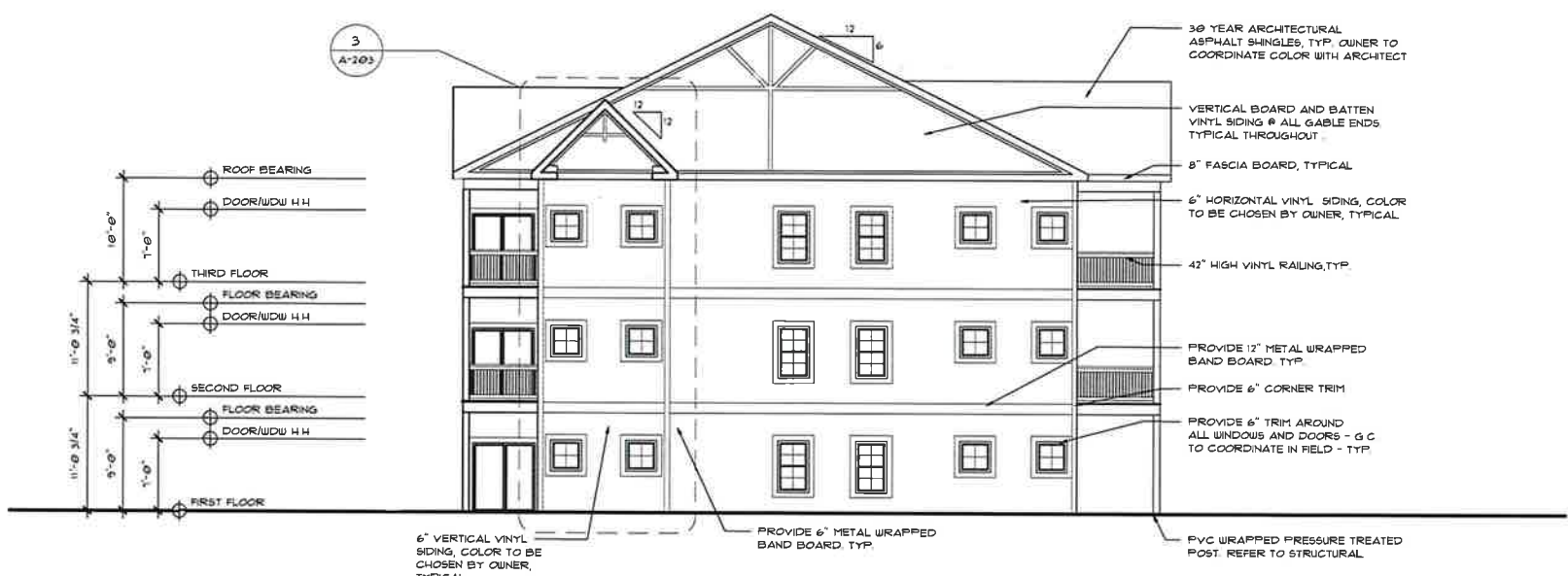
BUILDING
ELEVATIONS

(24 UNIT BUILDING)

DATE:	2022-06-06
BY:	T.P.A.
CHECKED:	
SCALE:	1/8" = 1'-0"



1 24 UNIT BUILDING: LEFT ELEVATION
SCALE: 1/8" = 1'-0"



2 24 UNIT BUILDING: RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



City of
Salisbury
John "Jack" R. Heath, Mayor

Infrastructure and Development

Staff Report

July 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Johnson's Retreat
Applicant/Owner: DR Horton, Inc.
Infrastructure and Development Case No.: 202300751
Nature of Request: Sign Plan Approval
Location of Property: Johnson Road
Existing Zoning: R-10 Residential

II. SUMMARY OF REQUEST:

A Sign Plan has been submitted for the new residential development located on the south side of Johnson Road. **(Attachments 1 & 2)**

III. DISCUSSION:

Approval History

A final subdivision was approved for this development in March of 2022.

Proposed Sign Plan

The applicants propose to install a 32 sq. ft., single-faced "Johnson's Retreat" monument sign located at the development's entrance along Johnson Road. The sign features reddish-brown lettering and a green logo on a white background. The remainder of the sign will consist of rough-hewn cedar, and have overall height of approximately 5 ft. The sign will be set back approximately 21 ft. from Banbury Drive, and 26 ft. from Johnson Road, and is compliant with both setback and sight visibility standards for intersections. The color rendering indicates that ornamental landscaping is also proposed to accent the sign, although the site plan does not reflect this. **(Attachments 3 - 5)**

IV. PLANNING CONCERNS

None. The sign and is attractive and modest in design.

V. RECOMMENDATION

Staff recommends approval for the proposed Sign Plan as submitted.

Department of Infrastructure & Development
125 N. Division St., #202 Salisbury, MD 21801
410-548-3170 (fax) 410-548-3107
www.salisbury.md



June 26, 2023

To whom it may concern:

We are formally requesting approval for the attached entrance monument plans for our community Johnsons Retreat. Located on Johnsons Road, Johnsons Retreat provides 72 single family homes within the city limits.

We have formatted the plans to meet the city requirements and will be financing the construction. The monument will be constructed of salt treated cedar beams/posts with a single sided PVC sign and raised logo/lettering. The sign portion of the monument will be painted with automotive paint and finished with a clear coating to prevent any substance build-up.

We have brought irrigation to the front of the community to provide sufficient conditions for the entrance and monument landscaping. The monument will be maintained by the community upon completion.

Jay Heilman
Land Development Manager
Delaware Division of D.R. Horton, Inc.

D. R. HORTON – DELAWARE
671 S. Carter Road, Suite 6, Smyrna, DE 19977
Office: 302.514.0850

Attachment 1



§ 225-124

Computations.

The following principles shall control the computation of sign area and sign height.

A. Computation of area of individual signs.

(1) The area of a sign face (which is also the sign area of a wall sign or other sign with only one face) shall be computed as the greater of:

(a) The smallest square or rectangle, or combination thereof that will encompass the extreme limits of the writing, representation, emblem, or other display; or

(b) Any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed; or

(c) A combination area of the integral background of the display and the smallest shape that will encompass the extreme limits of the writing, representation, emblem or other display which extends beyond the area of the background.

(2) Computation shall not include any structural elements outside the limits of such sign which is not an integral part of the display. An integral part of the display can include support structure if such support is necessary for the overall appearance of the sign.

B. Computation of area of multifaced signs.

(1) The sign area for a sign with more than one face shall be computed by adding together the area of all sign faces visible at the point where the greatest sign area is visible.

(2) When two identical sign faces are placed back-to-back so that both faces cannot be viewed from any point at the same time, and when such sign faces are part of the same sign structure and are not more than 42 inches apart, the sign area shall be computed by the measurement of one of the faces.

C. Computation of height. The height of a sign shall be computed as the distance from the base of the sign at site grade to the top of the highest attached component of the sign.

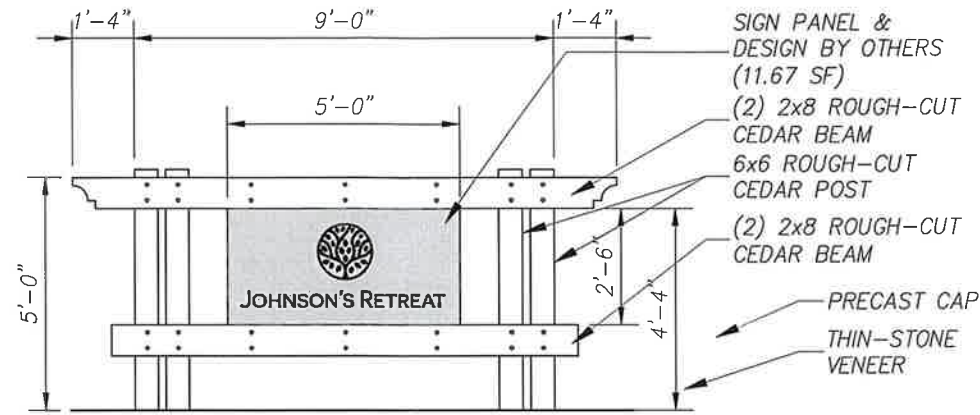
J. Subdivision signs. One sign identifying a residential subdivision is permitted.

(1) Height. Such signs shall not exceed a height of five feet.

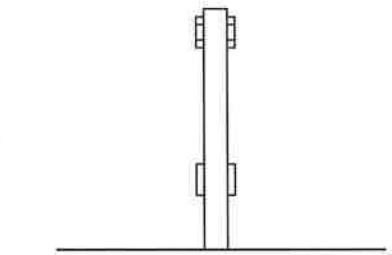
(2) Area. Such sign shall not exceed 20 square feet in area.

(3) Setback. Such sign shall be set back 15 feet from the back of the curb or the property line of the public roadway.

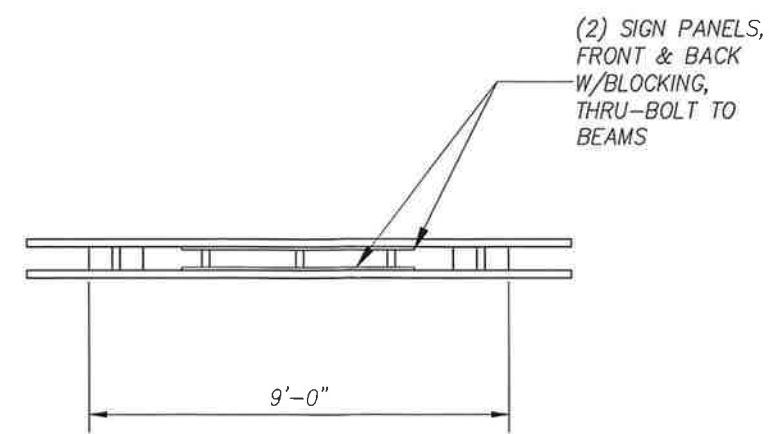
(4) Any sign located within the public right-of-way shall require the approval of the Wicomico County Department of Public Works.



1 FRONT ELEVATION
A1 SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION
A1 SCALE: 1/4"=1'-0"



3 SIGN PLAN
A1 SCALE: 1/4"=1'-0"

NOT FOR PERMIT/
NOT FOR CONSTRUCTION

binary
ARCHITECTURE + DESIGN
2120 St. James Church Rd. · Wilmington, DE 19808
info@binaryarchitect.com
302-386-6868

D.R. HORTON
America's Builder

ISSUED FOR REVIEW	
DATE	COMMENTS
5-01-2023	
REVISIONS NO.	DATE

Johnson's Retreat Entrance Sign
Peninsula Village Entrance Sign
Intersection of Banbury Drive & Johnson Road
Salisbury, Maryland 21804
COVER SHEET, NOTES, PLAN, ELEVATIONS
2023 Copyright Binary Architecture + Design

DRAWING NO.
A1



Infrastructure and Development Staff Report July 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Fuji Ramen House
Applicant/Owner: Jack Chen/Single Properties Inc.
Infrastructure and Development Case No.: 202300752
Nature of Request: Revised Sign Plan Approval
Location of Property: South Salisbury Plaza Shopping Center/800 S. Salisbury Blvd.
Existing Zoning: General Commercial

II. SUMMARY OF REQUEST:

A Revised Sign Plan has been submitted to install a new sign at the South Salisbury Plaza shopping center. The sign will be located in the former Red Door Sub Shop location, and has the approval of the property owner. **(Attachments 1 - 3)**

III. DISCUSSION:

Approval History

The South Salisbury Plaza has an extensive history of sign plan approvals dating back to 1991. Over a dozen revisions to the approved plan have been requested since the original approval, most recently in April of 2014 for the East Moon Japanese Steakhouse.

Proposed Sign Plan

The applicants are proposing to install an 80.21 sq. ft. "Fuji Ramen House" wall sign over the restaurant's entrance facing South Boulevard. The sign will consist of white individual channel letters with a yellow and brown logo, that will be placed over a slatted wood background and awning with uplighting. This proposal introduces the color brown to the approved palette, which currently allows red, white, blue, black and yellow. Additionally, the slatted background is a new feature not found with any other tenant signs. **(Attachments 4 & 5)**

IV. PLANNING CONCERNS

None. The proposed sign is appealing and attractive.



City of
Salisbury
John "Jack" R. Heath, Mayor

V. RECOMMENDATION

Staff recommends approval for the proposed Revised Sign Plan as submitted.

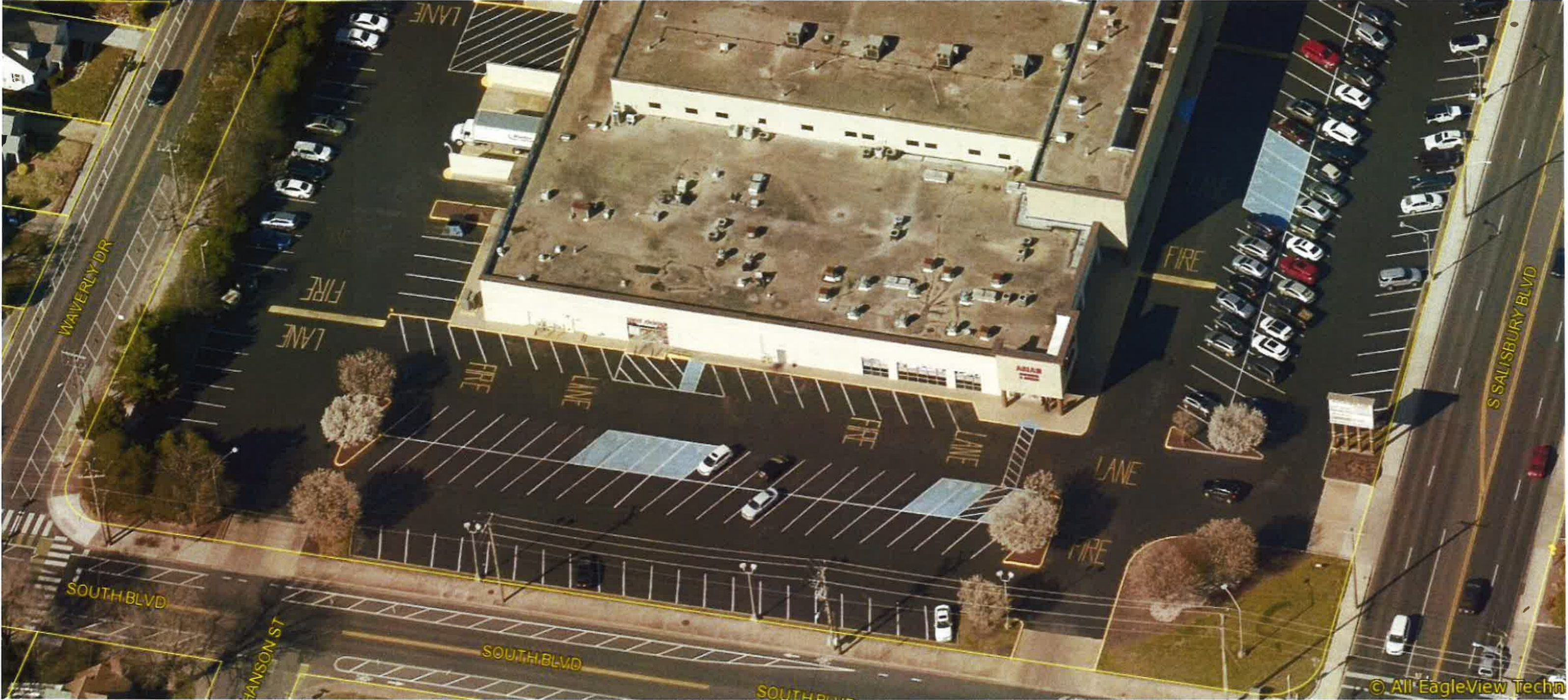
To whom may concern
this is Fuji ramen house new
sign design replace (old red
door sign). please review and
permission

Thank you!

Guang wang

06-30-23





Henry Eure

From: Chen jack <jyujiech@gmail.com>
Sent: Monday, July 10, 2023 8:54 AM
To: Henry Eure
Subject: Fwd: Fuji ramen house front door sign

WARNING: This message was sent from an external source. Please verify the source before clicking any links or opening any attachments. NEVER provide account credentials or sensitive data unless the source has been 100% verified as legitimate.

Hi Henry.
This is email approved from landlord please check. Thank you!
发自我的 iPhone

以下是转发的邮件：

发件人: Cody Adams <cody.adams@svn.com>
日期: 2023年7月10日 GMT-4 上午8:40:15
收件人: jyujiech@gmail.com
主题: 转发：Fuji ramen house front door sign

----- Forwarded message -----

From: **Cody Adams** <cody.adams@svn.com>
Date: Mon, Jul 10, 2023 at 8:37 AM
Subject: Re: Fuji ramen house front door sign
To: Brent Miller CCIM CPM <brent.miller@svn.com>
Cc: Amy Miller <amy.miller@svn.com>

Thank you.

On Mon, Jul 10, 2023 at 8:00 AM Brent Miller CCIM CPM <brent.miller@svn.com> wrote:
Cody, just use our email that approves it. I've never done this in the past, normally, it is a application that the tenant and landlord would sign that comes from the sign company. Thanks.

On Fri, Jul 7, 2023 at 12:28 PM Cody Adams <cody.adams@svn.com> wrote:
They will need a letter of approval from the landlord to submit to the city as well.

On Fri, Jul 7, 2023, 12:27 PM Amy Miller <amy.miller@svn.com> wrote:
Looks nice.

Amy Miller, CPM, Executive Managing Director





Fuji Ramen House





**Infrastructure and Development
Planning Commission
Staff Report**

July 13, 2023

I. BACKGROUND INFORMATION:

Infrastructure and Development Case No.: 22-014

Project Name: Village at Salisbury Lake

Applicant/Owner: Parker and Associates Inc. for Salisbury MD LLC.

Nature of Request: Final Comprehensive Development Plan Approval and Wellhead Protection District Approval

Location of Property: Civic Ave – Glen Ave – St Albans Dr

Zoning District: Planned Residential District No. 11 – Village at Salisbury Lake

Tax Map and Parcel: Tax Map: 109, Grid: 02, Parcel: 2518

Area: 49.64 Acres

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a narrative (Attachment 1) and a Final Comprehensive Development Plan ("FCDP") (Attachment 2) for 131 single family detached units and 88 townhouse units to be served by public streets.

The applicant is also requesting Wellhead Protection District approval as part of the FCDP approval.

III. APPROVAL HISTORY:

This property has an extensive approval history dating back to the early 2000's. The Planning Commission approved the Preliminary Comprehensive Development Plan on February 20, 2020 and the Preliminary Subdivision on September 15, 2022 for the proposed development pattern.

IV. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires a Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:

A. Site Plan (Attachment 2)



City of Salisbury

John "Jack" R. Heath, Mayor

- 1. Parking/Access:** The number of parking spaces per single family dwelling is not specified in 17.121.050.H. The proposed driveways comply with 17.121.050.H, driveways shall be a minimum of twenty (20) feet long. Building elevations show a two-car garage.

The number of parking spaces per townhouse units with a one-car garage is two spaces per unit plus 20% of the total units for guest parking within a reasonable proximity as specified in 17.121.050.H. The proposed units provide three parking spaces, one-car garage and two spaces in the driveway. The required guest parking per the code is 18 spaces within a reasonable proximity. The additional space provided per unit plus the available on-street parking meets the code requirement for guest parking. The proposed driveways comply with 17.121.050.H, driveways shall be a minimum of twenty (20) feet long. Building elevations show a one-car garage units as well as units without garages. Section 17.121.050.H does not address parking requirements for townhouse units without garages. Staff will require that all townhouse units include at least a one-car garage.

Access is provided along Civic Ave, St Albans Dr and Glen Ave. The County has no objection to the access points on Civic Ave and Glen Ave. The developer proposes to construct a roundabout at the northern access to St Albans Dr.

- 2. Refuse Disposal:** Trash collection will be private.
- 3. Density:** The permitted density is 688 residential units for the entire PRD. The developer proposes to construct 165 residential units. The PRD will have 523 residential units remaining.
- 4. Building Setbacks/Spacing:** The proposed development complies with the requirements of 17.121.050.B. as follows:

Front: 20 ft for front facing garage units

Side: 5 ft with at least a ten (10) foot separation between buildings

Rear: 15 ft

Rear when facing common open space: 10 ft

- 5. Open Space:** Multiple stormwater bio areas are shown throughout the property. A centralized grass common area is provided with mid-block interior access paths. Other open space areas are located near the entrances along Civic Ave and Glen Ave.



City of Salisbury

John "Jack" R. Heath, Mayor

B. Building Elevations/Floor Plans

Proposed building elevations and floor plans are included on Sheet AR-1 of Attachment 2.

C. Sign Plan

None submitted. A sign plan approved by the Planning Commission will be required prior to the issuance of permits.

D. Landscaping Plan

Landscaping details are provided on Sheet SP-1 of Attachment 2. The landscaping plan is shown throughout Attachment 2. Landscape screening renderings along Civic Ave are provided in **Attachment 3**.

E. Development Schedule

Construction is expected to begin once all approvals have been granted and applicable permits issued. A specific development schedule was not indicated. Staff anticipates completion by mid-2027 to comply with the Here is Home housing program.

F. Community Impact Statement

The Planning Commission waived the requirement on February 20, 2020.

G. Statement of Intent to Proceed and Financial Capability

The Planning Commission waived the requirement on February 20, 2020.

H. Fire Service

The project is subject to further review by the Salisbury Fire Department.

I. Stormwater Management

The Stormwater Management Plan has been approved by the Salisbury Department of Infrastructure & Development.

J. Forest Conservation Program



City of Salisbury

John "Jack" R. Heath, Mayor

All FCA requirements must be met prior to approval of the subdivision plat.

K. Transportation, Streets, and Pedestrians

Per 17.121.060, Infrastructure and Development ("DID") may modify the standards set by the code. The civil engineering plans are currently being reviewed by DID and modifications may be made to street standards where appropriate. DID has approved the proposed street layout that is compliant with City standard.

A traffic impact study has been submitted as part of the civil engineering review.

V. Wellhead Protection District

The property is located in the Wellhead Protection District and requires approval by the Commission per 17.100.

Staff finds that the proposed residential development does not pose an unacceptable risk of contamination to wellheads and recommends that approval of the FCPD constitute approval of the Wellhead Protection site plan.

VI. PLANNING COMMENTS

The developer has revised the Preliminary Comprehensive Development Plan to include 88 townhouse units and a reduction of 34 single family units.

