



City of Salisbury – Wicomico County

PLANNING AND ZONING COMMISSION

P.O. BOX 870

125 NORTH DIVISION STREET, ROOMS 203 & 201

SALISBURY, MARYLAND 21803-4860

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JACK R. HEATH
MAYOR

JULIA GLANZ
CITY ADMINISTRATOR

JULIE M. GIORDANO
COUNTY EXECUTIVE

BUNKY LUFFMAN
DIRECTOR OF ADMINISTRATION

SALISBURY-WICOMICO COUNTY PLANNING AND ZONING COMMISSION

AGENDA - REVISED

REGULAR MEETING

April 20, 2023

ROOM 301, THIRD FLOOR
GOVERNMENT OFFICE BUILDING

1:30 P.M. Convene, Chip Dashiell, Chairman

Minutes – Meeting of January 19, 2023

Minutes – Meeting of March 16, 2023

1:35 P.M. DISCUSSION – BOARD OF EDUCATION (B. Soper and L. Carter)

SUBDIVISION ANALYSIS – SUBDIVISION FOR STEEPLECHASE, SECTION 7 – Equestrian Drive – R-20 Residential - M-0037, G-0021, P-0348 (M. Williams)

SKETCH PLAT REVIEW – RAEGAN'S RUN SKETCH – Southerly side of Riverside Drive, northwest of Fruitland - M-0047, G-0016, P-0065 (M. Williams)

SITE PLAN REVIEW – STORAGE BUILDING – Eastern Shore Distributing Limited Partnership, rep. by Becker Morgan Group, Inc. – 811 Snow Hill Road – C-1 Select Commercial District – M-0048, G-0004, P-0311, Lot 1A (G. Pusey)

REVISED SIGN APPROVAL – CHARLEY'S CHEESESTEAKS – 2702 N. Salisbury Boulevard – General Commercial (H. Eure)

FINAL COMPREHENSIVE DEVELOPMENT PLAN APPROVAL - HERITAGE – Heritage Revival Holdings LLC, rep. by Parker and Associates – Pemberton Dr. and Culver Rd. – R-8A Residential – M-0037, G-0018, P-0144 - #21-046 (H. Eure)

ZONING RECOMMENDATION FOR ANNEXATION – JD OLIVER – JD Oliver, LLC, rep. by Ryan Showalter of MDSW, LLC – 2407 N Salisbury Blvd. – General Commercial – M-0029, G-0011, P-0158 (A. Rodriguez)



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MINUTES

The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on January 19, 2023 in Room 301, Council Chambers, Government Office Building with the following persons participating:

COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman
Jim Thomas, Vice Chairman
Jack Heath
Kevin Shertz
Matt Drew

PLANNING STAFF:

Brian Soper, City of Salisbury, Department of Infrastructure and Development ("DID")
Henry Eure, DID
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")
Danielle Rogers, PZCD

Laura Hay, City of Salisbury, Department of Law

The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

Announcement: Chairman Dashiell

Governor Wes Moore has appointed Mayor Jake Day as Secretary of Housing and Community Development, he will officially leave his post as Salisbury's Mayor on January 27, 2023. We extend our congratulations to Mayor Day on his new appointment and wish him well as he carries out the business of the State of Maryland. I know he will maintain a close relationship with the City of Salisbury and Wicomico County in his new duties.

Chairman Dashiell also mentioned our friend and colleague, Jack Heath, President of the Salisbury City Council, will be serving as the Mayor of Salisbury until the next election. He congratulated Mr. Heath for his willingness to serve in this position and wished him all the best as he carries out the agenda of our city in his new role as Mayor. Chairman Dashiell added we will lose Mr. Heath as a member of the Planning Commission after today's meeting. He thanked Mr. Heath for his very faithful and dedicated service to the Planning Commission over the past seven years. Chairman Dashiell stated we appreciated Mr. Heath's comments in regards to many issues that have been before the

Planning Commission. Mr. Heath brought a very practical approach to the issues and always presented thoughtful ideas about how these issues could be addressed in the best interest of the applicants and citizens of our city. Chairman Dashiell extended best wishes to Mr. Heath in his new position and added we looked forward to his continued leadership as our mayor.

Mr. Heath stated he enjoyed the last seven years we have a great team and will continue to have a great team. He mentioned this is the next chapter of the city. We are down a path that was decided by the citizens nine years ago; when the citizens were asked what they wanted. The citizens told us and a master plan was created. Mr. Heath's intent, under his leadership, to continue the master plan. Mr. Heath also guaranteed the first consideration will be what is best for the citizens in the city. Mr. Heath thanked everyone for their support, wished everyone the best, and asked for prayers for himself in his new role.

Chairman Dashiell stated we look forward to continuing our line of communication with Mr. Heath and asked him to let the Planning Commission know how they can be of help in the exciting possibilities for the future of our city.

MINUTES: The minutes from the December 15, 2022 meeting were brought forward for approval. Mr. Thomas submitted a motion to approve, seconded by Mr. Shertz and duly carried. The minutes from the December 15, 2022 meeting were **APPROVED** as submitted.

REVISED SIGN PLAN – KOHL'S + SEPHORA – JD Sign Company for Kohl's Department Stores, Inc. – 128 West Dagsboro Road (H. Eure)

Mitchell Denim of JD Sign Company, a representative for the sign company out of Felton, DE, joined Mr. Henry Eure at the discussion table.

Mr. Eure addressed Mr. Heath, congratulated him and mentioned he has enjoyed working with Mr. Heath.

Mr. Eure presented the Staff Report. The applicant, JD Sign Company, on behalf of owner, has presented a Revised Sign Plan to incorporate a new sign Sephora, which has recently initiated a new partnership with Kohl's. Sephora is a beauty supply company.

A second wall sign and updated pylon sign are being proposed for the existing Kohl's department store. The applicant is seeking Planning Commission approval as required by the Zoning Code.

The Planning Commission approved a Final Comprehensive Development Plan for the existing building in September 2004. A Sign Plan, which included white individual channel letters with black returns, was approved in February 2005. The existing pylon sign, which included the colors white, black and burgundy were also approved at this same meeting.

The applicant now proposes to amend the existing Sign Plan by adding a 50 sq. ft. "Sephora" wall sign above the north entrance to the store. The sign will consist of white individual channel letters with black returns, similar to the existing "Kohl's" wall sign. Minor storefront renovations to distinguish the different occupancies is also proposed for the building. In addition, "Sephora" will be added to

the existing "Kohl's" pylon sign, and the background will be changed to black. The lettering for both will remain white. The size of the sign will not change.

Planning Staff supports the applicant's request to add the new wall sign, and reface the existing pylon sign. The changes are relatively minor in nature.

Staff recommends approval for the Revised Sign Plan as submitted. Mr. Denim had no additional comments.

Mr. Thomas entered a motion to approve the Revised Sign Plan as submitted seconded by Mr. Drew, and duly carried, the Commission approved the plan.

Chairman Dashiell stated the motion was **APPROVED**.

DISCUSSION – Harbor Pointe Phase 3 Text Amendment (B. Soper)

Mr. Brian Soper read the memorandum. The owner has requested a text amendment to Phase 3 in Harbor Pointe. Currently the site is developed with one story cottages and a care home that was previously approved by the Planning Commission. The text amendment is bringing the language and code in line with what the Planning Commission has approved. The original outline of the PRD Phase 3 intended to be sold as one to three story condominiums. Proposed amendments will provide clarity to what was previously approved by the Planning Commission and allow for elderly and handicapped apartments. Setbacks will be established on the plat to be approved by the Planning Commission. Parking standards for this phase have also been updated.