The FCDP includes a sanitary pump station that will be deeded to the City as part of the required infrastructure improvements. The inclusion of this piece of infrastructure is customary when the City civil engineering review identifies the need.

The Preliminary Comprehensive Development Plan approval had 19 conditions that will be addressed individually below with Staff comments in **bold**:

1. Provide a Traffic Study for Civic Avenue and Beaglin Park Drive; **The Traffic Impact Study has been submitted and is currently under review by Staff.**
2. Provide Elevations; **Elevations have been provided on Sheet AR-1 of Attachment 2.**
3. Provide Details of all the open spaces; **Open spaces locations and representative amenities are shown.**
4. Provide a revised Salisbury Lake Design Guidelines; **Staff recommends this condition be removed as the proposed residential units comply with the Guidelines.**



City of Salisbury

John "Jack" R. Heath, Mayor

5. Provide details of all entrances including all proposed signage; **A sign plan shall be approved by the Commission prior to the issuance of sign permits.**
6. Provide screening; **Screening is shown as part of the landscape plan.**
7. Provide a point by point narrative outlining how the Preliminary plan is addressing the following items 17.121.010 through 17.121.060; **Staff recommends removing this condition. The items are addressed throughout the plan and staff report.**
8. Provide a detailed landscape plan per 17.220; **This has been addressed under Section IV.D of the Staff Report.**
9. All site furnishings, i.e.: lighting, benches and trash cans shall be the adopted City standards and will be indicated as such in the revised Salisbury Lake Design Guidelines; **These items are addressed during the civil engineering review and will comply with City standard.**
10. The Design Guidelines shall be amended as future phases are developed; **This condition shall remain if applicable.**
11. Stormwater management concept to be approved prior to Final Development Plan approval; **This has been approved by DID.**
12. Provide details and elevations of the proposed convenience store, without a specific user, it is difficult to review the site plan; **Staff recommends removal of this condition as the convenience store was removed from the current proposal.**
13. Wicomico County Public Works Department to approve all curb cuts to county roads, including Civic Avenue, Glen Avenue and Beaglin Park Drive; **The County will provide comments prior to approval of the civil engineering plans.**
14. Site work and Stormwater Management shall be subject to further review and approval by Salisbury Department of Infrastructure & Development; **This condition will remain.**
15. Approval of the Salisbury Fire Marshal; **The development is subject to further review from the Fire Marshal.**
16. Approval of the Wicomico County Board of Education; **The Board of Education has been provided the development plan for their planning purposes.**
17. Provide proof of Forest Conservation Approval; **FCA must be met prior to approval of the Subdivision plat.**
18. A Homeowner's Association shall be created to maintain open space, recreation and stormwater management facilities, drainage and maintenance easements and forest conservation easements; **This condition will remain.**

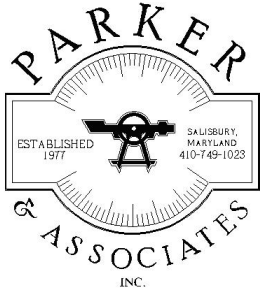
VII. RECOMMENDATION

Staff recommends approval of the Final Comprehensive Development Plan and Wellhead Protection District Site Plan for The Village at Salisbury Lake with the following conditions:



City of
Salisbury
John "Jack" R. Heath, Mayor

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval;
2. Submit a sign plan for Planning Commission approval prior to the issuance of sign permits;
3. All townhouse units shall have at least a one-car garage;
4. The Design Guidelines shall be amended as future phases are developed, if applicable;
5. Obtain Forest Conservation approval prior to approval of the Subdivision plat;
6. A Homeowner's Association shall be created to maintain open space, recreation and stormwater management facilities, drainage and maintenance easements and forest conservation easements. The Homeowner's Association must be approval by the Planning Commission prior to approval of the Final Subdivision Plat;
7. Remove conditions 4, 7, and 12 as presented in the Staff Report, Section VI. Planning Comments; and
8. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING • CIVIL ENGINEERING • LAND PLANNING • FORESTRY SERVICES

June 6, 2023

City of Salisbury
Department of Infrastructure and Development
125 N. Division St
Salisbury, Maryland 21801

ATTN: Jessica Crenshaw
Senior Associate Planner

RE: The Village at Salisbury Lake
Comprehensive Development Plan

Dear Jessica:

On behalf of Elu Deluca Salisbury Apt LLC, we hereby respectfully request to be placed on the next possible Planning Commission agenda for the above referenced project, in accordance with Planned Residential District No. 11 zoning code. The objective of this request is to obtain final approval on the Comprehensive Development Plan so that we may finalize engineering and development plans based upon the confidence that this is acceptable to the commission.

The property is located on Tax Map 109, Parcel 2518, contains an area of 49.58 acres and sits between Civic Avenue, Glen Avenue and St Albans Drive with a proposed access to each street. It was formerly the site of the Salisbury Mall.

This comprehensive development plan proposes 131 single family lots with garage and drive and 88 townhouse units with a drive to be accessed by public streets. Townhouse units shall have a mix of units with and units without a garage. All entrances are subject to city review and approval. The current zoning of this property is Planned Residential District No. 11. Construction and development on this project will be in accordance with the zoning code, as well as the City of Salisbury construction specifications. All sewer, water and trash collection will be public entities. Parking will be based on City parking standards. Open space and SWM facilities will be included as shown on the plan.

Thank you for your time, should any questions arise please feel free to reach out to me.

Sincerely,

Roger B. Adlon
Parker & Associates Inc.

ATTACHMENT 1

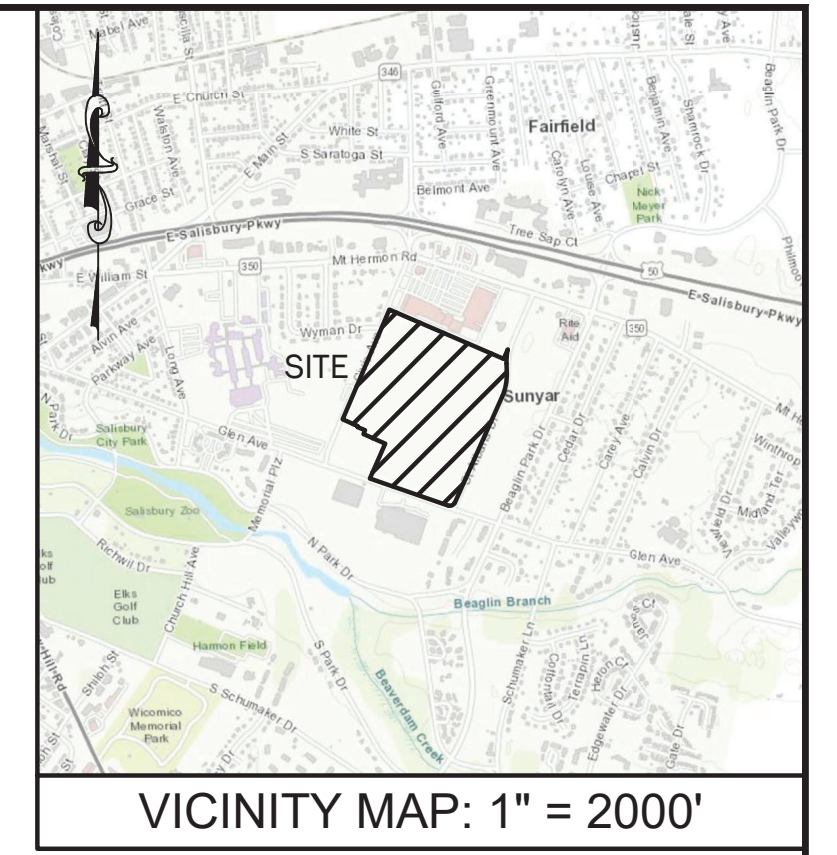


528 Riverside Drive
Salisbury, MD 21801
Office: 410-749-1023
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THE VILLAGE AT SALISBURY LAKE

SALISBURY, WICOMICO COUNTY, MD

CITY PROJECT #22-014



VICINITY MAP: 1" = 2000'

SHEET INDEX	
CO-1	TITLE
SP-1	OVERALL SITE PLAN
SP-2	SITE PLAN NORTH WEST
SP-3	SITE PLAN NORTH EAST
SP-4	SITE PLAN SOUTH EAST
SP-5	SITE PLAN SOUTH WEST
AR-1	ARCHITECTURALS

CITY OF SALISBURY STANDARD NOTES

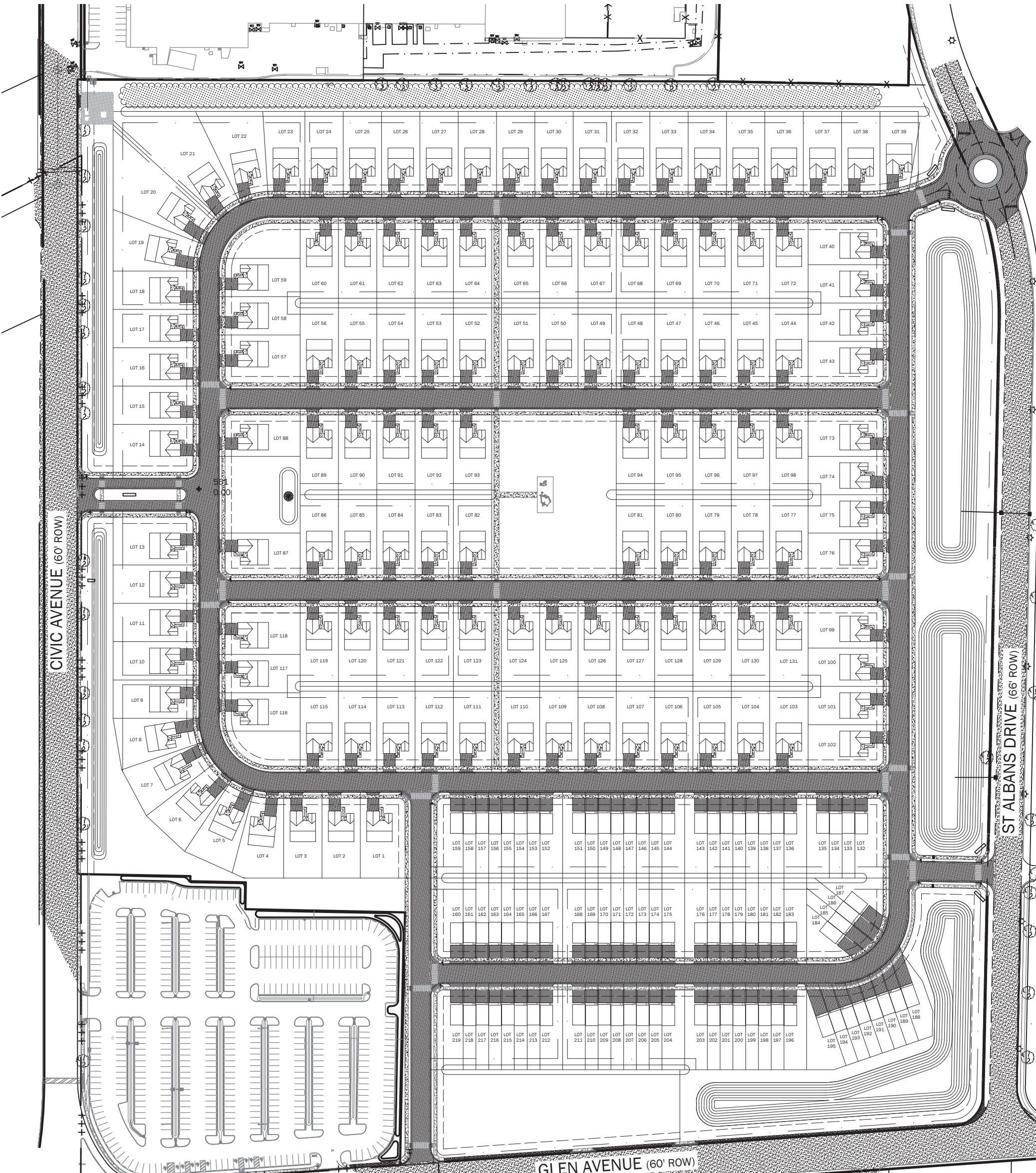
- THE CITY RESERVES THE RIGHT TO REQUIRE STRUCTURAL MODIFICATIONS TO THE SITE WORK FOLLOWING PERMIT ISSUANCE IF SUCH MODIFICATIONS ARE NECESSARY.
- ALL STABILIZATION, PAVING, AND ROAD PATCHING IN THE PUBLIC ROADWAY WHICH IS NECESSITATED BY THE CONSTRUCTION OF THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, USING A PAVING CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. MILLING & REPAVING WILL BE IN ACCORDANCE WITH RESOLUTION 2298.
- ALL DETERIORATED CURB, GUTTER, AND SIDEWALKS, AS DETERMINED BY THE CITY, ALONG THE FRONTAGE(S) OF THE PROPERTY MUST BE REPLACED AT THE TIME OF CONSTRUCTION USING A CONCRETE CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. HANDICAP RAMPS PER CURRENT ADA GUIDELINES ARE REQUIRED AT ALL PUBLIC STREET AND DRIVEWAY INTERSECTIONS. DETECTABLE WARNING DEVICES (TRUNCATED DOMES) MUST BE PROVIDED AT ALL PUBLIC STREET INTERSECTION HANDICAP RAMPS. SEE CITY STANDARD 100.37.
- ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAINS, CURB, GUTTER, SIDEWALKS, STREETLIGHTS AND PAVING FOR THIS PROJECT OR PHASE OF PROJECT IN ITS ENTIRETY MUST BE ACCEPTED IN WRITING BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SEE SECTION 16-48.030 OF THE SALISBURY SUBDIVISION REGULATIONS. REDUCTIONS IN PROJECT SCHEDULING WILL NOT BE APPROVED PRIOR TO FINAL WRITTEN ACCEPTANCE BY THE CITY OF ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS. SUB-PHASES OF THIS PROJECT SHALL NOT BE PERMITTED.
- A WRITTEN "NOTICE TO PROCEED" MUST BE OBTAINED FROM AND A PRE-CONSTRUCTION MEETING SCHEDULED WITH DID, BEFORE BEGINNING CONSTRUCTION IN CITY PUBLIC R/W'S, EASEMENTS AND/OR CITY MAINTAINED UTILITIES OR ROADWAYS. CONTACT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, ROOM 202, 125 N. DIVISION ST., SALISBURY, MARYLAND, 21801-4940, TELEPHONE 410-548-5460, TO SCHEDULE A PRE-CONSTRUCTION MEETING AND OBTAIN A WRITTEN "NOTICE TO PROCEED". 48 HOURS NOTICE IS REQUIRED.
- STREET TREES SHALL BE PLANTED PER THE CURRENT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT STREET TREE POLICY. PROVIDE CENTERLINE STATIONING FOR ALL PROPOSED STREET TREES ON THE LANDSCAPE PLAN.
- CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1.
- CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR INSPECTION OF PRIVATE UTILITY MAINS.
- MILLING AND REPAVING SHALL BE PER RESOLUTION 2298.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN PUBLIC OR PRIVATE ROADS WITHIN THE DEVELOPMENT, CITY RIGHTS-OF-WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- 165 EDU'S OF WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS PROJECT; SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- APPROVAL OF THE SITE PLAN AND THE CONTRACT DRAWINGS EXPIRES TWO (2) YEARS FROM THE FINAL APPROVAL DATE. CONSTRUCTION OF THE PROJECT MUST HAVE BEEN STARTED PRIOR TO THE EXPIRATION DATE. THE CITY RESERVES THE RIGHT TO EXTEND THE EXPIRATION DATE UPON WRITTEN REQUEST AND WRITTEN CONFORMANCE.
- PROVIDE RESIDENT INSPECTION FOR THE CONSTRUCTION OF THE PRIVATE STORM WATER MANAGEMENT SYSTEM APPROVED AS PART OF THE IMPROVEMENTS CONSTRUCTION PLAN. DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MSP) WITH GRAVEL SUBSTRATE, INCLUDING RAIN GARDENS, MICRO-BIORETENTION, SUBMERGED GRAVEL WETLANDS, POROUS CONCRETE, ETC. THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT WITH A DAILY PROGRESS REPORT SEALED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN MARYLAND. THE REPORT IS TO INCLUDE THE FOLLOWING AS APPLICABLE: THE DIMENSION AND HEIGHT OF THE CHAMBERS AS WELL AS LOCATION, SIZE, AND NUMBER OF CHAMBERS PLACED. ALSO, THE LOCATION, SIZE, AND DEPTH OF MEDIA LAYERS FOR MSPS. THE FINAL OCCUPANCY CERTIFICATE AND SURETY WILL BE WITHHELD UNTIL THE DAILY PROGRESS REPORT(S) HAVE BEEN ACCEPTED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT.
- FOLLOWING COMPLETION OF CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMISSION AS-BUILT DRAWINGS OF THE PUBLIC WATER, SEWER, AND STORM DRAINS. THE PRIVATE STORMWATER MANAGEMENT AS-BUILTS MUST BE SUBMITTED WITHIN 60 CALENDAR DAYS FOLLOWING THE DATE OF MID'S FINAL FIELD INSPECTION REPORT FOR SEDIMENT CONTROL. SUBMIT A COPY OF THIS REPORT WITH THE AS-BUILTS. ALL APPLICABLE AS-BUILTS MUST BE SUBMITTED AT THE SAME TIME UNLESS OTHERWISE APPROVED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. PARTIAL SUBMITTALS WILL BE REJECTED. THE "AS-BUILT" DRAWINGS MUST BE SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER, CURRENTLY REGISTERED IN MARYLAND. THE INITIAL SUBMITTAL SHALL BE PAPER ONLY, THREE (3) COPIES. THE FINAL AS-BUILTS MUST BE SUBMITTED TO THIS OFFICE ON MYLAR AND AUTO-CAD 2016 OR LATER VERSION OF AUTO-CAD. ALL COMPACT DISCS (CD) MUST BE IN A PLASTIC PROTECTIVE CASE. PROJECT SURETY WILL BE WITHHELD AND FINAL OCCUPANCY CERTIFICATE SHALL BE DELAYED UNTIL THE AS-BUILT INFORMATION IS SUBMITTED TO AND APPROVED BY THIS OFFICE.
- THE OWNER/DEVELOPER SHALL USE A CONTRACTOR/SUBCONTRACTOR CURRENTLY APPROVED BY THE CITY OF SALISBURY FOR CONSTRUCTION OF THE PARTICULAR IMPROVEMENT. PAYMENT TO THE CONTRACTOR SHALL BE THE OWNER'S/DEVELOPER'S RESPONSIBILITY. THE CITY OF SALISBURY MAY SUSPEND OR CANCEL CONSTRUCTION WHEN THE CONTRACTOR DOES NOT PROGRESS, IN A CONTINUOUS MANNER, AND/OR THE CONSTRUCTION METHOD OR MATERIALS SUPPLIED ARE LESS THAN THE STANDARD SET FORTH IN THE "CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION" OR WHEN THE CONTRACTOR IS NOT IN COMPLIANCE WITH THE PUBLIC WORKS AGREEMENT AND RELATED RESPONSIBILITIES CONTAINED THEREIN. THE TYPE AND QUANTITY OF MATERIAL TESTING WILL BE DETERMINED BY THE CITY OF SALISBURY FIELD INSPECTOR DURING CONSTRUCTION, AS DESCRIBED IN THE CONSTRUCTION/MATERIAL SPECIFICATIONS. TESTING COSTS SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.

DISCREPANCIES

- "THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE CITY REPRESENTATIVE OR THE CONSULTANT OF ANY DISCREPANCIES DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS."
- "ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY."
- "THE CITY REPRESENTATIVE OR THE CONSULTANT WILL REVIEW THE CONTRACTOR'S FINDING TO CONFIRM THE DISCREPANCY."
- "THE CITY REPRESENTATIVE OR THE CONSULTANT WITH SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT APPROVAL, WILL ISSUE NEW INSTRUCTIONS AS SOON AS POSSIBLE TO RELIEVE THE DISCREPANCY."
- "THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY BEFORE START OF WORK OR CONTINUATION AFTER THE DISCREPANCY ARISES."