Mr. Soper stated they updated the definition for permitted uses to include single-family, two-family, three-family and four-family buildings, which some are already existing. Added the care home permitted use which is already built and currently being renovated. Also, added apartment building for the elderly and handicapped. Nothing in Phase IV has been changed, these are commercial properties along Pemberton Drive. In addition, the developer has proposed to sub-divide out the duplex, single-family, and four-family structures that are existing. That sub-division plat will be before the Commission as a Preliminary next month. The perimeter setbacks that were established by the Code will be maintained. New setbacks will be established on the plat and any changes to the setbacks will require Planning Commission approval if they want to change that plat. Instead of listing the setbacks in the Code it is easier to have it on the plat and every time the plats change the Planning Commission would have to review it. Clarified the density for the care home in Phase III, the apartment building, and the one to four family cottages. Clarified the parking, as the structure changes and they move forward with proposed twenty-six (26) lots within Phase III. Another discussion ongoing is the modification to the height, not shown as changed in the packet. The developer is proposing to potentially see the need to meet capacity to have a four-story building. That would put the developer at 48 ft. to 50 ft., the current height requirement was 40 ft. The adjacent property to the north, Miller's Edge, was a 40 ft. height limitation; still working on that and it will be addressed before the Public Hearing.

Mr. Thomas asked if it was originally approved for the use, it is now. Mr. Soper responded it was initially approved for cottages to be sold as condominiums, then the Planning Commission approved the care home. The care home was defined as individual use in the code. Due to the change in the

past ten years, the care home fits perfectly within this use, in addition to the apartments for the handicap and elderly. Mr. Soper believes it will be a nice transitional setting to go from the cottages where someone is on their own, to the elderly handicap facility and then to the care home if needed. This is not an uncommon arrangement of buildings.

Chairman Dashiell asked about the density requirements. He asked if the facility would be a 100-unit care home. Mr. Soper responded that was correct. Chairman Dashiell also wanted to know if the apartment buildings would be separate. Mr. Soper answered yes, however, the apartment building has not been presented because the developer is covering potential development options in the future. The apartment building would be south of the care home. The Developer has completed projects in Virginia and they have similar foot prints and similar designs.

Chairman Dashiell stated there will be an apartment building with possibly 100-units and the care home with 100 units. Mr. Soper said the care home would have 87-units. He also added, parking at care homes is typically for employees and visitors, therefore, parking requirements reflect that need.

Mr. Shertz inquired about the height and wanted to know if that is directly related to the number of units increasing. Mr. Soper stated yes, they are still having discussions with the developer about that approach. Also looking forward to any potential zoning changes that may come from us. We may want a higher density to take up less footprint. We are thinking of stormwater management controls and the need for this type of housing in the area. This will be addressed again before the Public Hearing.

Mr. Soper mentioned there will be a public hearing and Preliminary Subdivision Plat to review for approval. Following that we would then advance the Public Hearing to City Council. At the same time, the Final Subdivision Plat would be coming back around that would be contingent on the text amendment approval and the Subdivision Plat could be approved. If the Council approves the text amendment, then we can move forward with recording the Subdivision Plat.

Mr. Thomas asked about the stormwater management, does it already exist Mr. Soper said the current care home is undergoing an addition, the stormwater management is included. The care home has been approved with some stormwater management controls to the current standard.

Chairman Dashiell asked Mr. Soper anything else he would like to add.

Mr. Soper stated about to prepare RFP for the comprehensive plan update. Will be going out to bids to vendors.

STAFF ANNOUNCEMENTS

Ms. Carter congratulated Mr. Health on his new position as Mayor of Salisbury. And I know you will do very well and will continue to serve the citizens of Salisbury.

Ms. Carter introduced a new staff member, Danielle Rogers. She is the new Department Assistant sitting in today. Getting training in regards to Commission as she is working with Janae Merchant.

Ms. Carter introduced Gary Pusey, he is here with us today. Mr. Pusey is our Planning Manager. We are happy to have him back with all his experiences and his return back to Wicomico County.

Chairman Dashiell welcomed Mr. Pusey back home to Wicomico County.

Ms. Hay stated her office always enjoyed working with Mr. Health. She looks forward to another compacity in which to work with Mr. Health.

Chairman Dashiell stated it is a wonderful team and it is always nice when players do not really move away just change hats.

Upon a motion by Mr. Health, seconded by Mr. Thomas, and carried unanimously, the Commission meeting was adjourned at 2:00 p.m.

The next regular Commission meeting will be on February 16, 2023.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

Charles "Chip" Dashiell, Chairman

Lori A. Carter, MBA, Secretary

Danielle Rogers, Recording Secretary



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MINUTES

The Salisbury-Wicomico County Planning and Zoning Commission ("Commission") met in regular session on March 16, 2023 in Room 301, Council Chambers, Government Office Building with the following persons participating:

COMMISSION MEMBERS:

Charles "Chip" Dashiell, Chairman
Jim Thomas, Vice Chairman
Mandel Copeland
Kevin Shertz
Muir Boda

PLANNING STAFF:

Brian Soper, City of Salisbury, Department of Infrastructure and Development ("DID")
Henry Eure, DID
Gary Pusey, Planning Services Manager
Lori A. Carter, MBA, Wicomico County Department of Planning, Zoning, and Community Development ("PZCD")
Danielle Rogers, PZCD

Laura Hay, City of Salisbury, Department of Law
Paul Wilber, County Attorney

The meeting was called to order at 1:30 p.m. by Chairman Dashiell.

Announcement: Chairman Dashiell

Chairman Dashiell joined by Julie Giordano, County Executive, and Bunky Luffman, Director of Administration, presented Mayor Jack Heath, a former member of the Planning and Zoning Commission member for seven (7) years, with a Certificate of Recognition. Also, Chairman Dashiell announced a new member to the Commission board and welcomed Mr. Muir Boda, who will be taking Mayor Heath's place. Mr. Boda has served as President of the Salisbury City Council for the past seven (7) years.

MINUTES: The minutes from the January 19, 2023 were brought forward for approval. Mr. Copeland

abstained from approving the minutes, and Mr. Joe Holloway and Mr. Matt Drew were not in attendance. Chairman Dashiell announced there was not a quorum; therefore, January minutes will be reviewed and approved at the next meeting. The minutes for February 16, 2023 were presented for approval. Mr. Jim Thomas submitted a motion to approve, seconded by Mr. Kevin Shertz, and duly carried. The minutes from February 16, 2023 meeting were **APPROVED** as submitted.

PUBLIC HEARING – TEXT AMENDMENT – City of Salisbury Zoning Code – Amending Chapter 17.76 –Light Industrial District- to include new uses. (H. Eure)

Ms. Laura Hay read the advertisement for the Public Hearing.

Ms. Hay administered the oath to Mr. Henry Eure, Mr. Victor Laws (from Laws, Insley & Benson, P.A.) and Mr. Eric Booth (Artistic Creations, Inc.).

Mr. Eure presented the Staff Report.

Laws, Insley & Benson, P.A., on behalf of Artistic Creations, Inc., has submitted a request to amend the text of Title 17, Zoning to include the following language:

In Section 17.76.020 A. 35.: Service, rental or repair establishment.

In accordance with the requirements of Section 17.228 of the Salisbury Municipal Code, the Planning Commission must hold a Public Hearing on proposed Text Amendments to the Code. The Commission must forward a recommendation (within six (6) months) to the City Council. The City Council must also hold a public hearing before granting final approval to Code Text Amendments (by Ordinance).

Staff recommended the Planning Commission forward a favorable recommendation to the Mayor and City Council for the proposed amendment that would inherently permit a Service, rental or repair establishment in the Light Industrial zoning district, as follows:

Amend Section 17.76.020 A. Permitted Uses, by adding the following item:

35. Service, rental or repair establishments, limited to laundry or laundromat, automobile rental, car wash, appliance repair, equipment or instrument repair or rental, dry-cleaning pickup station, pet-grooming shop, upholstery shop, tailor, and tattoo parlor.