CITY OF SALISBURY - UTILITY CONSTRUCTION NOTES:

- "THE APPROVED UTILITY CONTRACTOR'S FIELD REPRESENTATIVE SHALL BE REQUIRED TO FOLLOW AND HAVE AN APPROVED, SIGNED COPY OF THE UTILITY DRAWINGS, THE LATEST REVISION OF THE CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATION FOR UTILITY AND ROADWAY CONSTRUCTION AND THE CONSTRUCTION STANDARDS, (STANDARD DETAILS) MANUALS AT THE CONSTRUCTION AREA DURING WORKING HOURS."
- "ALL CONSTRUCTION WITHIN CITY RIGHT OF WAYS AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION."
- "CONTRACTOR TO VERIFY ALL ELEVATIONS AGAINST A PREVIOUSLY CONSTRUCTED POINT OF KNOWN ELEVATION BEFORE BEGINNING CONSTRUCTION."
- "THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777, THREE (3) DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES."
- "DURING THE PROGRESS OF THE JOB, THE CONTRACTOR SHALL KEEP A CAREFUL RECORD AT THE JOB SITE OF ALL CHANGES AND CORRECTIONS TO THE INFORMATION SHOWN ON THE CONTRACT DRAWING(S) AND THE STORMWATER MANAGEMENT PLAN DRAWING(S). PRIOR TO BACKFILL, THE CONTRACTOR SHALL ENTER SUCH CHANGES AND CORRECTIONS ON ONE SET OF RED LINE AS BUILT DRAWINGS. THE RED LINE AS BUILT DRAWINGS SHALL INDICATE, IN ADDITION TO ALL CHANGES AND CORRECTIONS, ALL SUBSURFACE STRUCTURES/UTILITIES INSTALLED OR UNCOVERED, REFERENCED TO TWO PERMANENTLY FIXED SURFACE STRUCTURES. PRIOR TO TESTING OF THE UTILITY/UTILITIES AND ACCEPTANCE OF THE SWM FACILITIES INVOLVED UNDER THE CONTRACT, THE CONTRACTOR SHALL SUBMIT, CONCURRENTLY, TO THE OWNER ONE SET OF RED LINE AS BUILT DRAWINGS SHOWING THE AFOREMENTIONED DATA AND ONE COPY OF THE RED LINE AS BUILT DRAWINGS TO SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. SHOULD THE CONTRACTOR FAIL TO MAINTAIN RED LINE AS BUILT DRAWING(S), THE OWNER MAY BE REQUIRED TO HIRE A PRIVATE LOCATOR AND MAY BE REQUIRED TO TEST PIT THE MAINS AT THE DISCRETION OF THE CITY ENGINEER. PARTIAL ACCEPTANCE OF THE PUBLIC UTILITIES AND ACCEPTANCE OF THE STORMWATER MANAGEMENT FACILITY MAY BE DELAYED PENDING RECEIPT OF THIS INFORMATION."
- "SEWER MAINS TO BE 30R-35 PVC."
- "SANITARY SEWER MANHOLES SHALL CONFORM TO CITY STD. NOS. 500.10."
- "ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE MANHOLE LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE MANHOLE LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND MANHOLE IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID."
- "FOR INSPECTION OF PRIVATE SEWER MAINS AND FOR ABANDONMENT OF EXISTING SEWER SERVICES; CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR REQUIREMENTS, AND TO COORDINATE THE WORK AND INSPECTION."
- "MAINTAIN 42" OF COVER OVER ALL NEW WATER MAINS."
- "FIRE HYDRANTS AND VALVES SHALL CONFORM TO CITY STD. NO. 300.55."
- "BLOW OFF HYDRANTS SHALL CONFORM TO CITY STD. NO. 300.51."
- "WATER MAINS TO BE C-900."
- "DUCTILE IRON MECHANICAL JOINT FITTINGS PER CITY CONSTRUCTION AND MATERIALS SPECIFICATION SHALL BE USED TO RESTRAIN ALL WATER MAIN JOINTS."
- "#12 SOLID COATED COPPER TRACER WIRE TO BE USED ON ALL CITY WATER MAINS PER CITY STD. NO. 300.55."
- "ALL VALVE BOXES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE VALVE BOX LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR-6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE VALVE BOX LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID."
- "WATER METERS AND ASSOCIATED VAULTS SHALL NOT BE LOCATED IN DRIVEWAYS OR OTHER AREAS INTENDED FOR VEHICULAR TRAFFIC. ANY METER OR VAULT FOUND TO BE IN SUCH AN AREA AFTER PROJECT COMPLETION, SHALL BE RELOCATED TO A DID APPROVED LOCATION. THE OWNER SHALL BEAR ALL EXPENSE ASSOCIATED WITH THE RELOCATION INCLUDING BUT NOT LIMITED TO ADDITIONAL INSPECTION FEE, WATER MAIN TAPS, PAVEMENT, CURB, GUTTER, AND/OR SIDEWALK RESTORATION, ANY RETESTING, AND ANY AND ALL ASSOCIATED APPURTENANCES."
- "DEFLECT THE WATER MAIN AROUND OTHER UTILITIES PER CITY STD. NO. 300.42 AS NECESSARY TO AVOID CONFLICTS. MAINTAIN A MINIMUM OF 1' OF SEPARATION BETWEEN THE OUTSIDE EDGE OF PIPES. IF WATER MAINS ARE INSTALLED BEFORE ANY OTHER UTILITY IT WILL BE AT THE RISK OF THE CONTRACTOR."
- "EXISTING WATER SERVICES THAT ARE TO BE ABANDONED ARE TO BE PLUGGED/CAPPED AT THE CORPORATION STOP ON THE MAIN PER SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT INSPECTOR'S REQUIREMENTS. IF THE SERVICE DOES NOT HAVE A CORPORATION STOP IT SHALL BE ABANDONED PER CITY INSPECTOR'S REQUIREMENTS."



MINIMUM REQUIREMENTS
CITY OF SALISBURY, MD
ZONE: PLANNED RESIDENTIAL DISTRICT #11

MINIMUM LOT AREA = 1,300 SF
MINIMUM INTERIOR LOT WIDTH = 20 FT

MINIMUM SETBACKS:
FRONT GARAGE UNITS: 20'
SIDE: 5' (AT LEAST 10' BETWEEN BUILDINGS)
REAR: 15'
HEIGHT: 50'

ESTIMATED WATER & SEWER USAGE
CITY OF SALISBURY MUNICIPAL CODE, AUG 16, 2022.
CHAPTER 15.08.100, CALCULATION OF IMPACT FEE (RESIDENTIAL)

SINGLE FAMILY 3 BEDROOM AVERAGE: 219 x 185 GPD = 40,515 GPD

TOTAL EDU'S FOR PROJECT AT 135 GPD PER EDU: = 301 EDU'S
40,515 / 135

LAND USE SUMMARY
ZONE: PLANNED RESIDENTIAL DISTRICT #11

RESIDENTIAL DENSITY REQUIREMENTS:	688 UNITS MAX
PROPOSED SINGLE FAMILY UNITS:	131 UNITS
PROPOSED TOWNHOUSE UNITS:	88 UNITS
PROPOSED TOTAL NUMBER RESIDENTIAL UNITS:	219 UNITS

EXISTING:
TOTAL SITE AREA = 2,159,665± SF / 49.58± AC
EXISTING IMPERVIOUS AREA = 2,035,397± SF / 46.73± AC

PROPOSED:
LIMIT OF DISTURBANCE = 2,146,005± SF / 49.27± AC
PROPOSED IMPERVIOUS AREA = 723,169± SF / 16.60± AC

TOTAL PARCEL = 2,159,665± SF / 49.58± AC

TOTAL PROJECT OPEN SPACE = 49.58 - 16.60 = 32.98± ac
(Open space calculated by removing the area of all buildings and parking area, inclusive of islands from total site)

PERCENTAGE OPEN SPACE = 32.98 AC / 49.58 AC = 67% Open Space

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27739, EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21193, EXPIRATION DATE: JANUARY 25, 2024.

Richard E. Parker, P.E., R.L.S. DATE _____
828 RIVERSIDE DRIVE
SALISBURY, MARYLAND 21801
PHONE: (410) 749-1023 FAX: (410) 749-1012
EMAIL: rock@parkerandassociates.org

PLAN APPROVED BY WICOMICO SOIL CONSERVATION DISTRICT

RICK GLASGOW
SUPERVISOR

DATE _____

OWNER'S CERTIFICATION
I HEREBY CERTIFY THAT THIS IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY.

ELU DELUCA SALISBURY APT. LLC
P.O. BOX 224
GWYNEDD VALLEY, PA 19437
C/O BOB ROSENTHAL
PHONE: (215) 740-0206
EMAIL: bob@envisionlanduse.com

DATE _____

APPROVED: CITY OF SALISBURY DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT

RICHARD D. BALDWIN
DIRECTOR

CITY PROJECT # 22-014
UTILITY CONTRACT # _____

DATE _____

GENERAL NOTES
1. THE PROPERTY SHOWN HEREON IS TO BE ACQUIRED AND DEVELOPED BY:

OWNER:
ELU DELUCA SALISBURY APT. LLC
P.O. BOX 224
GWYNEDD VALLEY, PA 19437
C/O BOB ROSENTHAL
PHONE: (215) 740-0206
EMAIL: bob@envisionlanduse.com

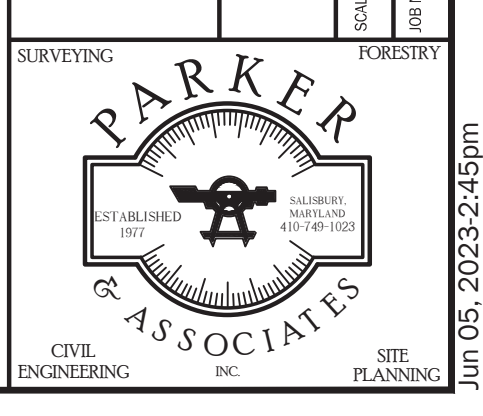
- DEED REF: 4705/221, PARCEL: 2518
- TOTAL AREA OF PROPERTY = 49.58± ACRES
- THE PRESENT ZONING OF THIS PROPERTY IS: PLANNED RESIDENTIAL DISTRICT #11
- THIS PROPERTY IS LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
- THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S-1.
- ALL FUTURE CONSTRUCTION SHALL CONFORM TO THE CITY OF SALISBURY CODE IN EFFECT AT THE TIME OF CONSTRUCTION
- THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PLAN #240450252E (PANEL 252 OF 375) DATED 8/17/2015, LOCATED IN ZONE X, AREA OF MINIMAL FLOODING.
- THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
- THIS PROJECT IS INTENDED TO BE SERVED BY PUBLIC SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
- THIS PROPERTY IS SHOWN ON CITY MAP 109.
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES (SWALES) LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION, NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY. ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND C.A.T.V. SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
- IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY PARKER & ASSOCIATES IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION, CLIENTS OR CONTRACTORS SHALL PROVIDE PARKER AND ASSOCIATES AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE DISCOVERED ISSUE. IF IMMEDIATE NOTICE IS NOT PROVIDED BY CLIENT OR CONTRACTOR TO PARKER & ASSOCIATES, THE CLIENT OR CONTRACTOR SHALL RELIEVE PARKER & ASSOCIATES OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPT. OF INFRASTRUCTURE AND DEVELOPMENT.
- TRACER WIRE TO BE LAYED ABOVE ALL FORCE MAIN PIPES.
- ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR.
- WATER AND SEWER TAPS MUST BE DONE BY A CURRENTLY APPROVED CITY OF SALISBURY WATER AND SEWER CONTRACTOR.
- VERTICAL DATUM IS BASED ON NAVD88; HORIZONTAL DATUM IS BASED ON NAD83.
- CONTRACTOR IS TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HEREON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
- THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.

COMPREHENSIVE DEVELOPMENT PLAN

TITLE SHEET

VILLAGE AT SALISBURY LAKE

ROAD NAME: ST ALBANS DRIVE, CIVIC AVE & GLEN AVENUE
FOR: ELU DELUCA SALISBURY APT. LLC
SALISBURY ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

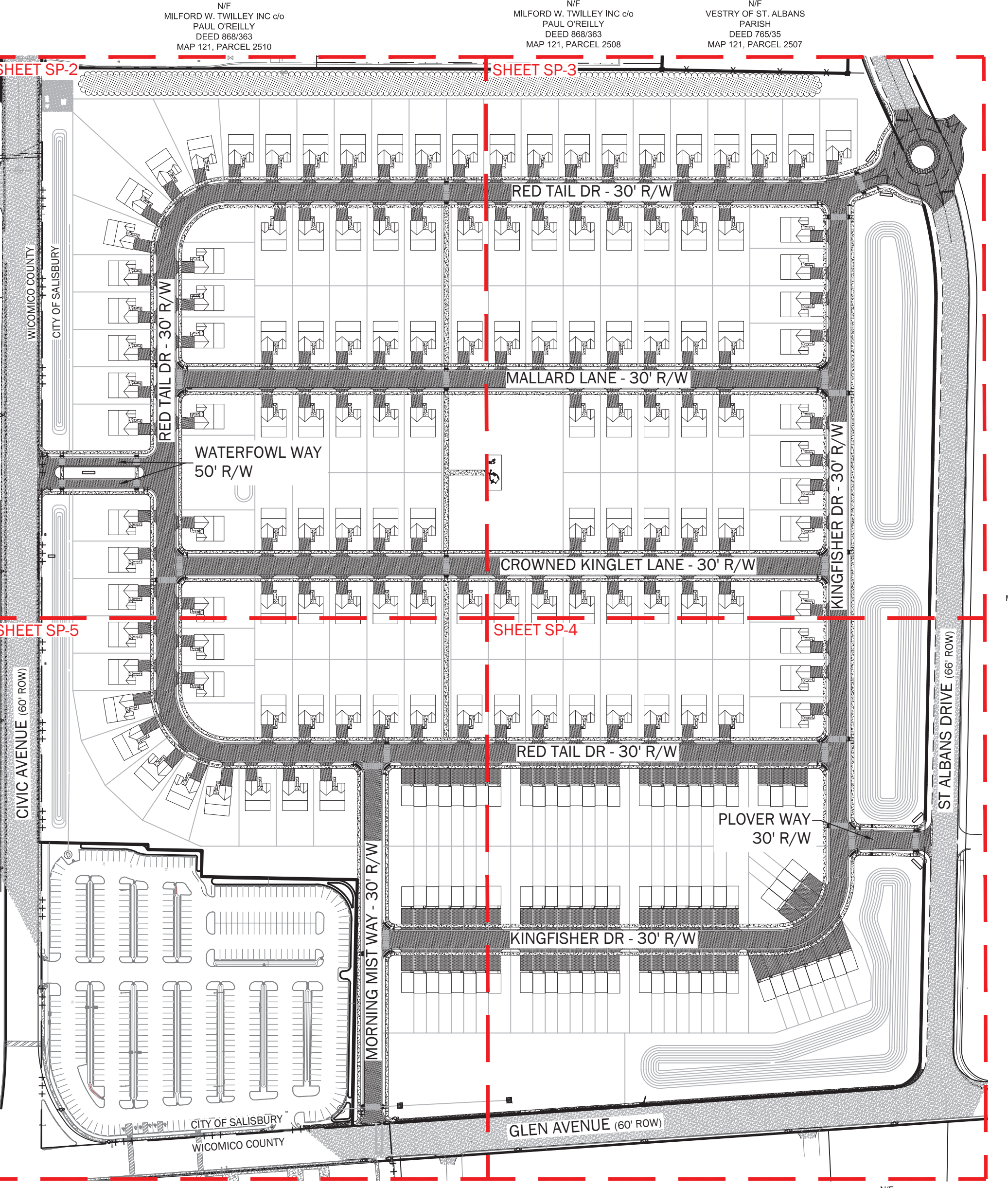
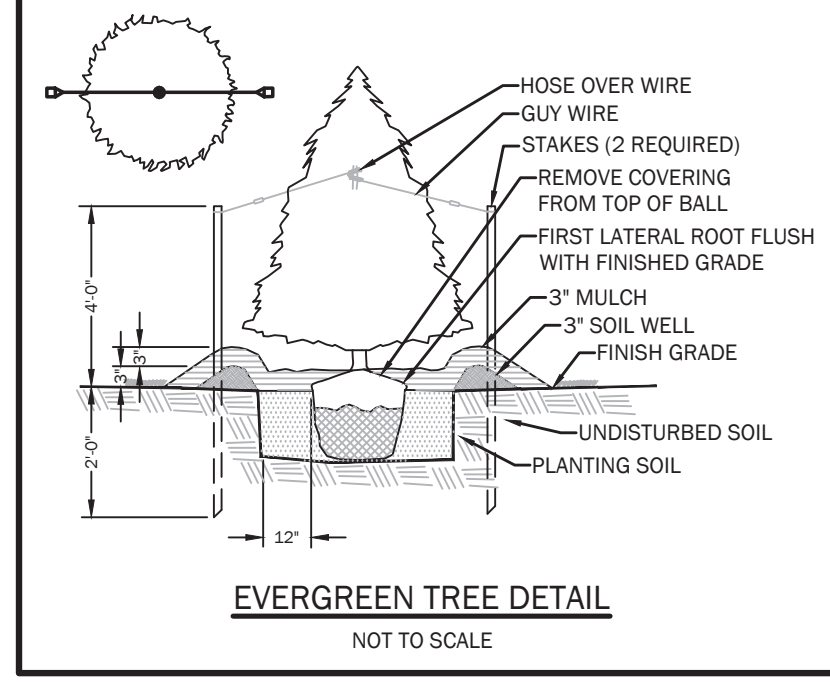
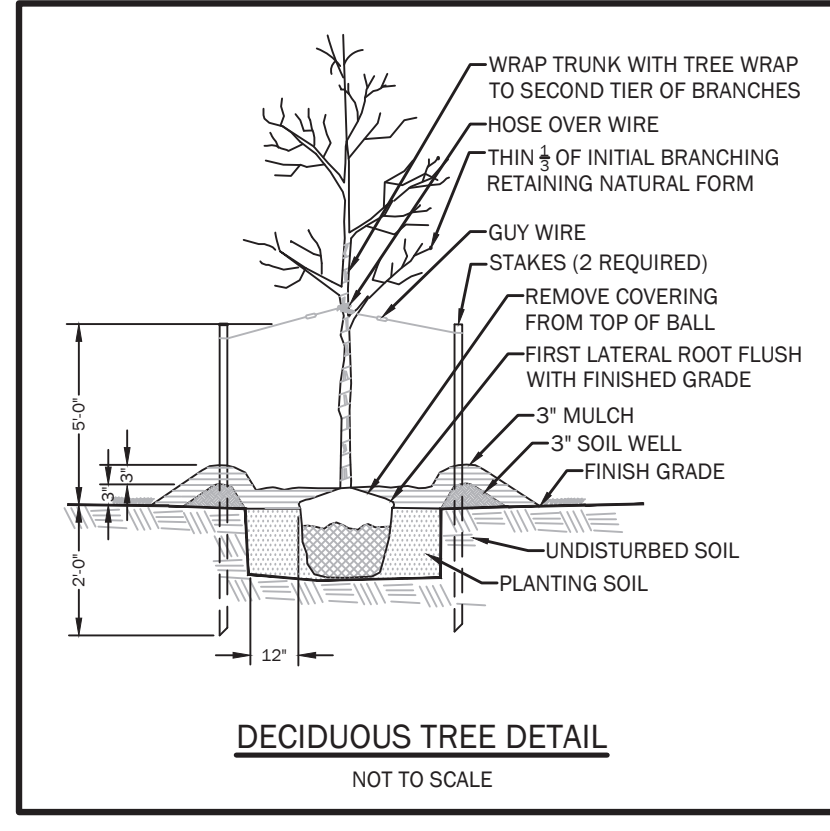
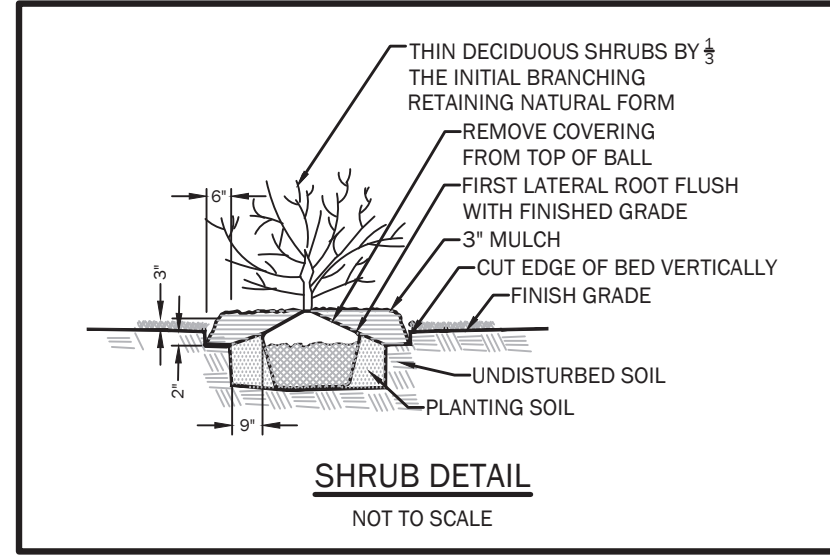
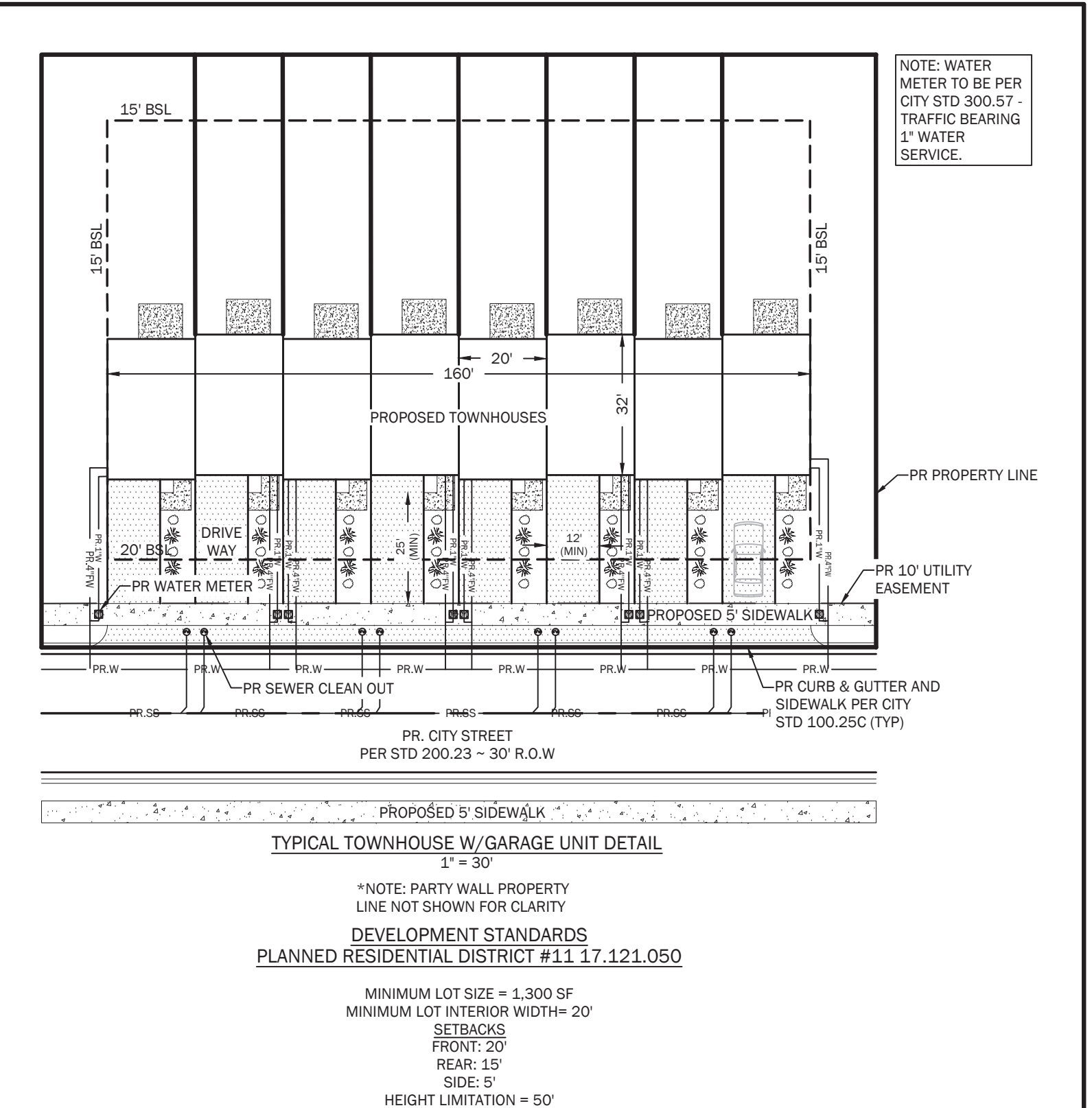
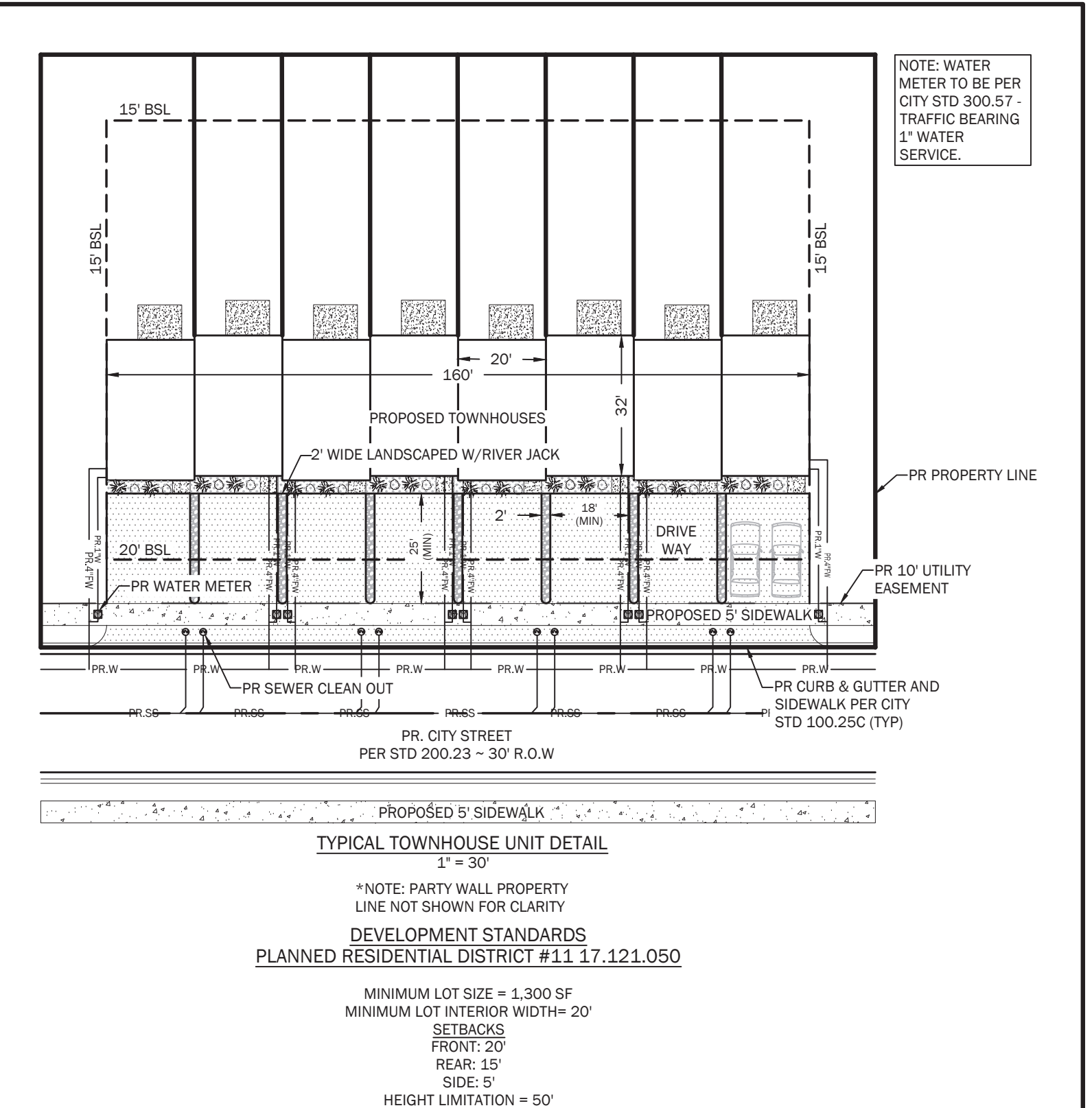
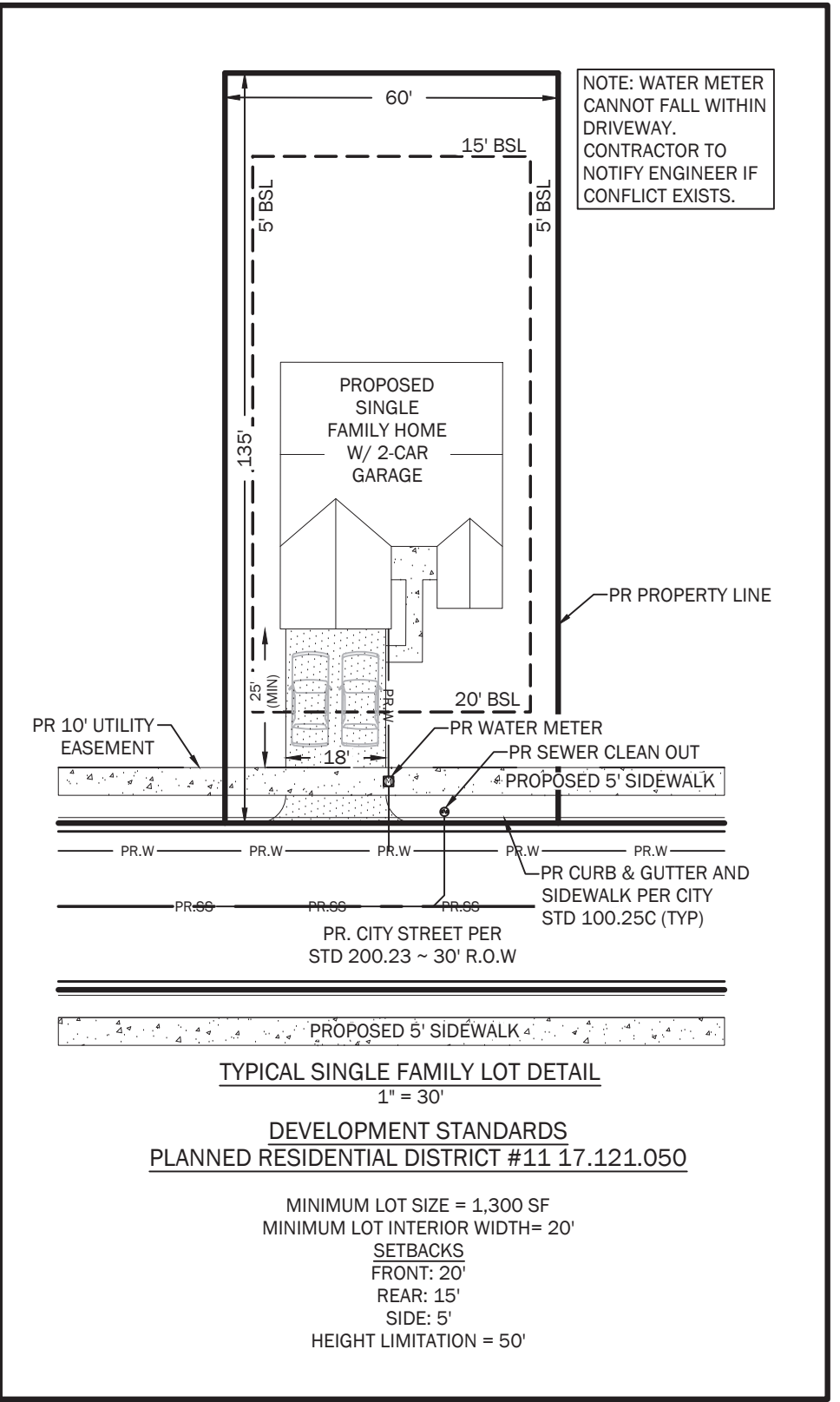