Mr. Victor Laws stated there is a gap in the code and contacted City staff to address a Text Amendment approach. Mr. Laws asked Mr. Booth a few questions regarding his particular use of business. Mr. Laws stated that Mr. Booth has been in the tattoo business for over 30 years. Mr. Laws asked Mr. Booth how he acquired his experience as a tattoo artist. Mr. Booth answered it was completed through apprenticeship. Mr. Laws asked Mr. Booth if his operation generates secondary effects like odor, noise, dust and traffic. Mr. Booth answered none of those effects. Mr. Laws presented letters in support from Women Supporting Women whose mission is awareness, education and support for people who have been affected by breast cancer. ADT, Eastern Shore Water and The Furniture Nest are neighboring businesses also submitted supporting letters. Mr. Laws stated that Mr. Booth does reconstructive tattoo artistry for breast cancer survivors.

Mr. Thomas inquired about the definition of service or repair establishment. Mr. Eure, stated that this will be consider a service. Mr. Eure, stated the amendment names tattoo parlor as one of the services.

Mr. Shertz, asked does the addition of this language to the zoning cause any issues with where tattoo parlors are currently located. Mr. Eure, indicated we consider a tattoo parlor a mercantile type use.

Mr. Thomas moved for a favorable recommendation be forwarded to the Mayor and City Council for the Proposed Amendment in Section 17.76.020 to allow Service, rental or repair establishment within those definitions in the Light Industrial Zoning District. The motion was seconded by Mr. Copeland and duly carried, the Commission approved the recommendation.

Chairman Dashiell stated the motion was **APPROVED**.

Chairman Dashiell closed the Public Hearing at 1:53 p.m.

PROPOSED AGRICUTRAL DISTRICT – Riverton Farms, LLC Easement Application – Riverton Road in Mardela Springs, Maryland – M-0005, G-0011, P-0013 (B. Zito)

Mr. Gary Pusey, in for Mr. Ben Zito, presented the Staff Report.

The applicants filed an application to sell an easement on property on Riverton Road to the Maryland Agricultural Land Preservation Foundation ("MALPF"). The property size is 83.35 acres.

Mr. Pusey, explained MALPF is a successful program that began in the late 1970's. Participation is completely voluntary and Wicomico County has approximately 65 properties in the program at this time.

The qualifications for participation in the MALPF Program are as follows:

Criterion #1: The land is currently being used for producing food or fiber or has the capability to do so. The land has the capability to produce food and/or fiber.

Criterion #2: The majority of the land area of any district should consist of either of USDA Soil Capability Classes I, II, and III; USDA Woodland Groups 1 & 2; or at least 60 percent of the two classifications combined. The site contains 91.1 percent Class I, II, III and Woodland Group I and II soils.

Criterion #3: An Agricultural Easement generally should not be less than 50 contiguous acres, unless certain conditions are met. The total size of the proposed easement is 83.35 acres.

Criterion #4: Land within the boundaries of a 10-year water and sewerage service district may be included in an Agricultural Easement only if it is outstanding in productivity and of significant size. The property is not located within the boundaries of a 10-year water and sewer service district. The closest district is that of Sharptown located 2.3 miles north.

The Planning Staff recommended the Planning Commission forward a favorable recommendation to the County Council for support of the sale of an Agricultural Land Preservation

Easement on the Riverton Farms property based on compliance with the County Comprehensive Plan.

Mr. Thomas moved to forward a favorable recommendation to the Council for the support of a sale of Agricultural Land Preservation Easement of the Riverton Farms property. The motion was seconded by Mr. Boda, and duly carried, the Commission approved the Plan.

Chairman Dashiell stated the motion was **APPROVED**

PROPOSED AGRICUTRAL DISTRICT –Troy and Quinn Johnson Easement Application –N. Upper Ferry & Pratt Road in Salisbury, Maryland – M-0036, G-0023, P-0229 and P-0361 (B. Zito)

Mr. Pusey, in for Mr. Zito, presented the Staff Report.

The applicants filed an application to sell and easement on property on N. Upper Ferry Road and Pratt Road to the Maryland Agricultural Land Preservation Foundation (“MALPF”). The property size is 116.25 acres.

The qualifications for participation in the MALPF Program are as follows:

Criterion #1: The land is currently being used for producing food or fiber or has the capability to do so. The land has the capability to produce food and/or fiber.

Criterion #2: The majority of the land area of any district should consist of either of USDA Soil Capability Classes I, II, and III; USDA Woodland Groups 1 & 2; or at least 60 percent of the two classifications combined. The site contains 94.5 percent Class I, II, III and Woodland Group I and II soils.

Criterion #3: An Agricultural Easement generally should not be less than 50 contiguous acres, unless certain conditions are met. The total size of the proposed easement is 116.25 acres.

Criterion #4: Land within the boundaries of a 10-year water and sewerage service district may be included in an Agricultural Easement only if it is outstanding in productivity and of significant size. The property is not located within the boundaries of a 10-year water and sewer service district. The closest district is that of Salisbury located 3.2 miles east.

The Planning Staff recommended the Planning Commission forward a favorable recommendation to the County Council for support of the sale of an Agricultural Land Preservation Easement on the N. Upper Ferry Road and Pratt Road property based on compliance with the County Comprehensive Plan.

Mr. Thomas moved to forward a favorable recommendation to the Council for the support of a sale of Agricultural Land Preservation Easement on the Johnson property based on compliance with the County Comprehensive Plan. The motion was seconded by Mr. Shertz, and duly carried, the Commission approved the Plan.

Chairman Dashiell stated the motion was **APPROVED**.

Ventures, LLC, rep. by Becker Morgan Group – Parsons Lake Dr. and Brown Rd. – R-10A Residential District – M-0030, G-0007, P-0223 & 0398 - #21-015 (H. Eure)

Mr. Jeff Harmon, Sr. Associate and Civil Engineer of the project, and Ted Hastings, Associate from Becker Morgan Group, joined Mr. Henry Eure at the table.

Mr. Eure presented the Staff Report.

Becker, Morgan Group, on behalf of the developers, have submitted a Final Comprehensive Development Plan to improve the site with 329 single family homes. A community center and pool are also proposed. Remaining areas will be devoted to stormwater management ponds, landscaped areas, and forest conservation. The site currently has access from East Naylor Mill Road. Two access points along Brown Road are proposed for the project.

Preliminary Comprehensive Development Plan and Subdivision were approved for the project in September of 2021.

Adjoining properties to the west are the existing Villages at Parson's Lake townhouses, and the Reserve at Parson's Lake Apartments, which is currently under construction, and nearing completion. Surrounding properties to the north, south and east are outside of the City of Salisbury corporate limits, and fall under the county's A-1 Agricultural – Rural, R-8 Residential and Town Transition zoning districts.

Staff presented the Comprehensive Development Plan Review. These included Site Plan Review, Development Schedule, Community Impact Statement and Statement of Intent to Proceed and Financial Capability, Stormwater Management, Fire Service, Building Elevations, Forest Conservation, Paleochannel Protection District, Wicomico County Board of Education, Traffic Study, Sign Plan.

Planning Staff updated recommendations as follows. The Salisbury Planning Commission at its March 16, 2023 meeting APPROVED the Final Comprehensive Development Plan and Paleochannel Protection District for Parson's Lake Single Family with the following conditions:

1. Provide a Revised Landscaping Plan for the Planning Commission review and approval which displays street trees on both sides of all streets. Tree species shall follow the City's streetscape plan for small and medium trees as listed in attachment 11 of the corresponding staff report for this project.
2. Approval of Community Impact Statement and Statement of Intent to Proceed and Financial Capability waiver requests. However, the applicant shall provide the Commission with correspondence from the Wicomico County Board of Education regarding the Commission concerns about capacity of schools impacted by this project.
3. Obtain typical building elevation approval from the Salisbury/Wicomico Planning Commission prior to construction of any single-family dwellings.
4. Install a roundabout or other traffic improvements at the intersection of East Naylor Mill Road and Parsons Lake Drive. Improvements shall be subject to approval by the Salisbury Department of Infrastructure and Development.