DATE: 05/18/23
SCALE: 1" = 150'
DRAWN BY: RBA
CHECKED BY: JMS
DATE: 05/18/23

SYMBOL	DESCRIPTION	COUNT
	3" CALIBER, 6' TALL (AT PLANTING) DECIDUOUS SHADE TREE PLANTING LOCATION TO CONSIST OF LONDON PLANE, RED MAPLE, RIVER BIRCH, SYCAMORE, PIN OAK, OR SIMILAR SPECIMEN TREE.	111
	5'-6" TALL (AT PLANTING) EVERGREEN SCREENING TREE PLANTING LOCATION TO CONSIST OF LEYLAND CYPRESS OR SIMILAR SPECIMEN TREE.	81
	3" SMALL DECIDUOUS FLOWERING ORNAMENTAL SPECIMEN TREE PLANTING LOCATION TO CONSIST OF NATCHEZ CREPE MYRTLE, TUSCARORA CREPE MYRTLE, FLOWERING KWAZAAN CHERRY, DOGWOOD, OR SIMILAR SPECIMEN TREE.	45
	- KNOCKOUT ROSE 5 GAL	13
	- INKBERRY 5 GAL	13

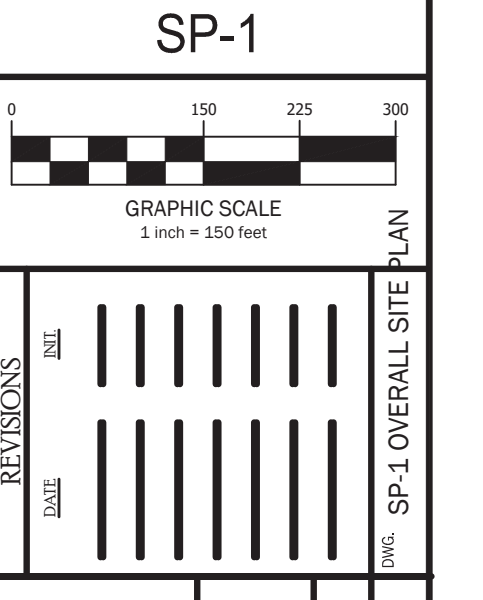
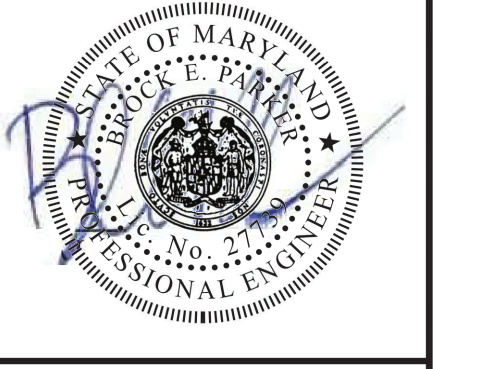
NOTE:

- FOUNDATIONS TO BE PLANTED AND CONSIST OF A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS (PINK SUMMERSWEET, BURNING BUSH, HYPERICUM, SPIRAEA, AZALEAS, AND JUNIPERS) AND A MIXTURE OF GROUND COVERS AND PERENNIALS (JUNIPERS AND FLOWERS, WITH ANNUAL COLOR TO BE SUPPLEMENTED WHERE APPLICABLE).
- MINIMUM 4" OF TOPSOIL IN ALL LANDSCAPE BEDS.
- MINIMUM 2" OF MULCH IN ALL LANDSCAPE BEDS.
- ALL AREAS TO GET SEEDING PER SHEET ESO-4, UNLESS OTHERWISE DIRECTED IN FIELD PER MDE INSPECTORS.



LEGEND

- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SEWER CLEAN OUT
- PROPOSED LIGHT
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN CATCH BASINS
- PROPOSED STORM DRAIN CATCH BASINS
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- EXISTING ROAD SIGN
- PROPOSED ROAD SIGN
- PROPOSED STREET SIGN
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- EXISTING PAVEMENT/CURB/CONCRETE TO BE REMOVED
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN TO BE REMOVED
- PROPOSED PAVEMENT MARKING
- EXISTING PROPERTY BOUNDARY
- ADJACENT PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- EXISTING BUILDING
- PROPOSED STORM DRAIN
- PROPOSED PROPERTY LINE
- CORPORATE LIMIT
- SILT FENCE/LIMIT OF DISTURBANCE
- PROPOSED BUILDING
- BUILDING SET BACK LINE
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- PROPOSED ESD FACILITY
- PROPOSED SWALE
- SOILS LINE
- EXISTING WOODS TO REMAIN
- EXISTING WOODS TO BE REMOVED
- PROPOSED WOODS LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED SWALE CENTERLINE
- EXISTING FENCE
- PROPOSED DRAINAGE EASEMENT
- PROPOSED BIO MEDIA
- EXISTING PAVING
- EXISTING PAVING TO BE REMOVED
- PROPOSED PAVING
- PROPOSED CONCRETE
- EXISTING CONCRETE
- EXISTING CONCRETE TO BE REMOVED
- RIPRAP



COMPREHENSIVE DEVELOPMENT PLAN

OVERALL SITE PLAN

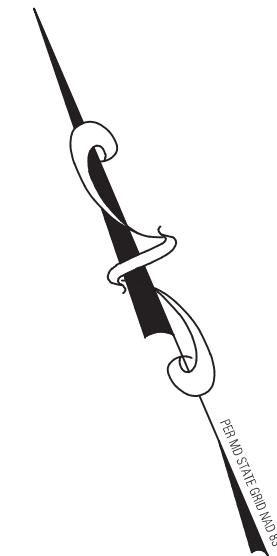
VILLAGE AT SALISBURY LAKE

ROAD NAME: ST ALBANS DRIVE, CIVIC AVE & GLEN AVENUE
FOR: ELU DELUCA SALISBURY APT, LLC
SALISBURY ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

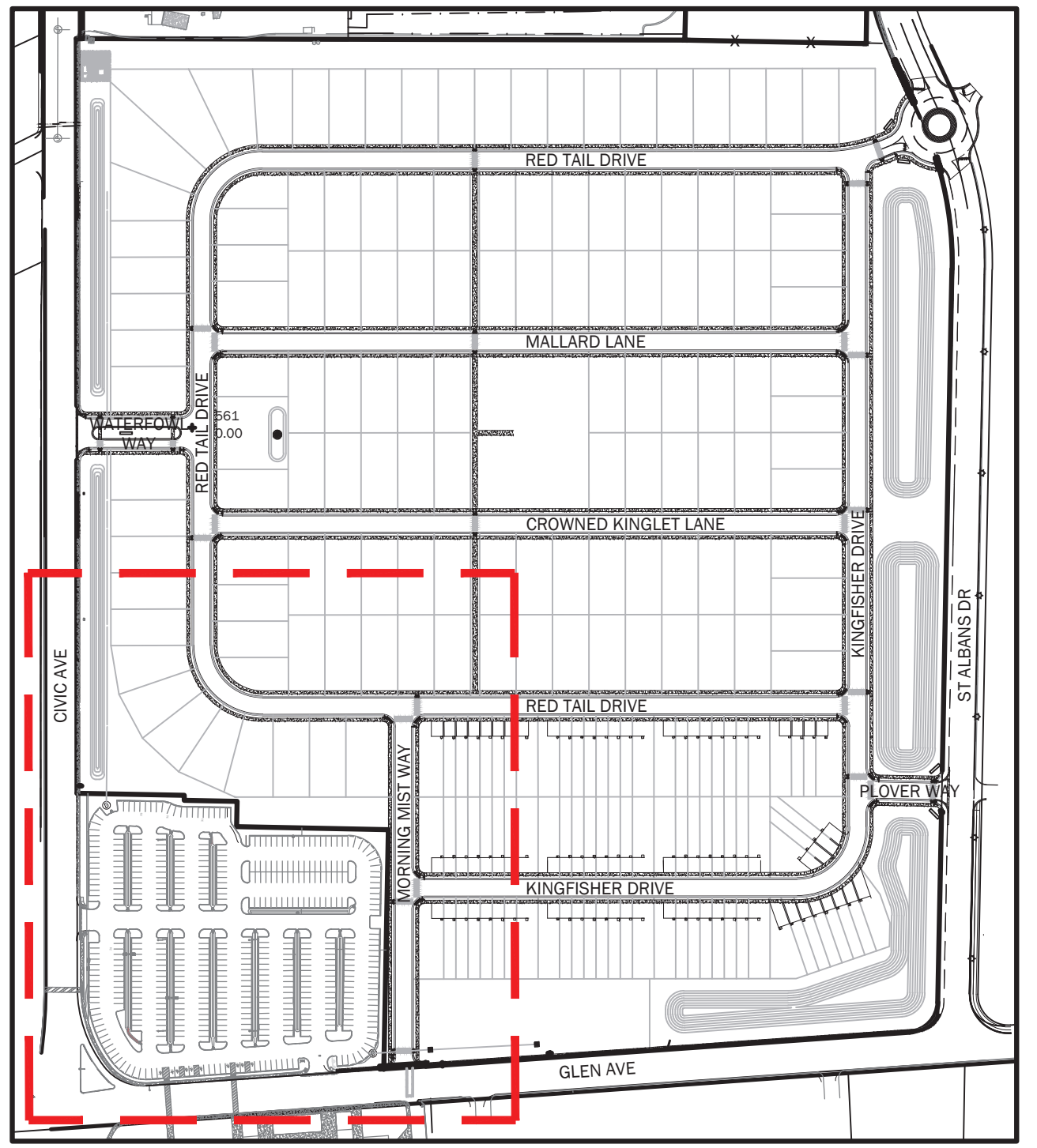
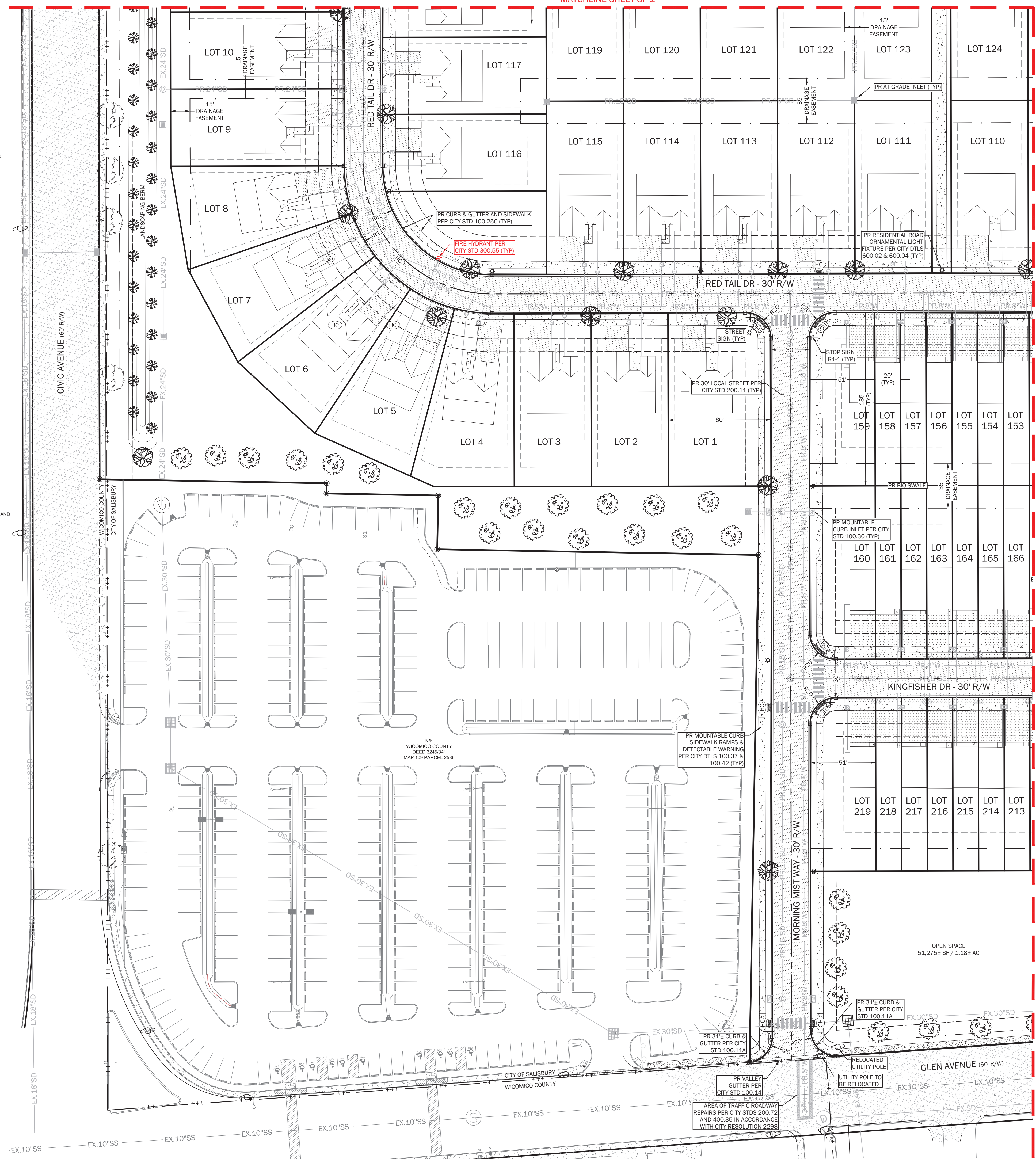
SCALE: 1" = 150'

DATE: 05/18/23
DRAWN BY: RBA
CHECKED BY: JWB
DATE: 05/18/23
SCALE: 1" = 150'



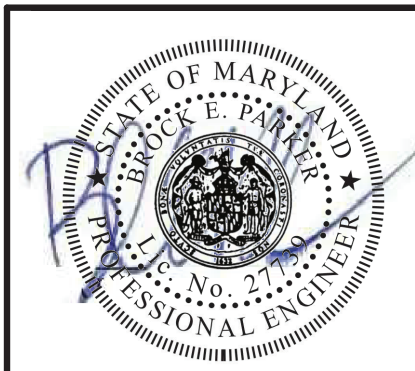


NF
WICOMICO COUNTY MARYLAND
DEED 2345241
PLAT 1653
MAP 109 PARCEL 2586

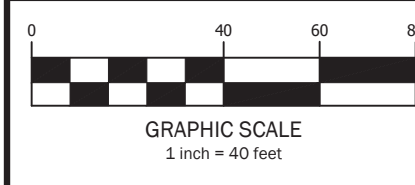


SITE KEY MAP
SCALE: 1" = 250'

MATCHLINE SHEET SP-4



SP-5

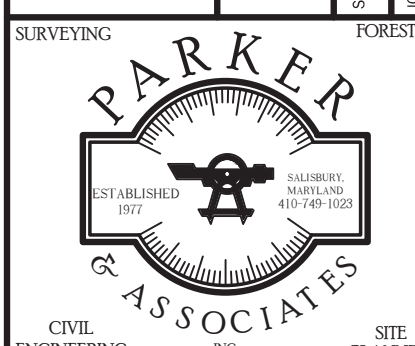


REVISIONS	DATE	BY

COMPREHENSIVE DEVELOPMENT PLAN

SITE PLAN SOUTH WEST VILLAGE AT SALISBURY LAKE

ROAD NAME: ST ALBANS DRIVE, CIVIC AVE & GLEN AVENUE
FOR: ELU DELUCA SALISBURY APT, LLC
SALISBURY ELECTION DISTRICT, CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND



JUN 05, 2023 3:03pm



Civic Ave



CIVIC AVE





Civic Ave



Infrastructure and Development Staff Report

July 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Salisbury Town Center
Applicant: Parker & Associates, Inc. on behalf of Salisbury Town Center Apartments, LLC
Project No.: 22-033
Nature of Request: Preliminary Certificate of Design and Site Plan Approval
Location of Property: Tax Map: 0107, Grids: 0014 and 0020, Parcels: 1066, 1071 and 1074, 1075, 1076, 1077, 1078, 1079
Existing Zoning: Central Business District

II. SUMMARY OF REQUEST:

The applicant is requesting a Preliminary Certificate of Design and Site Plan approval for the Salisbury Town Center mixed use project (**Attachment 1**). The project consists of 222-unit apartments, a parking garage, and commercial space. The site plan and building elevations are shown in **Attachment 2**.

III. HISTORY:

No known approval history by the Planning Commission for the parcels.

IV. DESCRIPTION OF PROPERTY:

The properties are 3.70 acres in size and are currently parking lots; 1, 11, and 15. The property is in the Downtown Historic District and the project is subject to Historic District Commission guidelines and approval. In addition, the property is also in the Intensely Developed Area (IDA) of the Chesapeake Bay Critical Area.

V. DESCRIPTION OF SURROUNDING AREA/NEIGHBORHOOD:

The surrounding area consists of Central Business District, Riverfront Redevelopment, General Commercial, and Hospital zoning districts. The property is bordered by Camden



City of Salisbury

John "Jack" R. Heath, Mayor

St, W Market St, and N Circle St. The Downtown area consists of residential, commercial retail and services, and institutional uses.

VI. PLANNING COMMENTS:

The permitted density is 40 units/acre and the proposed density for the project is 60 units/acre. A special exception from the Board of Appeals will be required to achieve the desired density.

The project includes a 450-space public parking garage that will have access to Camden St and Circle Ave.

Landscape and streetscape plans have been provided on Sheets 4-7 of **Attachment 2** and is subject to further review by the Department of Infrastructure and Development and the Critical Area Commission. Staff has requested comments from the Critical Area Commission. The project reduces the existing impervious area from 3.94 acres to 3.59 acres while adding more public green space and upgrading streetscapes to City standard.

A traffic impact study was not provided at this time. Staff is requesting a study be submitted and reviewed prior to final approval by the Planning Commission.

At the May 28, 2023 meeting, the Historic District Commission approved the materials, massing, and layout. The Certificate of Approval is provided in **Attachment 3**. The development is subject to further Historic District Commission review and approval.

The applicant has not requested approval of any signage at this time.

Comments from the Department and all other applicable agencies shall be addressed prior to final approval by the Planning Commission

VII. RECOMMENDATION:

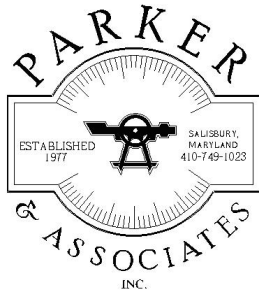
The Planning Staff recommends approval of Preliminary Certificate of Design and Site Plan approval, subject to the following conditions:

1. Obtain a Special Exception for a density increase from the Board of Zoning Appeals prior;
2. Obtain all necessary approvals from the Historic District Commission;



City of
Salisbury
John "Jack" R. Heath, Mayor

3. Provide a Traffic Impact Study;
4. Exterior signage shall be subject to Planning Commission review and approval and;
5. The project is subject to further review and approval by the City Department of Infrastructure and Development, City Fire Marshal, and other applicable agencies.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

City of Salisbury
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

04/4/2023

Attn: Jessica Crenshaw
Ref: Salisbury Town Center Comprehensive Site Plan

Dear Jessica,

Attached hereto, please find our proposed comprehensive site plan for the Salisbury Town Center Mixed Used Development project. It is the intent of this submittal to respectfully seek approval of this plan, in accordance with the zoning code, so that we may finalize engineering and development plans based upon the confidence that this is acceptable to the commission.

Salisbury Town Center Apartments is a 222-unit luxury apartment and retail/commercial community in three buildings connected by pedestrian bridges and with direct access to the new city garage. The tenants will be able to park in the new garage and safety and or out the weather walk to his or her apartment in any of the buildings. It is designed to be a non-car-oriented project where tenants can walk and/or bike to the restaurants or businesses in the city or across the street to the hospital. We believe we can be an economic development instrument by having modern housing that will appeal to new doctors and nurses that the Regional Medical Center needs. There will be commercial space available for a restaurant with frontage on the new Unity Plaza that the City is ready to start.

There will be numerous amenities including a leasing center with party facilities, gathering space with a pool table and TV's, a fitness center with kids' playroom, business center, outside swimming pool with barbecue grills and eating spaces, dog park, bike storage and individual storage lockers will be available. Each lobby will have package lockers for Amazon deliveries for 24 hours a day pick up. We'll have one bedroom, one bath units approximately 800 square foot starting at \$1,795, two-bedroom, two bath units, app 1200 square feet starting at \$2,100 and three-bedroom three bath units appropriately 1400 square starting at \$2,495. The total economic effect of this project will be upwards of \$70,000,000.

This project is proposed to be served by public water and sewer, with private trash collection. Stormwater management will be provided in accordance with the State of Maryland's stormwater ordinance for redevelopment of urban projects. Critical areas will also be satisfied to the maximum extent practicable. As the plans indicate, all frontages of the project will be upgrading the streetscapes with new walks, pavers, landscaping, lighting, benches, and bike racks to match the roads which were recently rebuilt

ATTACHMENT 1

elsewhere in downtown Salisbury. We are confident that this upgrade will bring these streets in conformance with the city's desire for their streetscapes and match the rest of downtown.

Additionally, I would also like to respectfully request waivers of the community impact statement, the letter of financial capability, and of intent to proceed. The developer is quite anxious to proceed to construction and certainly has the desire and ability to proceed. The schedule for development is very expedited and must be, in order to take advantage of the Here is Home program.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

Sincerely,

A handwritten signature in black ink, appearing to read 'BEP', with a long horizontal line extending to the right.

Brock E. Parker, PE, RLS, QP
528 Riverside Drive
Salisbury, MD 21801
Phone: 410-749-1023
Fax: 410-749-1012

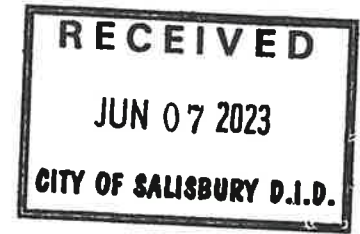
6/9/23



PO BOX 490
Joppa, MD 21085
P: 410-679-1130

#22-033

City of Salisbury
Department of Infrastructure & Development
125 N. Division Street
Salisbury, MD 21801



To Whom it May Concern,

Introducing Salisbury Town Center Apartments, a visionary development that redefines luxury living and fosters a vibrant community experience. Nestled in the heart of the city, this remarkable project encompasses three interconnected buildings, seamlessly blending residential and commercial spaces. With direct access to the new city garage and a focus on pedestrian-friendly design, Salisbury Town Center Apartments offers a unique, non-car-oriented living experience.

Imagine a world where tenants can effortlessly park their vehicles in the state-of-the-art garage, shielded from inclement weather, and stroll leisurely to their apartments through charming pedestrian bridges. This meticulously planned layout ensures convenience, safety, and a true sense of community.

Beyond its architectural splendor, Salisbury Town Center Apartments serve as an economic catalyst, poised to attract the very best medical professionals to the region. Recognizing the growing needs of the Regional Medical Center, our project aims to provide modern, upscale housing that will captivate and entice new doctors and nurses. With our prime location just steps away from the hospital and close proximity to the city's bustling restaurants and businesses, our community will truly be at the epicenter of convenience and opportunity.

But the allure of Salisbury Town Center Apartments doesn't end there. We've thoughtfully curated a plethora of amenities to enrich the lives of our residents. Picture yourself stepping into the inviting leasing center, complete with party facilities, a gathering space adorned with a pool table and high-definition TVs, and a fully-equipped fitness center that boasts a dedicated kids' playroom. For those who need a space to work or conduct business, our sophisticated business center provides a professional setting.

Embracing the spirit of community and leisure, we've crafted an outdoor oasis featuring a refreshing swimming pool, complete with barbecue grills and inviting eating spaces. For our four-legged residents, a dedicated dog park awaits, offering a safe and enjoyable environment. Additionally, we provide ample bike storage to encourage eco-friendly transportation and individual storage lockers for added convenience. With the ever-growing prevalence of online shopping, each lobby will also feature package lockers, ensuring 24/7 access for Amazon deliveries.

6/9/23



PO BOX 490
Joppa, MD 21085
P: 410-679-1130

Our range of thoughtfully designed apartment units caters to diverse needs and lifestyles. From the elegant one-bedroom, one-bath units spanning approximately 800 square feet, starting at \$1,795, to the spacious two-bedroom, two-bath units encompassing around 1,200 square feet, starting at \$2,100, and the expansive three-bedroom, three-bath units measuring approximately 1,400 square feet, starting at \$2,495, there's a perfect space for everyone.

The impact of the Salisbury Town Center Apartments extends far beyond its walls. With an estimated economic effect surpassing \$70,000,000, this project is poised to invigorate the local economy, creating jobs and fostering growth. By establishing a thriving hub of modern living and community engagement, we aim to attract a wave of investment, talent, and prosperity to the region.

Salisbury Town Center Apartments is more than just a development; it's a visionary masterpiece that embraces the future of urban living. Come and experience the epitome of luxury, convenience, and community in the heart of our vibrant city. Together, let's redefine the way we live, work, and thrive.

Sincerely,

A handwritten signature in blue ink, appearing to read "Elijah Laikin", with a long horizontal stroke extending to the right.

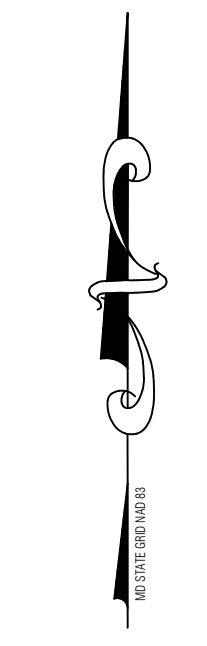
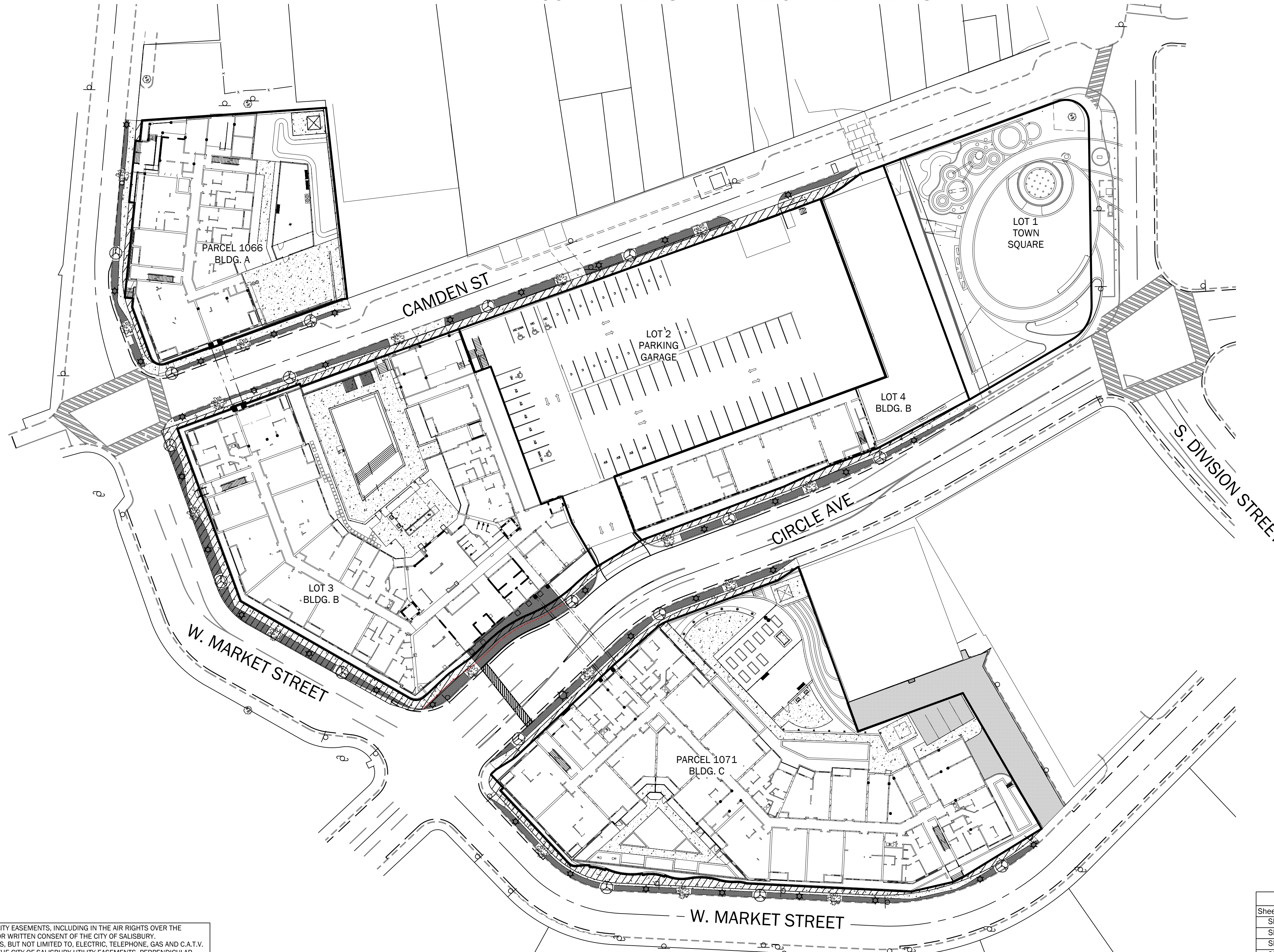
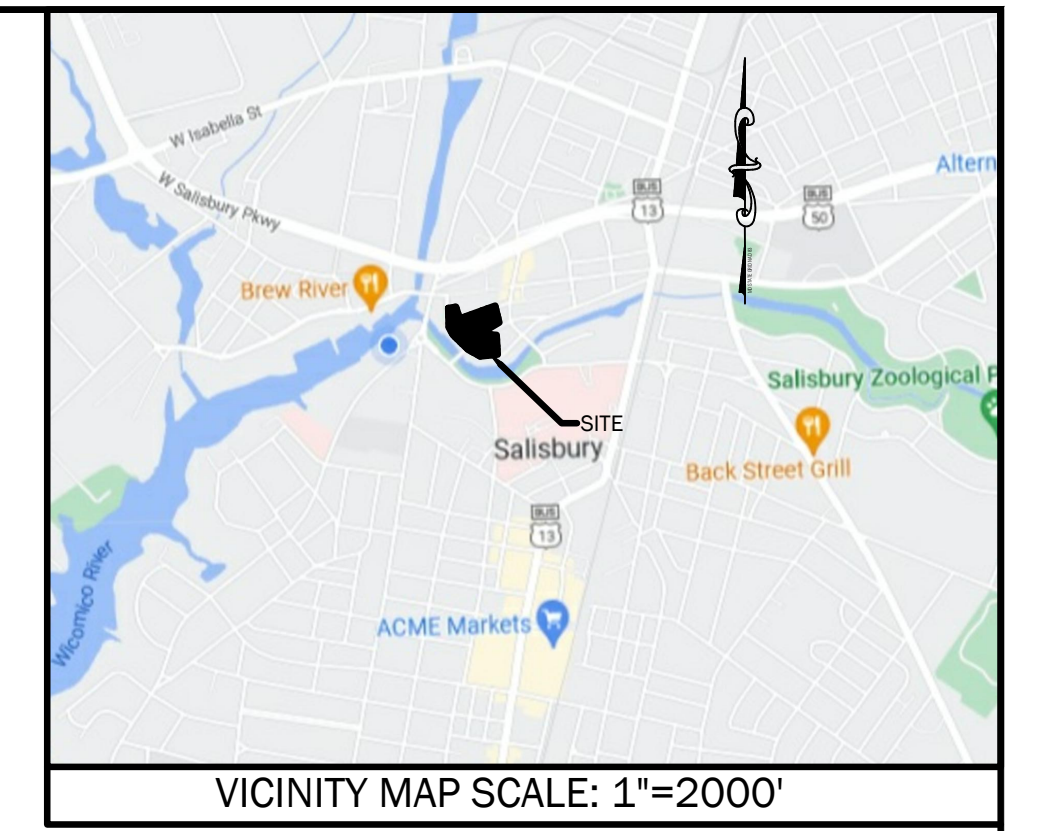
Elijah Laikin, Partner

Larrin Management, LLC

"We don't just build apartments, we build community"

SALISBURY TOWN CENTER

SALISBURY, MD COMPREHENSIVE DEVELOPMENT PLANS



LEGEND

- IRON ROD & CAP FOUND
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ PROPOSED WATER METER
- ⊙ PROPOSED INLET
- ⊙ PROPOSED NYLOPLAST STRUCTURE
- ⊙ PROPOSED STORM DRAIN MANHOLE
- PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EX.SS EXISTING SEWER MAIN
- EX.SD EXISTING STORM DRAIN
- EX.W EXISTING WATER MAIN
- EX.GR EXISTING GRADE
- PR.8"W PROPOSED WATER LINE
- PR.8"SS PROPOSED SEWER LINE
- PR.SD PROPOSED STORM DRAIN
- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK

GENERAL NOTES

- THE PROPERTY SHOWN HEREON SHALL BE ACQUIRED AND DEVELOPED BY: SALISBURY TOWN CENTER APARTMENTS LLC, C/O T. KEVIN CARNEY, THOMAS BUILDERS INC, 11526 PEBBLECREEK DRIVE, MD 211093, KEVIN@THOMASBUILDERSINC.COM, 410-591-5337
- DEED REFERENCE: 878/632, 583/72, 1023/644, 704/410, 1087/800
- TOTAL AREA OF PROPERTY = 3.70 ± ACRES
- THE PRESENT ZONING OF THIS PROPERTY IS: CENTRAL BUSINESS DISTRICT
- THIS PROPERTY IS LOCATED WITHIN G.P.R. MANAGEMENT ZONE A
- THE CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1/S1
- ALL FUTURE CONSTRUCTION SHALL CONFORM TO THE CITY OF SALISBURY CODE IN EFFECT AT THE TIME OF CONSTRUCTION.
- THIS PROPERTY IS SHOWN ON F.I.R.M. COMMUNITY PANELS #24045C0251E DATED 8/17/2015, LOCATED IN ZONE AE, FLOODWAY AREA AND ZONE X, AREA OF MINIMAL FLOODING.
- THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY ENCUMBRANCES, RESTRICTIONS, EASEMENTS AND/OR RIGHTS-OF-WAY THAT MIGHT BE REVEALED BY A THOROUGH TITLE SEARCH.
- THIS PROJECT IS INTENDED TO BE SERVED BY PRIVATE SEWER, PUBLIC WATER, AND PRIVATE TRASH COLLECTION.
- THIS PROPERTY IS SHOWN ON CITY MAP 128.
- PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL GRASS CUTTING WITHIN THE PUBLIC RIGHT OF WAY AND OR EASEMENTS ALONG THE FRONTAGE OF OR THROUGH THEIR PROPERTY. THE MAINTENANCE OF ALL LANDSCAPE MEDIANS OR ISLANDS LOCATED INSIDE OF CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE LOT OWNERS. THE MAINTENANCE OF ALL DRAINAGE FACILITIES LOCATED OUTSIDE THE CITY OF SALISBURY RIGHT OF WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNERS.
- CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION, SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE DETERMINED BY THE DIRECTOR OF DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT AND SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS OR THE OWNER'S ASSOCIATION. NO STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR

- ON THE CITY OF SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF SALISBURY. ALL NON-CITY UTILITIES, SUCH AS, BUT NOT LIMITED TO, ELECTRIC, TELEPHONE, GAS AND CAT.V, SHALL BE INSTALLED OUTSIDE THE CITY OF SALISBURY UTILITY EASEMENTS. PERPENDICULAR CROSSINGS WILL BE ALLOWED.
- IN THE EVENT THAT AN ERROR, OVERSIGHT, OR OMISSION BY PARKER & ASSOCIATES IS DISCOVERED OR SHOULD HAVE REASONABLY BEEN DISCOVERED DURING THE COURSE OF CONSTRUCTION, CLIENTS OR CONTRACTORS SHALL PROVIDE PARKER AND ASSOCIATES AN IMMEDIATE NOTICE IN ORDER TO PROVIDE THE OPPORTUNITY TO IMPLEMENT AN ACCEPTABLE SOLUTION TO REMEDY OR MINIMIZE THE IMPACTS OF THE DISCOVERED ISSUE. IF IMMEDIATE NOTICE IS NOT PROVIDED BY CLIENT OR CONTRACTOR TO PARKER & ASSOCIATES, THE CLIENT OR CONTRACTOR SHALL RELIEVE PARKER & ASSOCIATES OF ANY LIABILITY THAT MAY ARISE FROM SAID ERROR, OVERSIGHT, OR OMISSION.
- PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPT. OF INFRASTRUCTURE AND DEVELOPMENT. TRACER WIRE TO BE ADDED ABOVE ALL FORCE MAIN PIPES.
- ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER THAN THOSE SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- PRIVATE UTILITY MAINS REQUIRE INSPECTION BY CITY PLUMBING INSPECTOR.
- WATER AND SEWER TAPS MUST BE DONE BY A CURRENTLY APPROVED CITY OF SALISBURY WATER AND SEWER CONTRACTOR.
- VERTICAL DATUM IS BASED ON NAVD83. HORIZONTAL DATUM IS BASED ON NAD83.
- CONTRACTOR IS TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF BENCHMARKS, EXISTING FACILITIES, OR STRUCTURES DIFFER FROM THAT SHOWN HERE ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410-749-1023.
- THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION OF WORK.