5. Obtain Sign Plan approval from the Salisbury/Wicomico Planning Commission prior to the installation of any signs.
6. Subject to further review and approval by the Salisbury Fire Department.
7. Subject to further review and approval by the Salisbury DID.

Mr. Jeff Harmon thanked the DID for all the help with this project. Recently received Forest Conservation approval from County Council last week and currently going through final process for Plan Recordation. Mr. Harmon is aware he will need to come back with more detailed information on building elevations, landscaping, entrance improvements of East Naylor Mill Road and Parsons Lake Drive, tree and light post spacing.

Mr. Shertz stated there are two elements in the Staff Report causing him concern. The waiver requested from the Community Impact Statement and the Board of Education is saying that this project will bring the schools to near maximum capacity so those two items seem in conflict to each other. Mr. Eure stated DID looks at it as more of an infrastructure advantage point and frequently we do not hear back from the Board of Education. Mr. Harmon added that historically we are used to that Community Impact Statement being water and sewer service, trash collection if the City providing the trash pickup, police, fire would this be a benefit to the City or if it would be a problem for the City. Mr. Harmon added, the buildout will take several years so the impact will be gradual.

Mr. Boda stated one of the areas you will see immediate impact and concern is fire service. The fire department struggles to get to the north end of town within 4 minutes. We would like to put a fire department at the north end of town but, that project would cost significant amount of money to do and then staff with twenty-four firefighters and EMS personnel. Immediate concern from the City stand point that is where we are struggling with fire support. Mr. Jeff Harmon stated this project was planned for quite some time and was annexed quite some time ago and was planned as a Comprehensive Development Plan residential expansion. Mr. Henry Eure stated that this project in particular with the original townhomes started 15 to 20 years ago.

Chairman Dashiell expanded on Mr. Shertz's concern. For instance, comments that come back from the Board of Education stating this will put our schools at near capacity, should that prompt another inquiry or discussion with the Board of Education so DID is better prepared with answers. Or should a representative from the Board of Education be present to voice their concerns, maybe offer an alternative. We need more information regarding the impact to the schools. Chairman Dashiell addressed Mr. Brian Soper asking if a more detailed conversation could be had with the Board of Education when a response is received stating the school will be near capacity.

Mr. Soper stated DID recently increased their efforts to make sure the Board of Education gets the materials they need in the early stages of the development process to review. Staff received information from the Board of Education for another case on the agenda. The information provided back numbers that shows the allocation of students in schools and what the timeline looks like. The numbers will be very conservative probably worst-case scenario that the development is completely built out in the appropriate time manner. The information received today from the Board of Education gave us current impact to schools, and future impact to schools all the way out to the year of 2029. Mr. Soper added he could engage the Board of Education to determine what potential improvements could be done.

Mr. Thomas added we have talked a lot about inadequate housing in Salisbury. He would like to know what are the needs of Salisbury and what has been done this year to accomplish lowering the inadequate housing stock. Planning Commission has approved a lot of apartments and single-family residents how is that going to affect traffic, and water and sewer. Traffic, water and sewer each has separate development plans.

Chairman Dashiell stated a lot of that planning will be done with a comprehensive plan and those issues would be addressed then. We are approving a lot of projects from and growth prospective it is very good. On the other hand, it can create challenges for us that need to be solved. Chairman Dashiell indicated, for future projects if an alert from the Board of Education is received, know the Planning Commission may ask about this, how does someone address this concern.

Mr. Shertz is aware this project has gone through several approvals. He believes this is the first time we have had a response such as this from the Board of Education so it takes him back to the request of a waiver for the Community Impact Statement; these two topics are intertwined. Mr. Shertz is not in favor of a waiver for the Community Impact Statement.

Chairman Dashiell asked the presenters how it affects the project if we do not waive the Community Impact Statement. Mr. Harmon said his biggest concern is with the schedule for "Here is Home" and there is a deadline to be compliant with the program. This project has been in the works for several years and waivers were previously granted. Mr. Harmon requested the approval to move forward at this time in order to meet deadlines. Mr. Soper clarified the project does not need to start construction until October 31st to be compliant with "Here is Home."

In an attempt to address Mr. Shertz's concerns about the waiver and Mr. Harmon's concerns about meeting deadlines, Chairman Dashiell asked for Mr. Harmon or the developer to reach out to the Board of Education to obtain clarification on what they need to assist with the "near to capacity" concern. Mr. Soper interjected with a simpler explanation of the Community Impact Statement by stating "how much money will the project bring in" and "how much money will be needed to serve it."

Ms. Lori Carter recommended for Mr. Harmon to review the Board of Education's Plan published January for assistance in his search of information. The Plan discussed the overall expansions, and projects. Mr. Harmon will talk with his contact at the Board of Education regarding their Capital Improvement Plan.

Mr. Thomas entered a motion to approve the Final Comprehensive Development Plan subject to the modified conditions of the Staff Report, as well as comments from the Board of Education. The motion was seconded by Mr. Boda. All Commissioners approved with the exception of Mr. Shertz who opposed the motion.

Chairman Dashiell stated the motion was **APPROVED**.

HOMEOWNERS ASSOCIATION DOCUMENT APPROVAL – JOHNSONS RETREAT – DR Horton Inc. – Johnson Rd. – R-10 Residential District - M-0048, G-0011, P-0288 - #21-024 (B. Soper)

Mr. Soper presented the Staff Report. He mentioned the City Attorney has already reviewed the Homeowner's Association ("HOA") Documents that were requested by the Commission.

The Planning Staff recommended approval of the documents as submitted.

Ms. Hay indicated she and City Staff have reviewed the documents, recommended changes and they have been made to the document.

Mr. Thomas entered a motion to approve the HOA Documents as submitted for Johnson's Retreat Subdivision. The motion was seconded by Mr. Shertz, and duly carried, the Commission approved the plan.

Chairman Dashiell stated the motion was **APPROVED**.

FINAL SUBDIVISION PLAT APPROVAL – HARBOR POINTE – MCAP Salisbury, LLC, rep. by Davis, Bowen & Friedel, Inc. – Harbor Pointe Dr. – Planned Residential District No. 3B–Harbor Pointe Phases III and IV – M-0113, G-0019, P-1134, Lot-PAR A - #21-012 (B. Soper)

Mr. Soper presented the Staff Report.

The applicant proposed to subdivide Harbor Pointe Phase 3 into twenty-six (26) lots consisting of twenty-four (24) cottages, a care home, and an apartment building for the elderly and handicapped. Currently, twelve (12) cottages and the care home are existing on the parcel. These lots are served by private roads.

The Planning Commission approved the Preliminary Subdivision Plan on February 16, 2023.

Planning Staff recommends granting Final Subdivision Plat Approval for Harbor Pointe Phase 3, subject to the five (5) conditions listed below:

1. The Final Plat shall comply with all requirements of the Salisbury Subdivision Regulations.
2. Health Department approval is required prior to the recordation of the Final Plat.
3. The Final Plat shall comply with all requirements of the Forest Conservation Program.
4. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and other applicable agencies.
5. The Final Subdivision Plat cannot be recorded until the approval of the text amendments by the City Council.

The Public Hearing for the Text Amendments with the City Council is scheduled for April 13, 2023.

Mr. Thomas entered a motion to approve the Final Subdivision Plat for Harbor Pointe Phase 3 subject to all the conditions being met. The motion was seconded by Mr. Copeland, and duly carried, the Commission approved the plan.

Chairman Dashiell stated the motion was **APPROVED**.

PRELIMINARY COMPREHENSIVE DEVELOPMENT PLAN APPROVAL – BEAGLIN PARK PLACE – Salisbury Beaglin, LLC, rep. by Parker & Associates, Inc. – Beaglin Park Dr. and Gordy Rd. – Planned Residential District No. 7–The Villages at Aydelotte Farm – M-0029, G-0024, P-0312 - #23-001 (B. Soper)

Mr. Brock Parker, with Parker and Associates, joined Mr. Soper at the table.

Mr. Soper presented the Staff Report.

The applicant proposes to develop the wooded parcel known as Parcel H in 17.150.050.A7 of the Zoning Code into 109 townhouse units. The parcel is split by Beaglin Park Drive and bordered by Gordy Road on the western portion. The proposed development is part of the Aydelotte Farm PRD.

Staff presented the Comprehensive Development Plan. These included the Site Plan, Building Elevations, Sign Plan, Landscaping Plan, Development Schedule, Community Impact Statement (Mr. Soper added for Brock and Associates to reach out to the Board of Education to determine cost of improvements based on their comments), Statement of Intent to Proceed and Financial Capability, Fire Service, Stormwater Management, Forest Conservation Program and Transportation, Streets, and Pedestrians.

Mr. Shertz added in regards to the request for a waiver of the Community Impact Statement, this would be the appropriate time to obtain comments from the Board of Education since this project is at the preliminary stage. Mr. Parker interjected saying they had done their due diligence in informing the Board of Education.

Staff recommends approval of the Preliminary Comprehensive Development Plan for Beaglin Park Place with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval. Detailed building elevations, landscaping and lighting plan shall be incorporated in the Final Comprehensive Plan.
2. Provide a traffic study.
3. Provide a Development Schedule.
4. Waive the Statements of Intent to Proceed, Financial Capability, and Community Impact Statement requirements based upon the Staff Report with the exception of comments by the Board of Education.
5. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development, the Salisbury Fire Department, and other agencies as appropriate.
6. Submit a Paleochannel Site Plan for Planning Commission approval.

Mr. Parker inquired as to when the Paleochannel Site Plan needed to be submitted. Mr. Soper said it could be presented in the Final Comprehensive Development Plan Approval.

Mr. Parker said this is the completion of the Aydelotte Farm project, largest area to be developed.

Mr. Parker's comments on the Community Impact Statement, this is a statement, not a study, not a public facilities ordinance, it is a monetary assessment, a calculation. It is not finding out if schools have capacity; more than likely, all schools will indicate they are over capacity.

Chairman Dashiell appreciated the information provided by Mr. Parker. He tasks the City and County to provide such information going forward.

Mr. Shertz has a concern when waiving something on the books. Mr. Shertz inquired what additional information could come out of a discussion with the Board of Education after knowing they will be near capacity. Mr. Soper indicated it would be the cost of adding an addition to the school.

Mr. Thomas entered a motion to approve the Preliminary Comprehensive Development Plan for Beaglin Park Place subject to the modified conditions of the Staff Report, as well as comments from the Board of Education obtained by Mr. Parker. The motion was seconded by Mr. Boda. All Commissioners approved with the exception of Mr. Shertz who opposed the motion.

Chairman Dashiell stated the motion was **APPROVED**.

STAFF ANNOUNCEMENTS

Mr. Soper has a Comprehensive Plan, request for proposal ("RFP") is with Procurement, vendors will have 400 days to reply with a goal to complete before end of next fiscal year.

Ms. Carter said a work session on solar was Tuesday night, March 14, 2023. The first reading will be on March 21, 2023. Her recollection of the Community Impact Statement is the Board of Education uses what is worked on the Planning Commission meetings to develop their projects as well. Ms. Carter thanked Mr. Muir Boda for being at the meeting and being part of the team.

Upon a motion by Mr. Thomas, seconded by Mr. Copeland, and carried unanimously, the Commission meeting was adjourned at 3:51 p.m.

The next regular Commission meeting will be on April 20, 2023.

This is a summary of the proceedings of this meeting. Detailed information is in the permanent files of each case as presented and filed in the Wicomico County Department of Planning and Zoning, and Community Development Office.

Charles "Chip" Dashiell, Chairman

Lori A. Carter, MBA, Secretary

Danielle Rogers, Recording Secretary



WICOMICO COUNTY, MARYLAND

DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT
125 N. DIVISION STREET, ROOM 203
P.O. BOX 870
SALISBURY, MARYLAND 21803-0870
PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano
County Executive

Bunky Luffman
Director of Administration

COUNTY SUBDIVISION ANALYSIS

MEETING OF APRIL 20, 2023

Subdivision Name: Steeplechase, Section 7

Lot: Parcel ‘V’, Recreation Lot

Location: Equestrian Drive

DPW#:

Map: 37

Parcels: 348

Grid: 21

Acres: 1.03 +/- acres

Applicant:

Messick Home Improvements
106 Morris Mill Road
Salisbury, MD 21804

Steeplechase Homeowners Association

Surveyor:

Evan C. Young
Hampshire, Hampshire & Andrews
720 East College Avenue – Unit D
Salisbury, MD 21804

Zoning: R-20

Jurisdiction: Wicomico County

Type of Development Proposed: Residential

I. EXPLANATION OF REQUEST.

This request is to convert a previously platted Recreation Lot, known as Parcel ‘V’, shown on the plat for Steeplechase, Section 7 into a residential building lot. The Steeplechase Homeowners Association would like to sell the Recreation Lot to Messick Home Improvements to help the Association raise funds for the upkeep and maintenance of the pool and common areas.

Section 225-14 (A) (5) entitled, “Open Space Covenants” of the County’s Zoning Code reads,

No open space or common use facilities, specifications or restrictions deemed necessary by the Planning Commission may be changed without the consent of the Planning Commission and the County Attorney.

General Note #22 on the plat for Steeplechase, Section 7 approved by the Planning Commission states, “Parcels IV, V & VI shall be owned and maintained by the Homeowners Association.”

The developer of Steeplechase, Section 7, Messick Home Improvements, is near the point of transferring the duties of the Homeowners Association to the HOA. A transitional Board of Directors and a Finance Committee have been established. A recent Reserve Study was performed in accordance with Maryland House Bill 107 enacted on May 29, 2022 which required homeowners’ associations to conduct a Reserve Study to ensure that the appropriate funds are set aside for future obligations. That Reserve Study identified that the Steeplechase Homeowners Association will need to increase its reserves in order to be prepared to assume full control of its assets.

To help increase its reserves, the Homeowners Association would like to sell Parcel V, a 1.03 acre lot platted as a Recreation Lot to Messick Home Improvements. The Recreation Lot has not been improved with any community facilities. The Steeplechase subdivision has a 2.82 acre community parcel with tennis courts, pool and pool house, water treatment plant, playground and open space.

II. RECOMMENDATION AND STAFF COMMENTS.

The Planning Staff recommends approval of the conversion of Parcel V from a Recreational Lot to a residential building lot. A meeting was held with Paul Wilber, County Attorney, in compliance with the above noted Zoning Code, and he is in agreement.

A review of subdivision staff reports and Planning Commission minutes found no evidence that the Planning Commission required this common use area. Section 7, the new Section 8 and the remaining lands were all originally proposed as part of Section 6. In 2001, the Planning Commission reviewed a Sketch Plat for 153 lots, and during that review, the then Wicomico County Assistant Superintendent of Parks described a “Land Preservation and Outdoor Recreation Plan” which would require 1.76 acres of neighborhood greens and 2.81 acres of community parks be created as part of the 153-acre subdivision. That Plan is no longer in practice, and the Wicomico County Department of Recreation, Parks and Tourism does not require a set amount of park space be created as part of the subdivision process.

The Steeplechase development has a significant amount of common use and green space as follows:

- Parcel I – 2.82 acre recreation/pool/water plant/playground/open space
- Parcel II – 2.12 acre stormwater management area
- Parcel III – 2.01 acre stormwater management area
- Parcel IV – 2.90 acre stormwater management area
- Parcel V – 1.03 recreation lot
- Parcel VI – 4.00 acre stormwater management area

Of note is the fact that, at the time of the 2001 Sketch Plat review and Parks comments, Pemberton Historical Park was not developed into the facility that it is today. Today, Pemberton Historical Park, located just 1,500 feet from the Parcel V Recreation Lot, has a significant amount of recreational opportunities.