Sheet Number	Sheet Title
SHEET-1	TITLE SHEET
SHEET-2	OVERALL SITE PLAN RENDERING
SHEET-3	COMPREHENSIVE SITE PLAN
SHEET-4	W. MARKET-STREETSCAPE
SHEET-5	W. MARKET-STREETSCAPE
SHEET-6	CAMDEN AVE-STREETSCAPE
SHEET-7	CIRCLE AVE-STREETSCAPE
SHEET-8	ELEVATIONS
SHEET-9	ELEVATIONS
SHEET-10	ELEVATIONS
SHEET-11	PROJECT RENDERINGS
SHEET-12	PROJECT RENDERINGS
SHEET-13	DETAILS
SHEET-14	DETAILS

LAND USE SUMMARY	
LIMIT OF DISTURBANCE:	4.18 ACRES
EXISTING SITE IMPERVIOUS:	3.94 ACRES
PROPOSED SITE IMPERVIOUS:	3.59 ACRES

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21739, EXPIRATION DATE: JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21183, EXPIRATION DATE: JANUARY 25, 2024.

BROCK E. PARKER, P.E., R.L.S. DATE: _____
 8228 RIVERSIDE DRIVE
 SALISBURY, MARYLAND 21801
 PHONE: (410) 749-1023 FAX: (410) 749-1012
 EMAIL: BROCK@PARKERANDASSOCIATES.ORG



SHEET-1

GRAPHIC SCALE
1 inch = 40 feet

REVISIONS	DATE	BY	CHK	TITLE

TITLE SHEET
TOWN CENTER

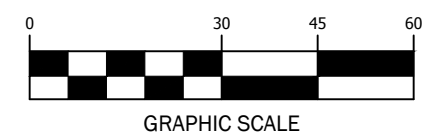
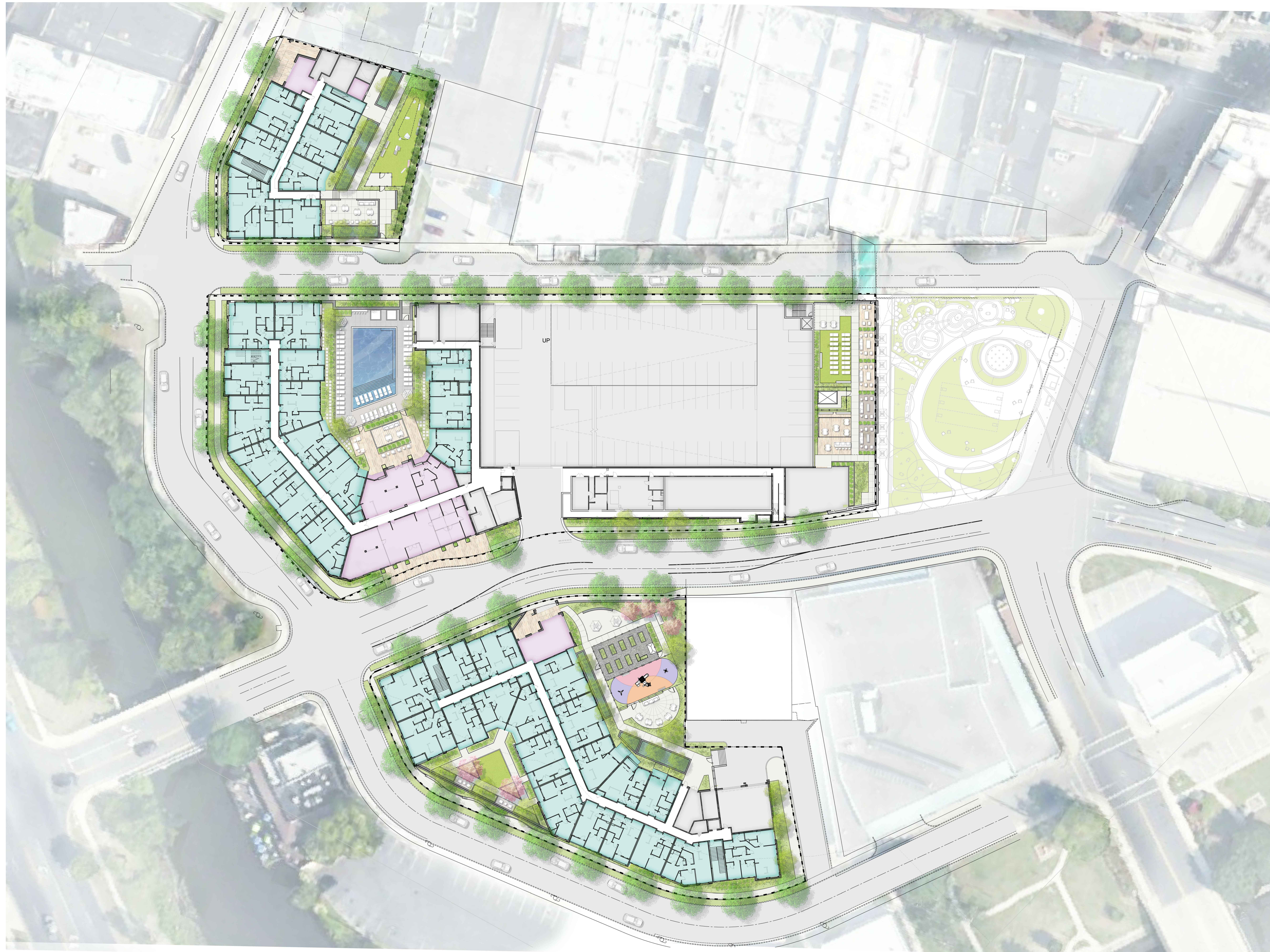
Road Name: CAMDEN STREET
 For: SALISBURY TOWN CENTER
 CITY OF SALISBURY, WICOMICO COUNTY, MD

DATE: 9/22/2022
 DRAWN BY: MAV
 CHECKED BY: J4
 SCALE: 1" = 40'
 SHEET: 107
 PARCEL: 1066, 1071, 1074-1079

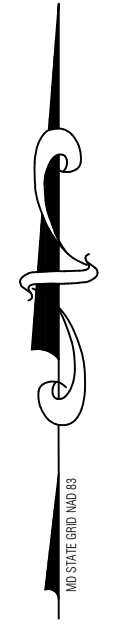
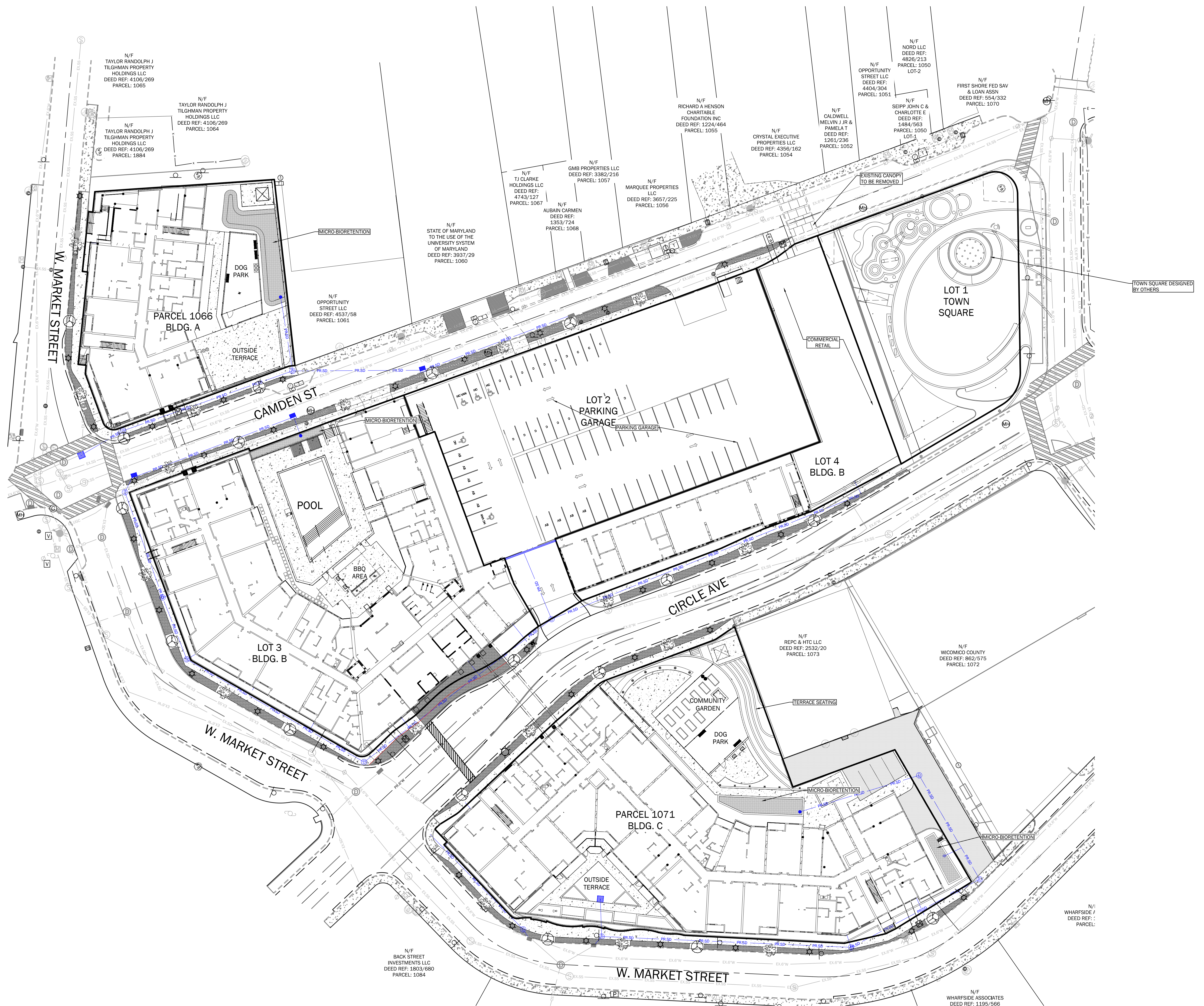
PARKER & ASSOCIATES
 CIVIL ENGINEERING AND SITE PLANNING

JUN 08, 2023 10:41am

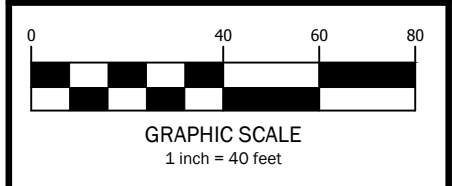
ATTACHMENT 2



SHEET-2
OVERALL SITE PLAN RENDERING

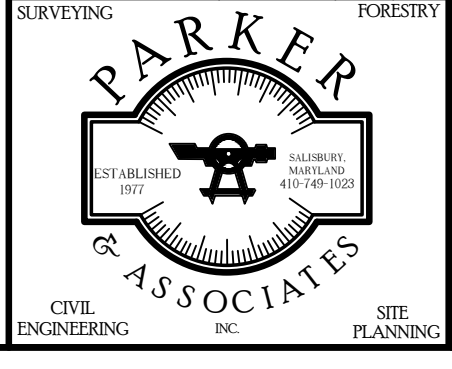


SHEET-3

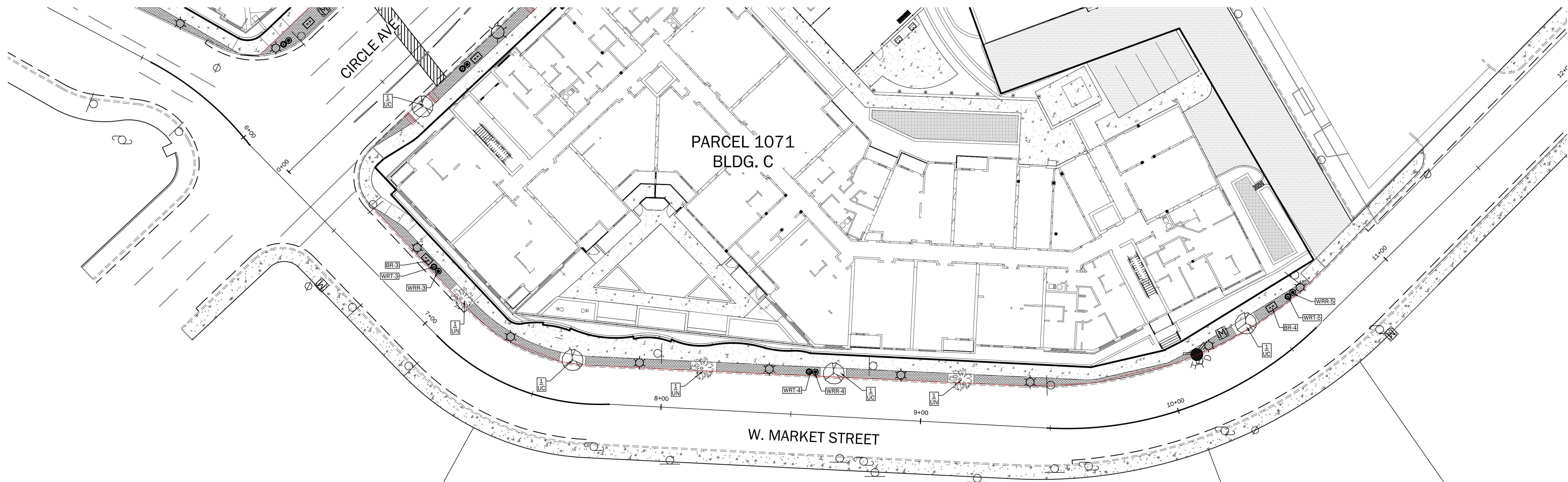


REVISIONS	DATE	BY	CHKD.	APP'D.

COMPREHENSIVE SITE PLAN	TOWN CENTER	DATE	9/22/2022	SCALE	1" = 40'
		PROJECT	1066, 1071, 1074-1079	DATE	10/17/24
Road Name: CAMDEN STREET For: SALISBURY TOWN CENTER CITY OF SALISBURY, WICOMICO COUNTY, MD		DATE	9/22/2022	SCALE	1" = 40'
PROJECT		DATE	9/22/2022	SCALE	1" = 40'



JUN 08, 2023 10:42am



BIKE RACK SCHEDULE		
BIKE RACK NO.	STATION	OFFSET
BR-3	6+82.96	17.80L
BR-4	10+54.56	17.36L

AMENITIES PLAN
SCALE: 1"=20'

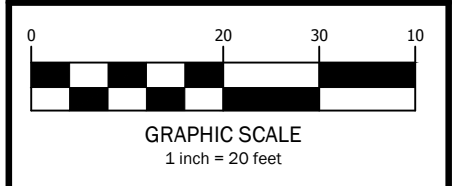
AMENITIES SCHEDULE			
AMENITY NO.	DESCRIPTION	STATION	OFFSET
WRT-3	TRASH RECEPTACLE	6+86.90	17.71L
WRR-3	RECYCLE RECEPTACLE	6+89.30	17.73L
WRT-4	TRASH RECEPTACLE	8+56.16	16.63L
WRR-4	RECYCLE RECEPTACLE	8+58.56	16.66L
WRT-5	TRASH RECEPTACLE	10+63.11	16.17L
WRR-5	RECYCLE RECEPTACLE	10+65.51	16.01L

LEGEND

- VICTOR STANLEY EVA BENCH
48" LENGTH (BE)
- BIKE RACK (BR)
- RECYCLE RECEPTACLE (WRR)
- TRASH RECEPTACLE (WRT)
- ULMUS X 'NEW HORIZON'/ NEW HORIZON ELM (UN)
- ULMUS X 'NEW FRONTIER'/ AMERICAN ELM (UC)



SHEET-5



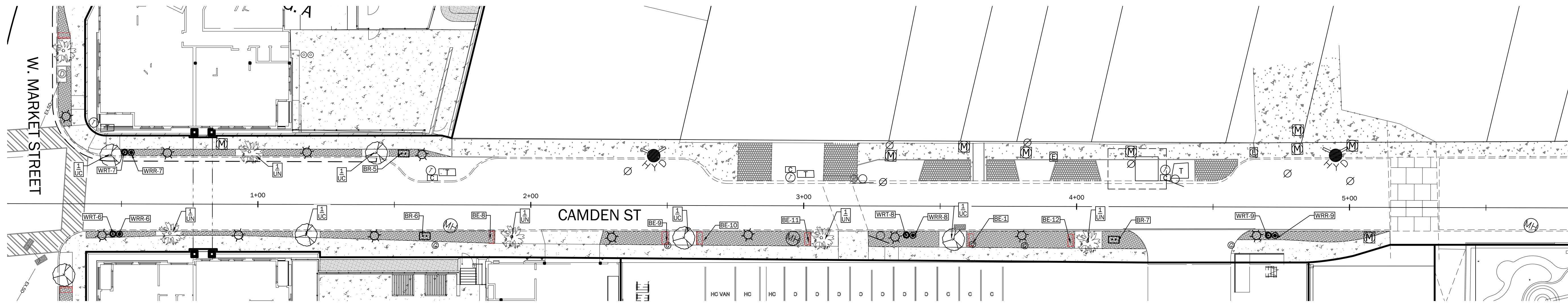
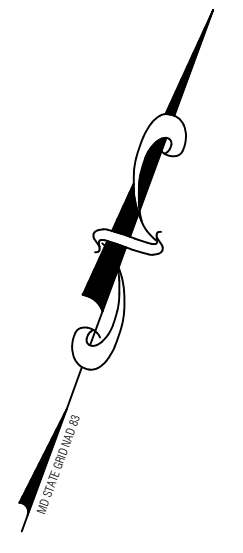
REVISIONS	DATE	BY	CHKD.

W. MARKET-STREETSCAPE TOWN CENTER

Road Name: CAMDEN STREET
For: SALISBURY TOWN CENTER
CITY OF SALISBURY, WICOMICO COUNTY, MD

DATE: 9/22/2022
SCALE: 1" = 20'
PROJECT: 1066, 1071, 1074-1079
SHEET: 107
JOB NO: 242828-PS-STREETSCAPE.DWG
DRAWN: MAV
CHECKED: [blank]
DATE: 14
SHEET: 24
PROJECT: W. MARKET 2





AMENITIES PLAN
SCALE: 1"=20'

BENCH SCHEDULE		
BENCH NO.	STATION	OFFSET
BE-8	1+85.76	12.32R
BE-9	2+49.13	12.08R
BE-10	2+61.83	12.08R
BE-11	3+01.39	11.91R
BE-12	3+97.66	12.59R

BIKE RACK SCHEDULE		
BIKE RACK NO.	STATION	OFFSET
BR-5	1+53.36	18.59L
BR-6	1+61.18	11.31R
BR-7	4+13.69	12.20R

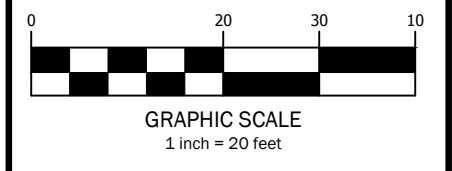
AMENITIES SCHEDULE			
AMENITY NO.	DESCRIPTION	STATION	OFFSET
WRT-6	TRASH RECEPTACLE	0+46.90	11.01R
WRR-6	RECYCLE RECEPTACLE	0+49.30	11.08R
WRT-7	TRASH RECEPTACLE	0+51.12	18.94L
WRR-7	RECYCLE RECEPTACLE	0+53.52	18.87L
WRT-8	TRASH RECEPTACLE	3+37.64	10.64R
WRR-8	RECYCLE RECEPTACLE	3+40.04	10.71R
WRT-9	TRASH RECEPTACLE	4+70.33	10.36R
WRR-9	RECYCLE RECEPTACLE	4+72.73	10.42R

LEGEND

- VICTOR STANLEY EVA BENCH
48" LENGTH (BE)
- BIKE RACK (BR)
- RECYCLE RECEPTACLE (WRR)
- TRASH RECEPTACLE (WRT)
- ULMUS X 'NEW HORIZON'/ NEW HORIZON ELM (LN)
- ULMUS X 'NEW FRONTIER'/ AMERICAN ELM (UC)



SHEET-6



REVISIONS	DATE	BY	CHK

CAMDEN AVE-STREETSCAPE TOWN CENTER

Road Name: CAMDEN STREET
For: SALISBURY TOWN CENTER
CITY OF SALISBURY, WICOMICO COUNTY, MD

DATE: 9/22/2022
SCALE: 1" = 20'

PROJECT: 1066, 1071, 1074-1-1079

DATE: 10/17/2022
SCALE: 1" = 20'



JUN 08, 2023 10:44am



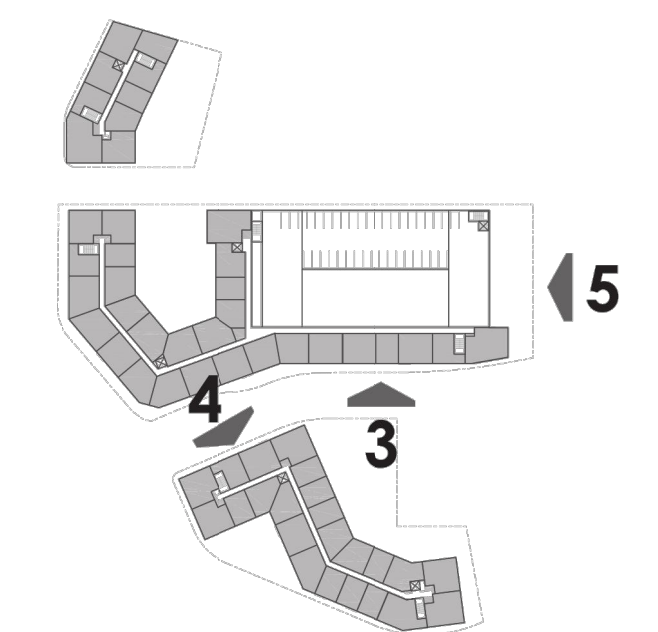
BUILDING B - EAST ELEVATION
1/32" = 1'-0"



RETAIL ELEVATION
1/32" = 1'-0"



BUILDING C - NORTH ELEVATION
1/32" = 1'-0"