III. SUBDIVISION STATUS.

A. WAIVERS REQUIRED:

N/A

B. FOREST CONSERVATION:

N/A

C. CHESAPEAKE BAY CRITICAL AREA:

N/A

D. PROPOSED CONDITIONS:

1. The conversion of Parcel V Recreation Lot to a residential use lot will require a Corrected Plat which shall comply with all requirements of the Wicomico County Subdivision Regulations.
2. Health Department approval is required prior to the recordation of the Corrected Plat.
3. The new residential lot will become a member of the Steeplechase Homeowners Association and existing Covenants and Restrictions and other conditions noted on the plat for Steeplechase, Section 7 will apply.
4. The Homeowners Association shall present evidence that all requirements of the Bylaws and/or Declaration of Covenants and Restrictions have been satisfied with regard to reaching an affirmative vote by the required number of homeowners.
5. This approval is subject to further review and approval and conditions imposed by the Departments of Planning and Zoning and Public Works.

COORDINATOR: Marilyn Williams, Technical Review
DATE: March 30, 2023

Attachment #A – Steeplechase, Section 7

Attachment #B – Plat of Proposed Residential Lot

Attachment #C – Letter from Transitional HOA Board

Attachment #D – Letter from Messick Home Improvements

Attachment #E – Aerial Photo of Steeplechase Recreation Area

Attachment #F – Aerial Photo of Steeplechase

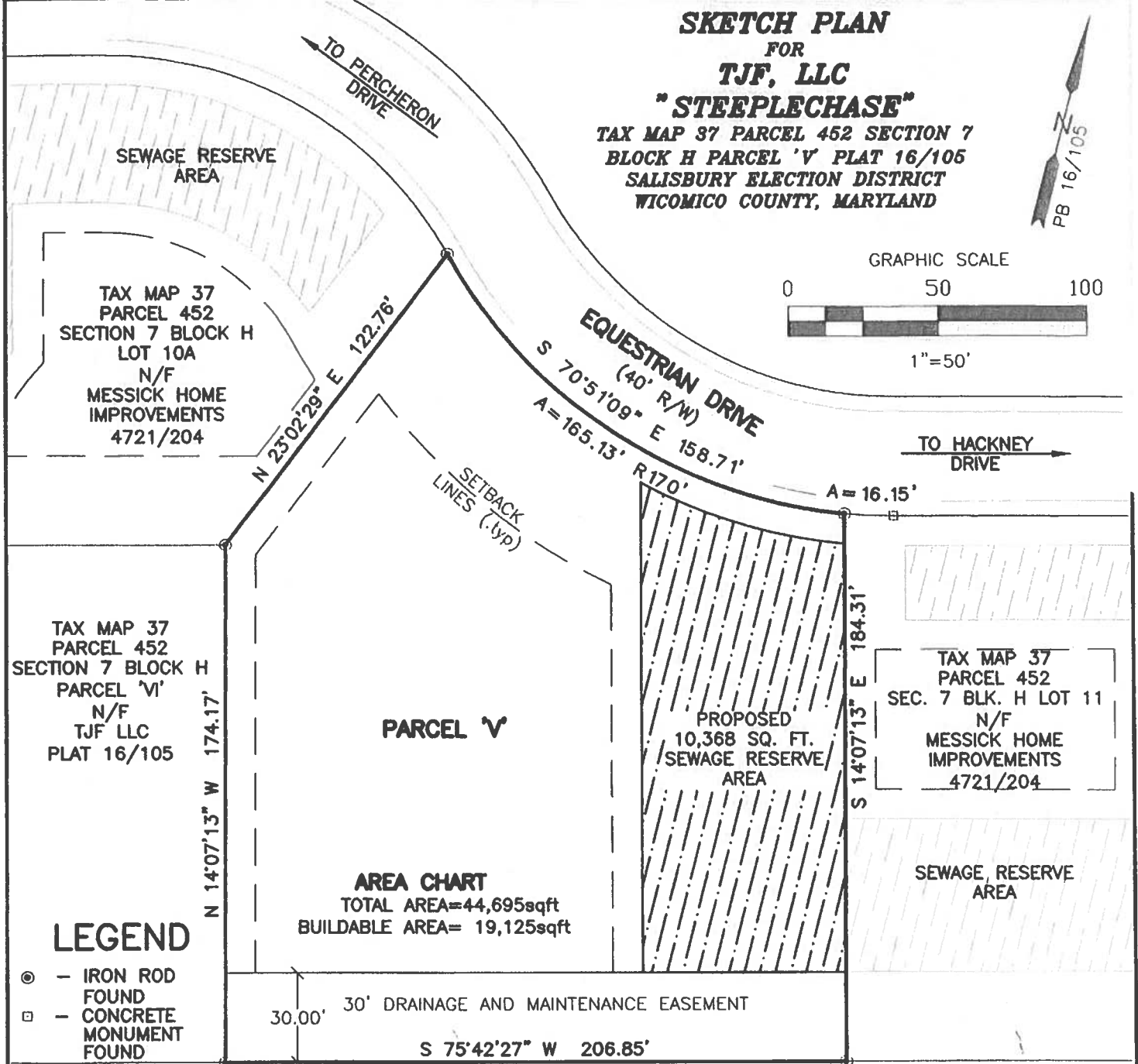
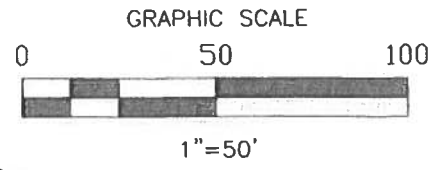
SKETCH PLAN

FOR

TJF, LLC

"STEEPLECHASE"

TAX MAP 37 PARCEL 452 SECTION 7
 BLOCK H PARCEL 'V' PLAT 16/105
 SALISBURY ELECTION DISTRICT
 WICOMICO COUNTY, MARYLAND



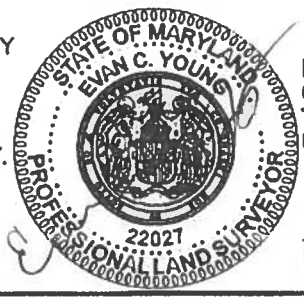
NOTES:

- 1) NO ABSTRACT TITLE WAS PROVIDED PRIOR TO THIS SURVEY.
- 2) ALL UTILITIES ARE OVERHEAD OR AS SHOWN ON THIS SURVEY.
- 3) BASED UPON THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP 24045C 0232 E, DATED 8/17/15, THE LOT SHOWN IS LOCATED IN ZONE X.
- 4) SEWER IS AS SHOWN, WATER IS PROVIDED BY THE CITY OF SALISBURY.
- 5) ALL OFFSETS ARE TO THE ACTUAL FOUNDATION AND DO NOT INCLUDE OVERHANGS.
- 6) SETBACKS: FRONT YARD- 45'
 SIDE YARD- 10'
 REAR YARD- 30'

PEMBERTON DRIVE (60' R/W)

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE MADE A SITE PLAN OF THE PROPERTY SHOWN FOR THE PURPOSE OF ESTABLISHING IMPROVEMENTS THEREON ONLY AS THEY ARE SHOWN. THIS PLAT IS NOT INTENDED FOR USE IN ESTABLISHING THE PROPERTY LINES.



Evan C. Young 2/15/2023
 Evan C. Young DATE
 Professional Land Surveyor MD No. 22027

HAMPSHIRE, HAMPSHIRE, & ANDREWS

720 East College Avenue - Unit D, Salisbury, Maryland 21804
 Phone: 410-742-4673 Email: hhainc@comcast.net
 dba: George E. Young, III; Engineers & Surveyors

DATE DRAWN:	02/15/2023
CADD NAME:	SM23006.DWG
JOB # :	SM23006-A
SHEET	1 OF 1



March 2, 2023

Wicomico County
Department of Public Works
125 North Division Street, Room 201
Salisbury, MD 21801

RE: Steeplechase

In reference to the existing rec lot in Steeplechase Section 7, Messick Home Improvements, Inc, (Builder) and the Steeplechase Homeowners Association are in agreement that consideration should be given to converting the lot into a building lot. The HOA would like to sell the lot to the Builder in order to supplement their necessary reserve funds.

Steeplechase has not yet hit the required 75% capacity requiring the HOA to be transferred from the developer to the homeowners. The HOA is functioning with dual control between Messick Home Improvements and a transitional Board of Directors. The BOD is in agreement with selling the lot and hereby gives Donald L. Messick permission to pursue the necessary approvals. It is understood by all parties that if the lot can not be converted into a building lot the sale would not proceed. This being the case the BOD does not see any need for a full vote from the Homeowners at this time. It is expected control of the HOA will transfer 100% in 2024.

Should you require further information please contact Matt Jones (mattcjones@comcast.net) cell 443-880-5201.

Submitted by,

Matthew Jones, President
Steeplechase Homeowners Asso.

Jason Edward, Vice President
Steeplechase Homeowners Asso.

MESSICK • BUILDERS •

ATTACHMENT D

February 24, 2023

Wicomico County
Department of Public Works
125 North Division Street, Room 201
Salisbury, MD 21801

Attn: Marilyn Williams

We are inquiring about a proposed change of use for Parcel V in Steeplechase Section 7. Legal description Tax Map 37, Parcel 452, Section 7, Block H, Parcel V on Plat 16/105. The property is currently owned by TJF, LLC but will be transferred to the Steeplechase Homeowners Association. Messick Home Improvements, Inc the developer of the community would like to purchase the lot from the HOA and have it converted into a building lot. In accordance with recently passed legislation the SCHOA has had a reserve study performed to assess their common areas, assets and finances and are going to need to make significant changes to be ready to assume control of the Association from the Developer. The transition board of directors agrees that this parcel is not vital for the community and would like to have any future improvements/additions to the amenities located on the parcel where the community pool is located. That address for reference is 27691 Polo Court. In addition to the existing pool, playground and tennis courts there is open space for additional amenities to be added. We would like to know if this area is sufficient to meet any requirements for open space in planned developments and what would be required to allow the rec lot in Sect 7 to become a building lot.

I have attached a proposed sketch plan prepared by Hampshire, Hampshire & Andrews for adding set back lines and a sewage reserve area. Please review all and let us know what additional information is needed for this consideration.

Submitted by,



Donald L. Messick
Developer

Existing Recreational Area



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WICOMICO COUNTY, MARYLAND

DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT
125 N. DIVISION STREET, ROOM 203
P.O. BOX 870
SALISBURY, MARYLAND 21803-0870
PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano
County Executive

Bunky Luffman
Director of Administration

SKETCH PLAT REVIEW

MEETING DATE – APRIL 20, 2023

Application: WP-2301

Date Submitted: 3/21/23

Subdivision Name: Raegan's Run Sketch

Applicant: Parker and Associates
528 Riverside Drive
Salisbury, MD 21801

Owner: Bierman Family, LLC
3440 Dorothy Avenue
Joppa, Maryland 21085

Location: Southerly side of Riverside Drive, northwest of Fruitland

Property Data:

Election District: #16 - Fruitland

Tax Map: 47 **Grid:** 16 **Parcel:** 65

Deed Reference: 3363/268

Chesapeake Bay Critical Area: Partially

Mapped Floodplain: No

Paleochannel Overlay District: No

Subdivision Information:

Present Use of Land: Mostly agricultural

Present Zoning: Town Transition

Surrounding Zoning: Town Transition & R-20 Residential

Approximate total acres in site: 52.94

Proposed number of lots: 10

Proposed average lot size: 1.445 acres

Proximity to community facilities:

School Districts: Fruitland Primary, Fruitland Intermediate, Bennett Middle,
Bennett High

Fire District: Fruitland
Airport: 7 miles
Neighborhood recreation: Fruitland Recreational Park

Other:

Natural features: Open farm land; predominantly flat; regulated stream along a portion of the westerly property line

Drainage: Good

Historic sites: None known

Comprehensive Plan Relationship: Inside the Metro Core

Tier Map Designation: Tier IIA – Areas planned to be served by public, community or shared sewerage system and located within a designated growth area. Major and minor subdivisions allowed. Major subdivisions must be served by a public, shared, or community sewerage system.

Comprehensive Sewerage and Water Plan Relationship:

Water: Not in a planned service area

Sewer: Not in a planned service area

Estimated daily traffic generation: 100 vehicle trips per day

Estimated total population: 25 people

Estimated daily solid waste generation: 88 lbs. per day

Estimated total daily water use: 2,500 gallons per day

Estimated total sewage: 2,500 gallons per day

Recreation demand: .13 acres

School-aged population: 1 child (from Board of Education)

SKETCH PLAT REVIEW

MEETING DATE – APRIL 20, 2023

Subdivision Name:	Raegan's Run	Application:	WP-2301
Jurisdiction:	<input type="checkbox"/> City of Salisbury	<input checked="checked" type="checkbox"/> Wicomico County	
Type of Plat:	<input checked="checked" type="checkbox"/> Sketch	<input type="checkbox"/> Preliminary	
	<input type="checkbox"/> Final	<input type="checkbox"/> Resubdivision	
Applicant:	Parker and Associates 528 Riverside Drive Salisbury, MD 21801		

PROPOSAL:

The applicant proposes the subdivision of 10 lots averaging 1.445 acres each from this property on the southerly side of Riverside Drive. All new lots will have frontage on a new interior cul-de-sac. The land area is in a Town Transition zoning district just northwest of the City of Fruitland.

PLANNING & ZONING COMMENTS:

This project was originally presented as a Sketch Plat in October, 2011 as a 33-lot subdivision. Extensions were granted and a Preliminary Plat was approved in September, 2015. In accordance with §200-10 (B) (2), a Preliminary Plat becomes null and void after one year from the date of such approval unless a final plat is submitted. Therefore, this project is being presented again as a Sketch Plat.

The initial submission of the development included an on-site community septic system which led to the parcel have a Tier IIA designation. If a preliminary plat is approved, a Tier Map change will be required in accordance with the County's 2017 Comprehensive Plan, followed by a revision to the water and sewer plan.

A portion of the property lies within the Limited Development Area of the Chesapeake Bay Critical Area and will become part of Parcel I. Compliance with forest conservation regulations must be met on the remainder of the land.

With regards to the 10' right-of-way shown on the plat as being relocated, either: 1) a deed of easement relocating the 10' right-of-way for the benefit of Parcel 664 must be recorded in the Land Records for Wicomico County prior to Final Plat approval, or the owner(s) of Parcel 664 must become signers on this plat; or 2) a deed extinguishing the right-of-way must be recorded in the Land Records prior to Final Plat approval. The right-of-way serves no purpose since Parcel 664 now has frontage and a driveway along Sharps Point Road.

Although this property is located outside of the mapped floodplain, a 50 foot flood protection setback will be imposed along Malone's Branch.

All lot owners will become members of a homeowners association and the HOA will own Parcels I and II. A deed conveying Raegans Run Drive to Wicomico County will be approved prior to the recordation of the Final Plat.

Given the close proximity of this development to farmland, a Right To Farm note will be added to the plat's "General Notes".

DEPARTMENT OF PUBLIC WORKS COMMENTS:

In their review of the proposed subdivision, the Department of Public Works made note of the following:

Per County Code 200-21, an Improvements Construction Plan shall be approved by the Department of Public Works prior to Final Plat submission. The plan will include stormwater management, street design and entrance details.

Raegan Run Drive shall be constructed as a "Local Street – Urban", WI-100.13 with Type 'A' turnaround, WI 100.70. This includes mountable curb.