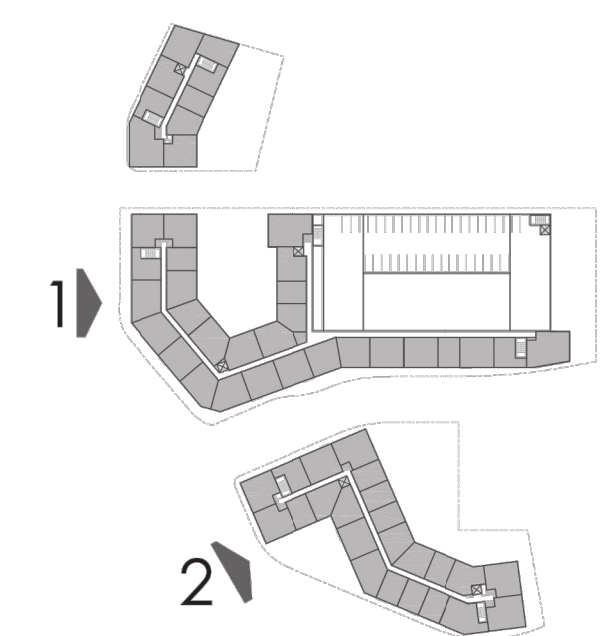




BUILDING A & B - SOUTH ELEVATION
 1/32" = 1'-0"



BUILDING C - SOUTH ELEVATION
 1/32" = 1'-0"





GARAGE WEST ELEVATION
1/32" = 1'-0"



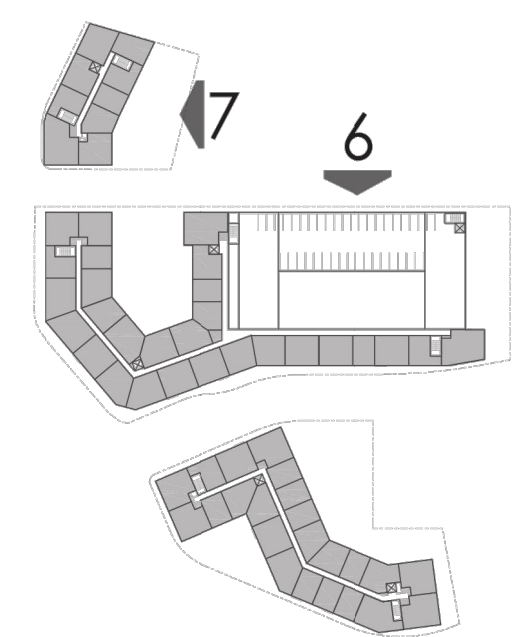
BUILDING B ELEVATION
1/32" = 1'-0"



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SALISBURY TOWN CENTER
SALISBURY, MARYLAND

ELEVATIONS
24 MAY 2023





SALISBURY TOWN CENTER
SALISBURY, MARYLAND

W. MARKET STREET
24 MAY 2023



SALISBURY TOWN CENTER
SALISBURY, MARYLAND

POOL AMENITY
24 MAY 2023



SALISBURY TOWN CENTER
SALISBURY, MARYLAND

CIRCLE AVE. AT RETAIL
24 MAY 2023



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SALISBURY TOWN CENTER
SALISBURY, MARYLAND

W. MARKET STREET AT CIRCLE AVE.
24 MAY 2023



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SALISBURY TOWN CENTER
SALISBURY, MARYLAND

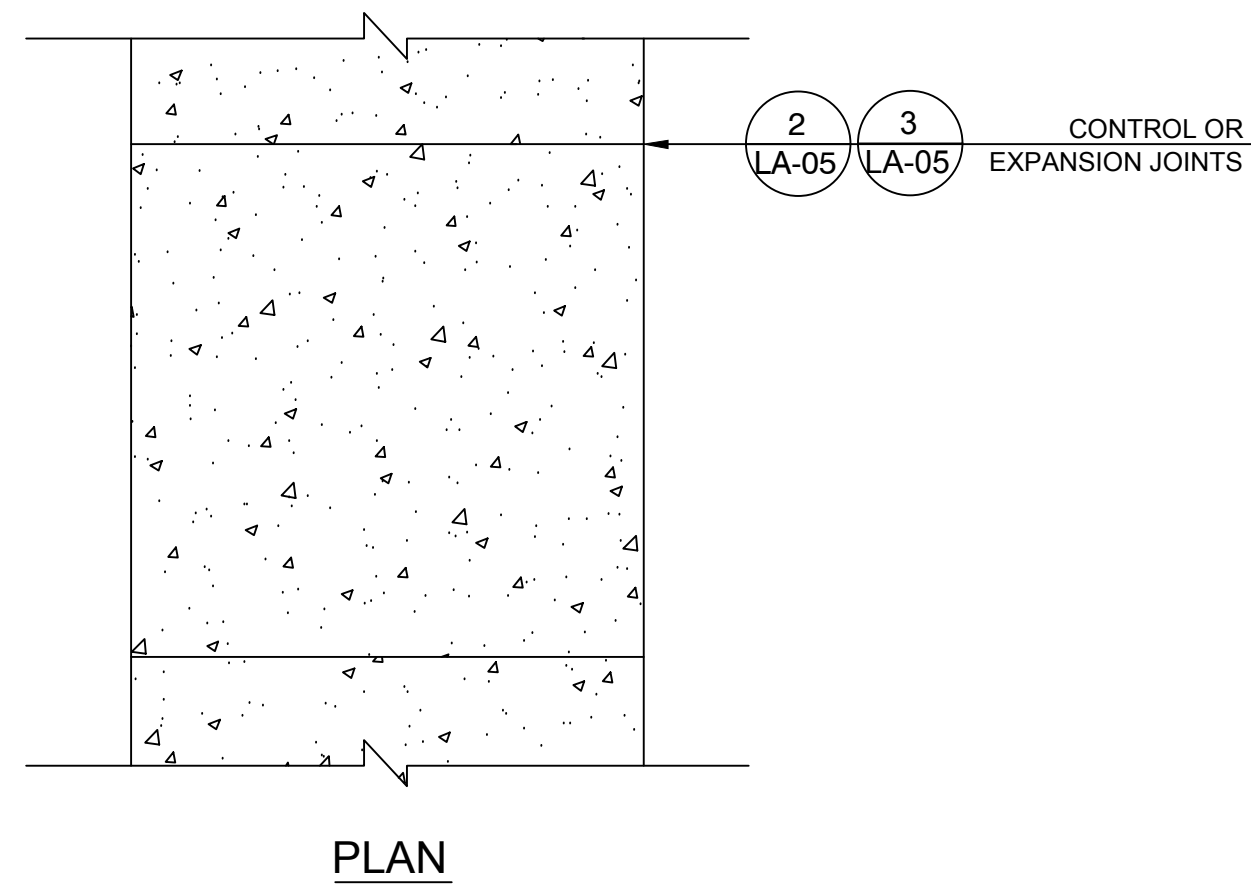
BUILDING B ENTRY
24 MAY 2023



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SALISBURY TOWN CENTER
SALISBURY, MARYLAND

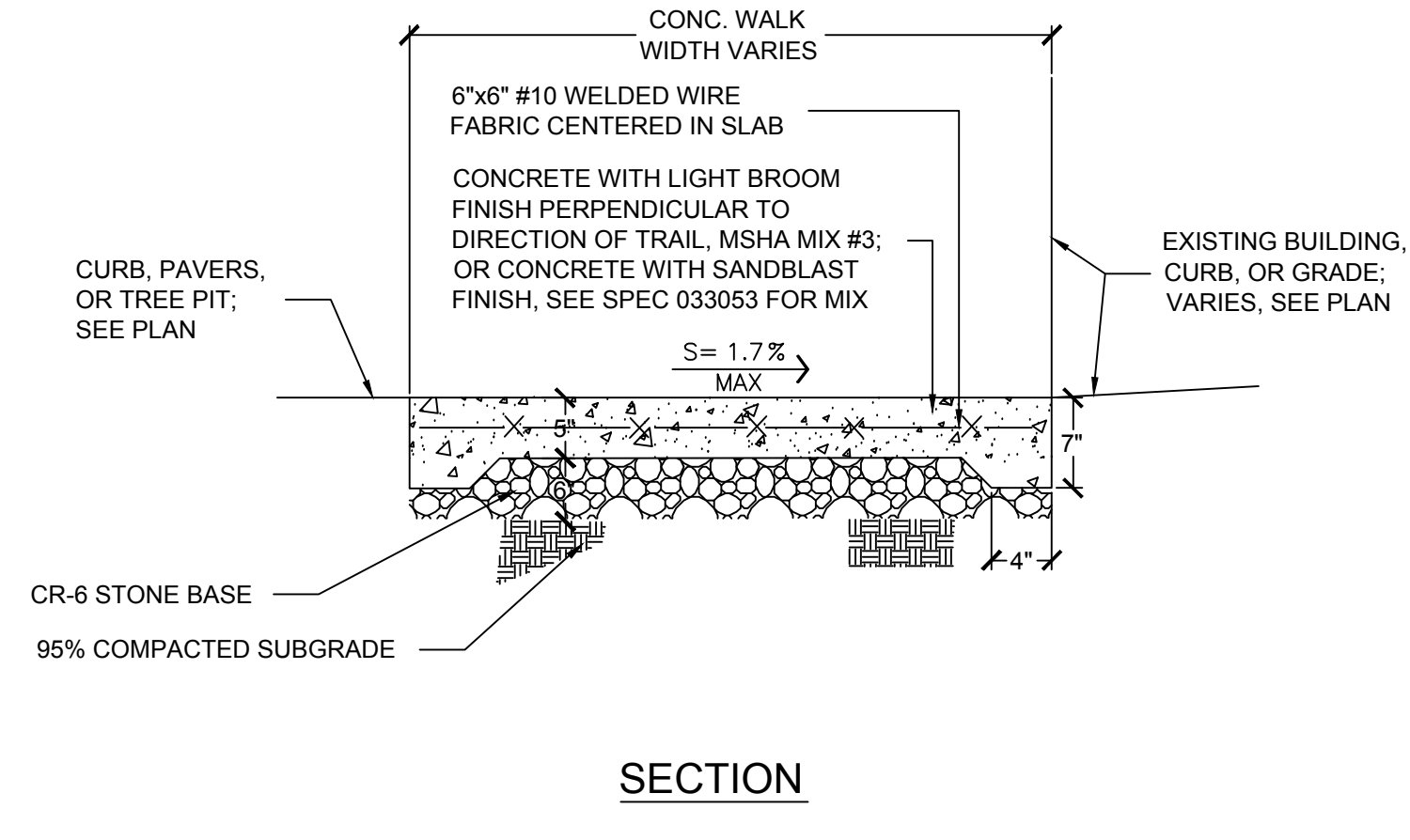
BUILDING B ENTRY
24 MAY 2023



PLAN

- NOTES:
1. ALL CONCRETE WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.7%.
 2. SEE DETAIL OF CONTROL AND EXPANSION JOINTS FOR ADDITIONAL INFORMATION

1 PEDESTRIAN GRADE CONCRETE PAVING
1" = 1'-0"



SECTION

- NOTES:
1. ALL CONCRETE WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1.7%.
 2. SEE DETAIL OF CONTROL AND EXPANSION JOINTS FOR ADDITIONAL INFORMATION

321313-20

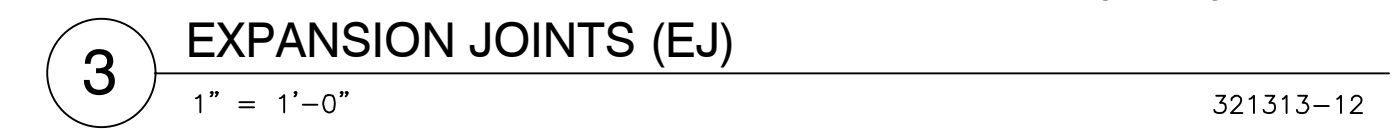
2 CONTROL AND SCORE JOINTS (CJ)
3" = 1'-0"



- NOTES:
1. LOCATE CJs 5'-0" APART.
 2. CHASE WITH A 45 DEGREE GRINDER AFTER THE SAW CUT AS SPECIFIED.

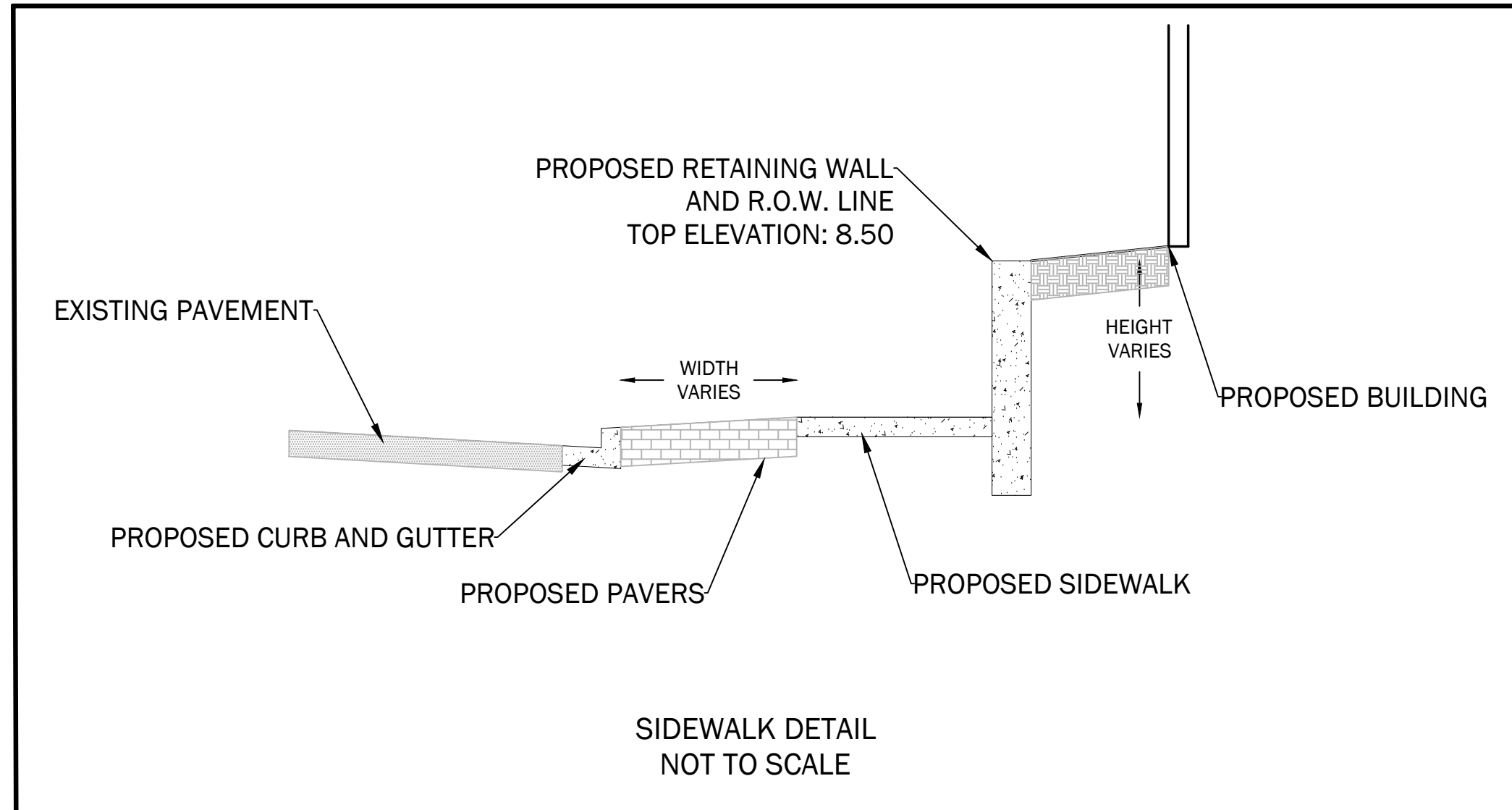
321313-11

3 EXPANSION JOINTS (EJ)
1" = 1'-0"

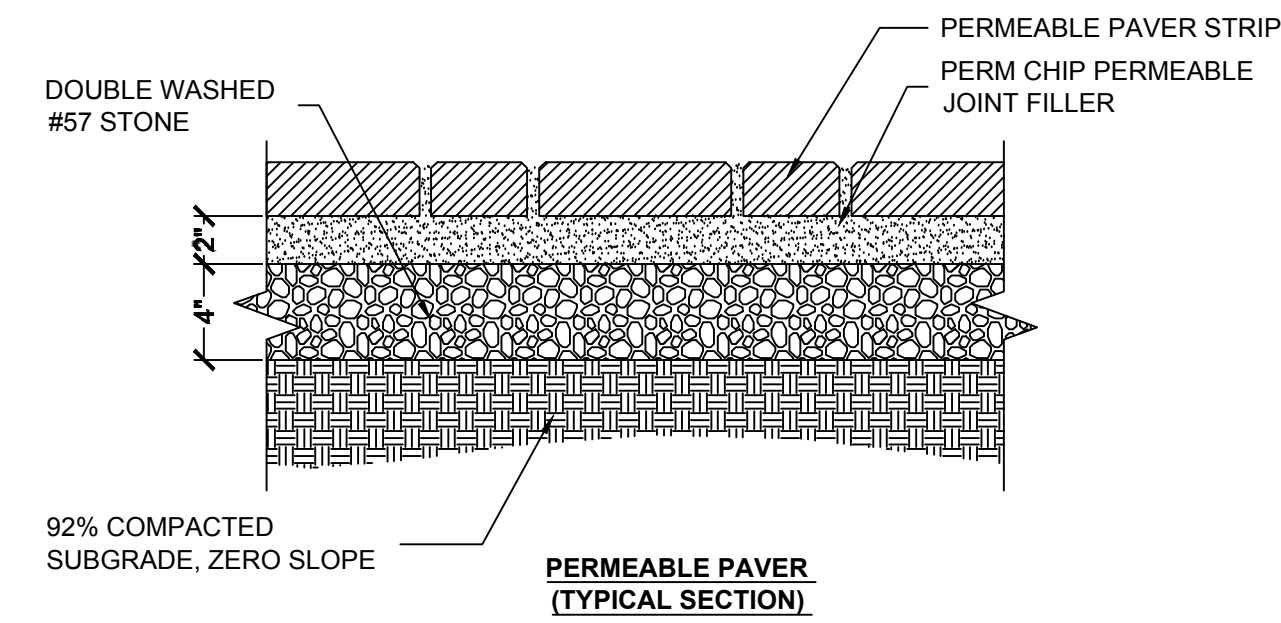


- NOTES:
1. PROVIDE EXPANSION JOINTS AS INDICATED ON PLAN.
 2. PROVIDE FULL RANGE OF SEALANT COLORS FOR APPROVAL BY OWNER
 3. CONSTRUCTION JOINT TO BE USED FOR CONCRETE POURED AT DIFFERENT TIMES TO PREVENT DIFFERENTIAL SETTLING

321313-12



SIDEWALK DETAIL
NOT TO SCALE

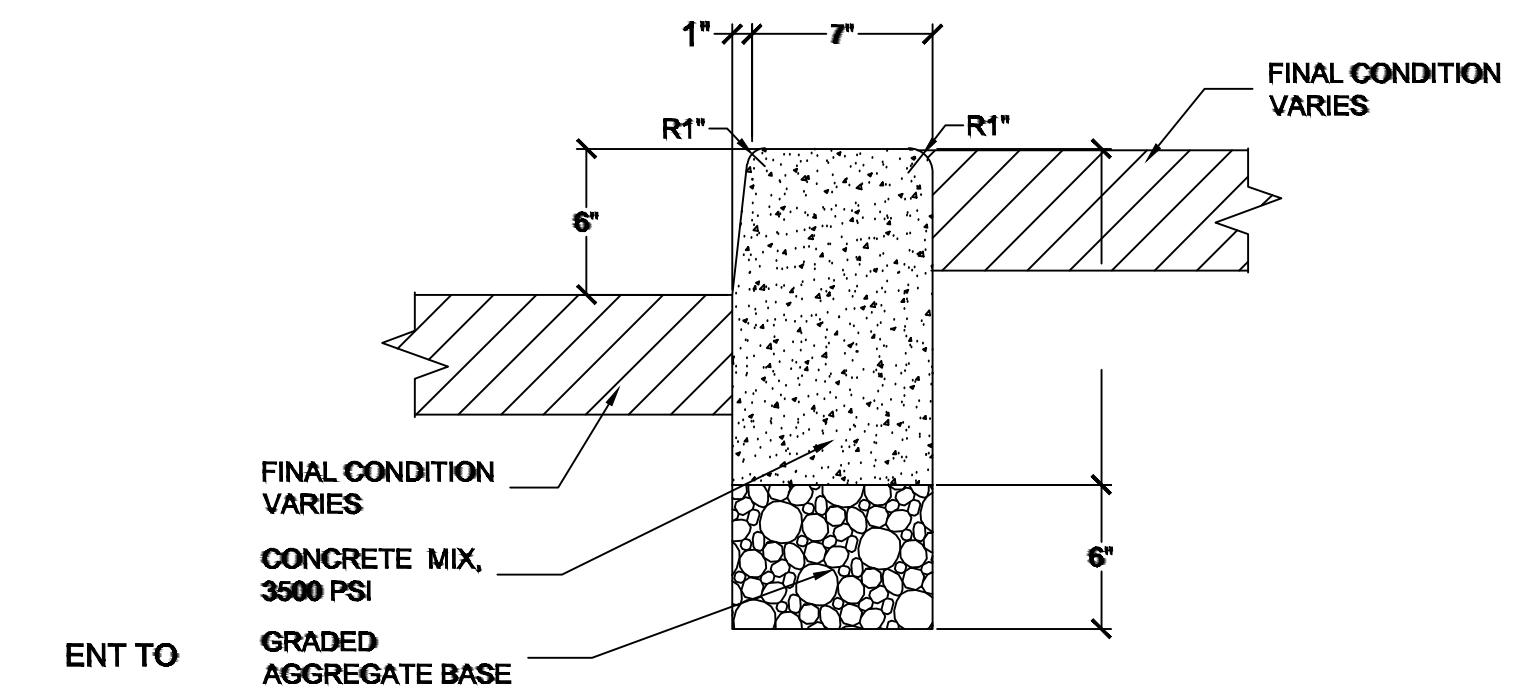


PERMEABLE PAVER
(TYPICAL SECTION)

- NOTES:
1. PAVER TO BE STORMPAVE ENGLISH EDGE CLAY PERMEABLE PAVEMENT SYSTEM FROM PINE HALL BRICK.
 - 2.
 3. PREFERRED COLORS: RED FULL RANGE (CONTRACTOR TO PROVIDE MOCK UP PANEL TO CONSTRUCTION MANAGER FOR APPROVAL BEFORE INSTALLATION).
 4. PAVER PATTERN: HERRINGBONE.
 5. CONTRACTOR TO INSTALL PAVERS PER MANUFACTURER'S SPECIFICATIONS.
 6. JOINT FILLER: SEK/SUREBOND PERM CHIP.
 7. FULL RANGE OF SEK/SUREBOND COLORS FOR PERM CHIP PERMEABLE JOINT FILLER TO BE PROVIDED TO CONSTRUCTION MANAGER FOR APPROVAL BEFORE PURCHASE OR INSTALLATION.

4 PERMEABLE PAVER
1 1/2" = 1'-0"

321443-09



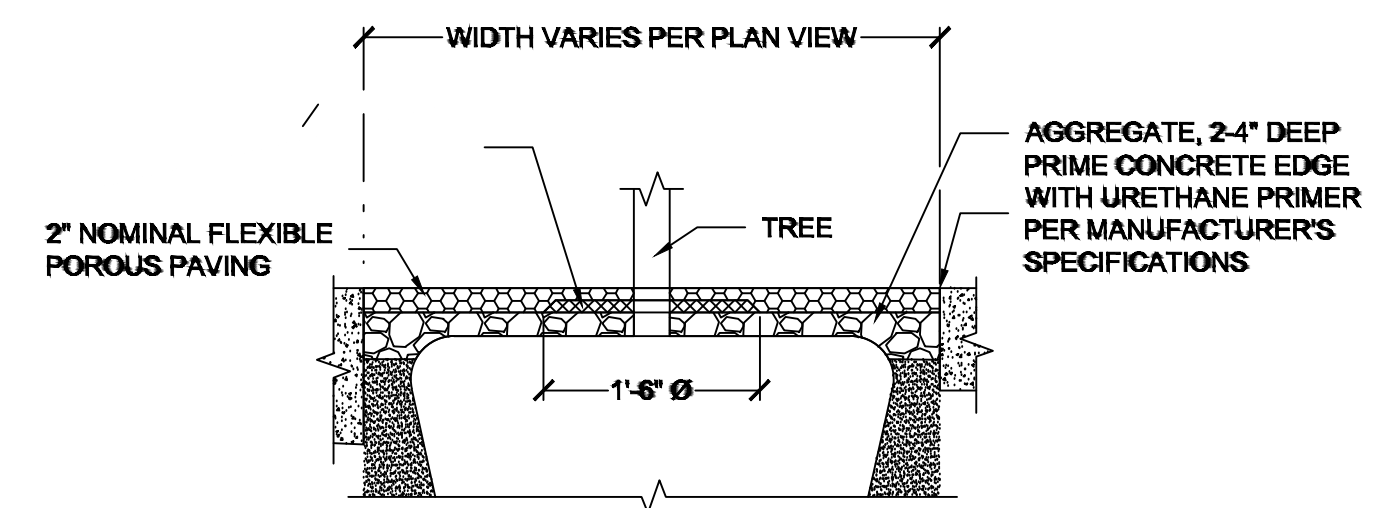
ENT TO

- NOTES:
1. WHENEVER A TRANSITION IS REQUIRED BETWEEN CURB SECTIONS, USE A 5' TRANSITION DISTANCE UNLESS OTHERWISE SHOWN ON THE GRADING PLAN
 2. CONSTRUCT EXPANSION JOINTS AT 10' INTERVALS (STD.) AT BEGINNING AND ENDS OF ALL CURVE P.O.T'S AT STRUCTURES AND AT MIDPOINT OF ALL CURB RETURNS, MAX. & MIN. DISTANCES SHALL BE 13' & 6' RESPECTIVELY. USE 1/2" PRE-FORMED EXPANSION JOINT FILLER, NON EXTRUDING. MANUFACTURE FULL LINE OF COLORS.
 3. REFER TO CITY OR SALISBURY DP&WT SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION, EXPANSION JOINT LOCATIONS, AND BREAKER BOND LOCATIONS

5 HEADER CURB
1 1/2" = 1'-0"

9-26

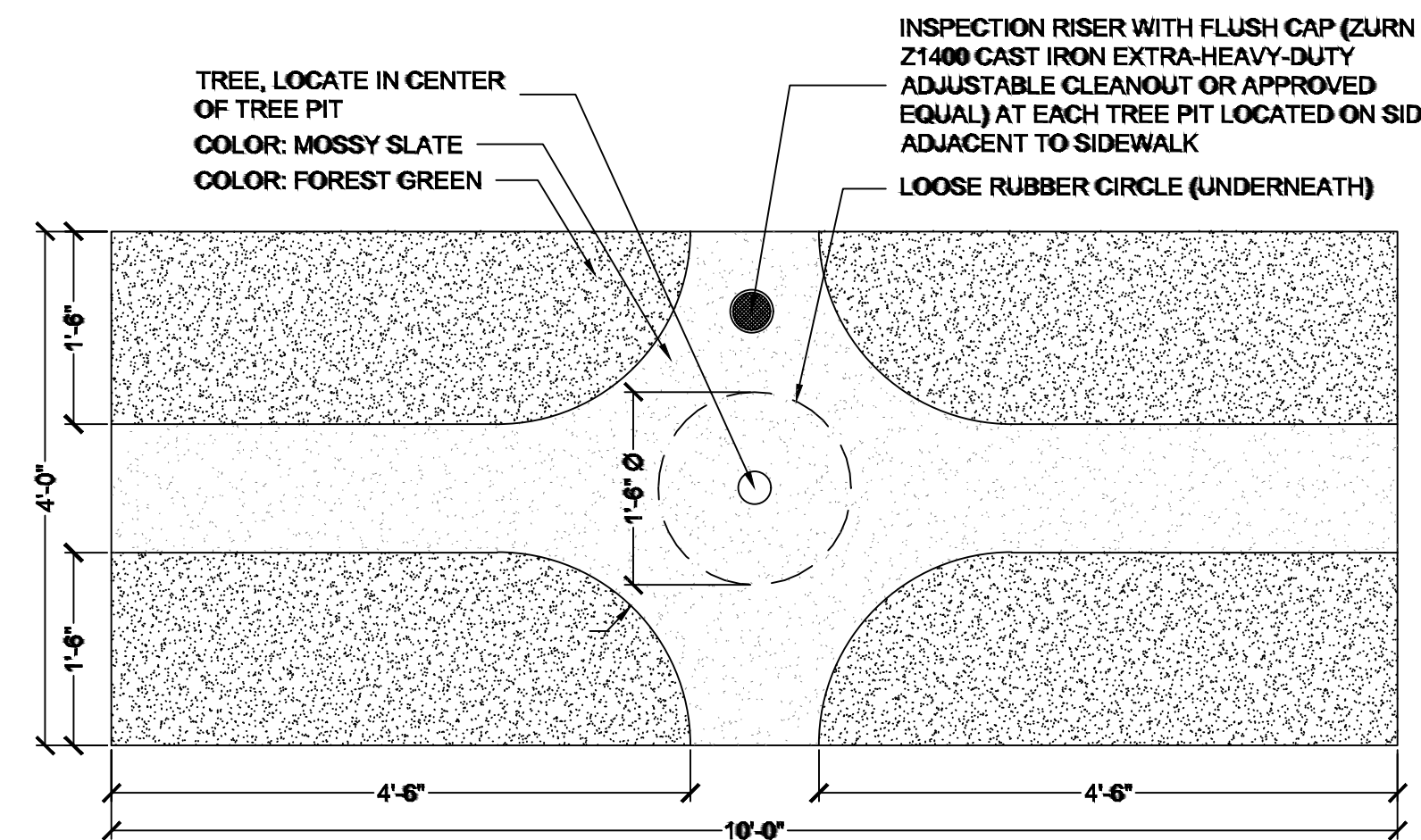
0330-27



- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS
 2. PROVIDE BEVELED EDGING, PER MANUFACTURER'S SPECIFICATIONS WHEN FLEXI-PAVE ABUTS GRASS AREAS
 3. CONTRACTOR TO PROVIDE A SAMPLE PANEL OF THE PATTERN FOR APPROVAL BY CONSTRUCTION MANAGER.
 4. CONTRACTOR TO PROVIDE THE FULL RANGE OF COLOR SAMPLES TO THE CONSTRUCTION MANAGER.

6 FLEXIPAVE TREE SURROUND
3/4" = 1'-0"

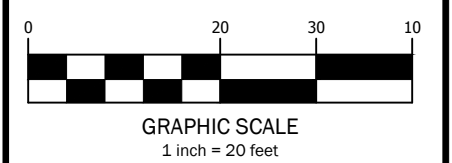
3210-22



3210-22



SHEET-13



NO.	DATE	DESCRIPTION

DETAILS TOWN CENTER	Road Name: CAMDEN STREET For: SALISBURY TOWN CENTER CITY OF SALISBURY, WICOMICO COUNTY, MD	DATE: 9/22/2022 DRAFTSMAN: MAY	SCALE: 1" = 20' SHEET NO.: 52428 PPS STREETS&S.DWG
	PROJECT: 1066, 1071, 1074-1079	DATE: 9/22/2022 DRAFTSMAN: MAY	SCALE: 1" = 20' SHEET NO.: 52428 PPS STREETS&S.DWG
	PROJECT: 1066, 1071, 1074-1079	DATE: 9/22/2022 DRAFTSMAN: MAY	SCALE: 1" = 20' SHEET NO.: 52428 PPS STREETS&S.DWG
	PROJECT: 1066, 1071, 1074-1079	DATE: 9/22/2022 DRAFTSMAN: MAY	SCALE: 1" = 20' SHEET NO.: 52428 PPS STREETS&S.DWG



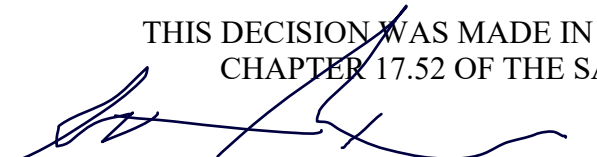
JUN 08, 2023 10:46am

Salisbury Historic District Commission

Certificate of Approval

Case # 23-08	Meeting Date: 5/24/2023	Address: <i>Parking Lots 1, 11 & 15 - Downtown</i>
Description of Work: New Construction - Massing, Layout and Materials		
Presenting Case: Agent – Michael Sullivan Developer – Brad Gillis		
Motion: <i>Commissioner Brenden Frederick</i>		Second: <i>Commissioner Jane Messenger</i>
Amendments to Proposal: <i>N/A</i>		
<p>Decision: Approved with the following conditions:</p> <ol style="list-style-type: none"> 1. The massing is approved as submitted. 2. The organizational layout is approved as submitted. 3. The materials are approved as submitted except the vinyl. The vinyl is addressed in condition 4. 4. The vinyl is subject to further review when the Commission reviews windows, doors, and other items related to the project. In the future application, the vinyl shall be smooth and not embossed with a wood grain, the horizontal runs shall be limited to prevent running vertical joints so it is continuous to a reveal or another material, the amount of vinyl relative to other materials shall not exceed the percentage submitted, and the product shall be of a commercial grade. 5. The parking garage materials were not reviewed by the Commission at this time. The parking garage shall require approval prior to construction. 6. Any conflicts of this decision with the Land Development Agreement shall require Commission approval addressing said conflicts. 		

THIS DECISION WAS MADE IN ACCORDANCE TO PROVISIONS OF
CHAPTER 17.52 OF THE SALISBURY MUNICIPAL CODE.



 SHDC Chairman

6/27/2023

Date



 SHDC Secretary

6/27/2023

Date

Every certificate of approval and any permit arising as a result thereof shall become invalid unless the work on the site authorized by such certificate of approval or permit is commenced within one year after its issuance, or if the work authorized by such certificate of approval or permit is suspended or abandoned for a period of one hundred eighty (180) days after the time the work is commenced. The commission is authorized to grant, in writing, one or more extensions of time, for periods not more than one hundred eighty (180) days each. The extension shall be requested in writing and justifiable cause demonstrated.



Recreational Cannabis in Maryland: What the County Must, May and Absolutely Cannot Do

What is and is not Cannabis

▶ **What is cannabis?**

- ▶ Cannabis is a plant with many names- marijuana, weed, pot, cannabis, hash- that can have psychoactive characteristics and is consumed for medical and non-medical (recreational) purposes. The cannabis plant has hundreds of chemical compounds, including cannabinoids and terpenes.

▶ **Is there a difference between "cannabis" and "marijuana"?**

- ▶ No. The new legislation replaces references to marijuana with "cannabis" in the Maryland Code. Either term refers to flowering plants in the genus Cannabis.

▶ **What is THC?**

- ▶ The cannabis plant produces more than 100 different cannabinoids, which are compounds that can have different effects on the mind and body. Tetrahydrocannabinol known as "THC" and cannabidiol known as "CBD" are the most common. THC is known for its psychoactive effects (a feeling of being high). There are different forms of THC, including delta-9-THC, traditionally found in most cannabis products. However, other forms of THC, such as delta-8-THC and delta-10-THC can also be found in cannabis plants and will be included in the regulated market as part of this legislation.

▶ **What is CBD?**

- ▶ CBD, or cannabidiol, is the second most prevalent cannabinoid in cannabis. Unlike THC, CBD does not cause a "high" or psychoactive effect by itself.

▶ **What is hemp?**

- ▶ Hemp refers to varieties of cannabis plants that contain 0.3% or less delta-9-THC. The hemp plant has various industrial uses, as well as can be made into consumable products derived from hemp. The new adult-use legislation regulates consumable and inhalable intoxicating hemp products with other cannabis products, while exempting non-intoxicating products, such as CBD edibles, lotions, and tinctures.

Why is this allowed?

During the 2022 General Election, Maryland voters approved a ballot referendum to allow use of cannabis by adults 21+ starting July 1, 2023.

During the 2023 legislative session, the General Assembly passed legislation (The Cannabis Reform Act) that provided a framework for implementing legal adult-use sales, including a licensing and taxation framework.

Effective July 1, a legal adult-use marketplace exists in Maryland

Definitions of Cannabis Production and Sales Terms

Alc. Bev Sec. 36-101

- ▶ (N) “CONSUMER” means an individual at least 21 years old who purchases cannabis or cannabis products for personal use by individuals at least 21 years old.
- ▶ (P) “DELIVERY SERVICE” means a cannabis licensee authorized to deliver cannabis in accordance with a micro license to operate a dispensary.
- ▶ (Q) “DISPENSARY” means an entity licensed under this title that acquires, possesses, repackages, transports, sells, distributes, or dispenses cannabis or cannabis products, including tinctures, aerosols, oils, and ointments, related supplies, and educational materials for use by qualifying patients, caregivers, or consumers through a storefront or through a delivery service, based on license type.
- ▶ (T) “GROWER” means an entity licensed under this title that cultivates, or packages, or distributes cannabis; and is authorized by the Division Administration to provide cannabis to other cannabis licensees and registered independent testing laboratories.
- ▶ (Y) “ON-SITE CONSUMPTION ESTABLISHMENT” means an entity licensed to distribute cannabis or cannabis products for on-site consumption other than consumption by smoking indoors.
- ▶ (DD) “PROCESSOR” means an entity licensed to transform cannabis into another product or an extract and packages and labels the cannabis product; and is authorized by the Division Administration to provide cannabis to licensed dispensaries and registered independent testing laboratories.

Cannabis Licensing

Alc Bev- Title 36, Subt. 4

Current Recreational Dispensaries: licenses that were issued to medical cannabis growers, processors, and dispensaries, including those businesses preapproved for licensure, to licenses to operate a medical and adult-use cannabis business which elected to convert to adult recreational use

Conversion occurred if:

1. a conversion fee is paid
2. the business complies with the ownership restrictions

This is all done at the State, not County level!

There is one recreational cannabis dispensary in Wicomico County which converted:
Peninsula Alternative Health 1003 Mt. Hermon Road Salisbury, Maryland 21804

However, by January 1, 2024, the State will award additional licenses to growers, processors, and dispensaries.

On-Site Consumption

What is on-site consumption?

- The distribution of cannabis or cannabis products, which are subsequently consumed at the dispensary.

What can be consumed on-site?

- Oils and ointments, edibles and tinctures.

What cannot be consumed on-site?

- Consumption may not include smoking indoors. This includes vaping.

LIMITS TO ON-SITE CONSUMPTION

Alc Bev § 36-407

- ▶ An on-site consumption license authorizes an entity to distribute cannabis or cannabis products for on-site consumption.
- ▶ An on-site consumption license does not authorize the holder of the license to:
 - ▶ (i) cultivate the cannabis; (ii) process cannabis or cannabis-infused products; or (iii) add cannabis to food prepared or served on the premises.

The following is PROHIBITED on-site:

- ▶ Allow on-duty employees of the business to consume cannabis;
- ▶ Distribute free samples of cannabis;
- ▶ The consumption of alcohol;
- ▶ The smoking or vaping of tobacco or tobacco products;
- ▶ Any activity that would require an additional cannabis license: including growing, processing, or dispensing;
- ▶ The use or consumption of cannabis by a patron who displays any visible signs of intoxication; or
- ▶ Admit onto the licensed premises an individual who is under the age of 21 years.

On-Site Consumption Establishments- Requirements

Alc Bev § 36-407 (G); (H); (I)

- ▶ An on-site consumption establishment shall:
 - ▶ Require all employees to successfully complete an annual responsible vendor training program authorized under this title; and
 - ▶ ensure that the display and consumption of cannabis or cannabis products are not visible from outside of the licensed premises.
 - ▶ educate consumers by providing informational materials regarding the safe consumption of cannabis.
 - ▶ the educational materials must be based on the requirements established by the Cannabis Public Health Advisory Council
- ▶ A county or municipality MAY adopt additional requirements for education on the safe consumption of cannabis on the premises of a licensed on-site consumption establishment.

On-Site Consumption Establishments

Alc Bev § 36-407

- (A) (1) a person shall obtain an on-site consumption license from the administration before operating a premises where cannabis may be consumed.
- (2) the administration may issue on-site consumption licenses authorizing an entity to operate a licensed premises in which cannabis may be consumed, but not smoked indoors, in accordance with this title and any regulations adopted under this title.
- (3) an on-site consumption establishment may operate only if the county and, if applicable, the municipality, where the business is located have issued a permit or license that expressly allows the operation of the on-site consumption establishment.**
- (B) A county and, if applicable, a municipality may:
- (1) Prohibit the operation of on-site consumption establishments;
 - (2) Prohibit or restrict the smoking or vaping of cannabis at on-site consumption establishments; or
 - (3) Adopt zoning and planning requirements for on-site consumption establishments.



Zoning Restrictions

Regulating County Cannabis Production and Sales

Alc Bev § 36-405

(A) The County MAY:

- (1) Establish reasonable zoning requirements for cannabis businesses; and
- (2) Decide how to distribute its allocation of revenue

(B) The County MAY NOT:

- (1) Establish zoning or other requirements that unduly burden a cannabis licensee;
- (2) Prohibit transportation through or deliveries within the political subdivision by cannabis businesses located in other political subdivisions;
- (3) Prevent an entity whose license may be converted from being granted the license conversion; or
- (4) Negotiate or enter into an agreement with a cannabis establishment or a cannabis establishment applicant to provide money, donations, in-kind contributions, services, or anything of value to the local jurisdiction political subdivision.
- (5) Impose a tax on cannabis.

(C) The use of a facility by a cannabis licensee is not required to be submitted to, or approved by, a county or municipal zoning board, authority, or unit if the facility:

- (1) was properly zoned and operating on or before January 1, 2023; or
- (2) is used by a grower, processor, or dispensary that:
 - (i) held a stage one preapproval for a license before October 1, 2022; and
 - (ii) was not operational before October 1, 2022.

Cannabis Licensee Operations

Alc Bev § 36-410

▶ HOURS OF OPERATION:

Beginning July 1, 2023, a cannabis licensee that is operating a dispensary shall:

- ▶ Set aside operating hours or dedicated service lines to serve only qualifying patients and caregivers.

▶ ZONING RESTRICTIONS IN STATE LAW:

A licensed dispensary may not locate within:

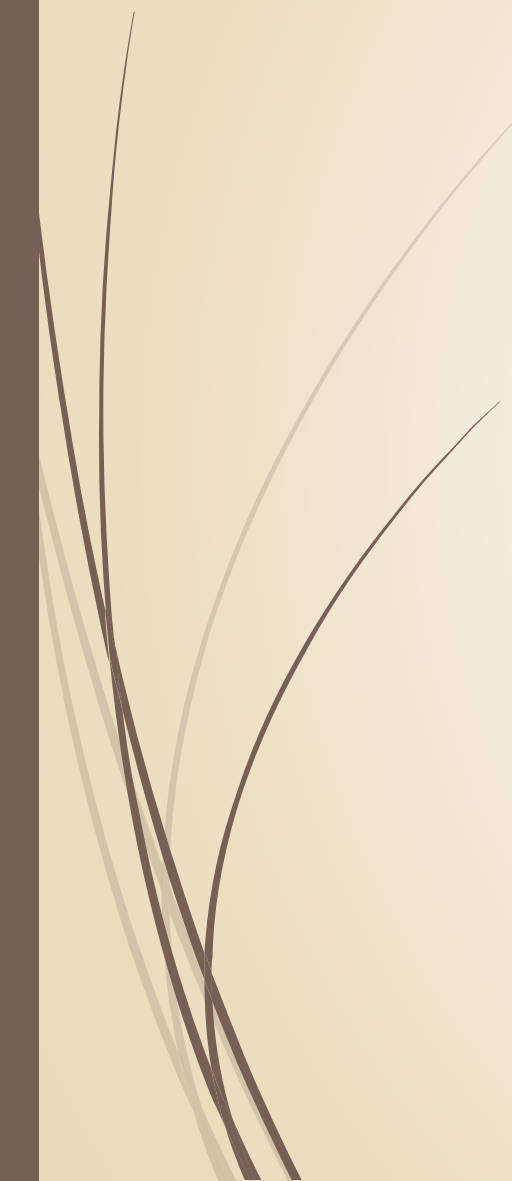
- (1) 500 feet of:
 - (i) a pre-existing primary or secondary school in the state, or a licensed child care center or registered family child care home; or
 - (ii) a playground, recreation center, library, or public park; or
- (2) 1,000 feet of another dispensary under this title.

A political subdivision may adopt an ordinance reducing the distance requirements.

The distance requirements do not apply to a dispensary license that was converted and properly zoned and operating before July 1, 2023.



Zoning Considerations

- ▶ Zoning Districts
 - ▶ Dispensaries, processing, production
 - ▶ On-site Consumption
 - ▶ Limitations
 - ▶ Registration
 - ▶ Hours of operation
- 



THE END