Sight triangles to be provided at the new intersection at Riverside Drive.

Tier Map and Water/Sewer Plan updates are required.

BOARD OF EDUCATION COMMENTS:

The Board of Education estimates an increase of 1 child to James M. Bennett Sr. High School and anticipates this subdivision will have minimal impact to current and projected enrollment. Data from the Board of Education also noted that for 2023 projected enrollments, Fruitland Primary is over capacity, Fruitland Intermediate is almost at capacity, Bennett Middle School is at 80% capacity and Bennett High is at 91% capacity.

RECREATION & PARKS COMMENTS:

The Department of Recreation, Parks & Tourism does not believe this subdivision will have a significant impact on parks and recreation or its ability to deliver services.

HEALTH DEPARTMENT COMMENTS:

The Health Department has indicated that the sewage reserve areas are approved.

STATE HIGHWAY ADMINISTRATION:

The State Highway Administration states that this development would have no negative impacts on the State Highway Administration roadway system.

MARYLAND DNR:

The Maryland Department of Natural Resources (comments received August 29, 2011) noted that the Wildlife and Heritage Services have no State or Federal records for rare, threatened or endangered species on this site. An updated endangered species review will be required as part of the Tier Map revision process.

MARYLAND STATE POLICE:

The Maryland State Police indicated that the subdivision will not have a significant effect on their operations.

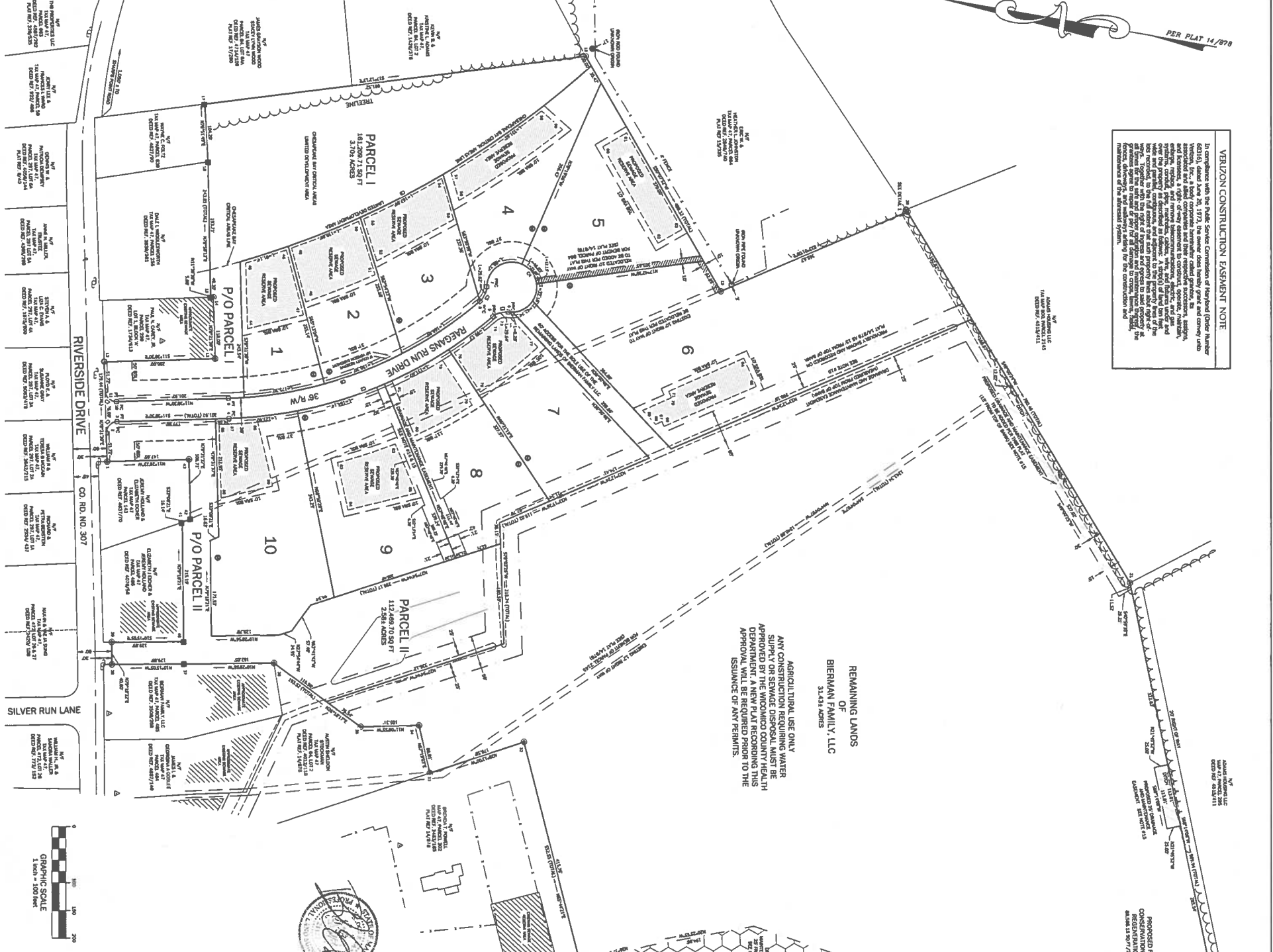
COORDINATOR: Marilyn Williams, Technical Review
DATE: March 30, 2023

Attachment #A – Plat

Attachment #B – Tax Map

Attachment #C – Aerial

Parcel #	Area	Area
1	2317.244	14678.824
2	2527.781	14752.583
3	2312.233	14725.583
4	2314.428	14739.394
5	1878.153	12952.296
6	1825.234	12952.296
7	1896.214	12952.296
8	1896.214	12952.296
9	2211.723	14812.509
10	2211.723	14812.509
11	2211.723	14812.509
12	2211.723	14812.509
13	2211.723	14812.509
14	2211.723	14812.509
15	2211.723	14812.509
16	2211.723	14812.509
17	2211.723	14812.509
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38	2211.723	14812.509
39	2211.723	14812.509
40	2211.723	14812.509
41	2211.723	14812.509
42	2211.723	14812.509
43	2211.723	14812.509
44	2211.723	14812.509
45	2211.723	14812.509



Parcel #	Area	Area
46	2285.459	15178.099
47	2214.548	14979.150
48	2214.233	14922.241
49	2284.303	15113.260
50	2145.913	15181.281
51	2100.025	15092.513
52	2101.480	15172.283
53	2117.591	15187.281
54	2011.453	15283.453
55	1977.267	15144.629
56	1974.102	15250.079
57	1986.912	15296.014
58	1853.495	15454.023
59	1812.376	15407.241
60	1723.988	15395.258
61	1697.811	15422.059
62	1607.703	15286.018
63	1559.486	15264.028
64	1416.627	15029.022
65	1388.679	15013.618
66	1540.142	14914.618
67	1545.457	14922.358
68	1553.500	14915.282
69	1582.178	14958.066
70	1533.711	14967.749
71	1542.023	14977.991
72	1464.680	15054.078
73	1482.028	15058.011
74	1478.905	15099.019
75	1493.615	14979.247
76	1478.946	14918.077
77	1378.207	15015.014
78	1594.078	14942.044
79	1487.085	14892.475
80	1480.115	14820.223
81	2031.802	14902.208
82	2011.683	14793.275
83	2074.912	14627.041
84	2074.912	14627.041
85	1959.308	14718.015
86	2282.207	14795.417
87	2211.459	14783.131
88	2200.412	14779.018
89	2203.683	14694.679
90	2213.975	14686.596

VERIZON CONSTRUCTION EASEMENT NOTE

In compliance with the Public Service Commission of Maryland (Order Number 66010), dated June 26, 1973, the owner does hereby grant and convey unto Verizon Communications Inc. and its successors and assigns, all rights, title and interest in and to the easement area shown on this plat, including but not limited to the right to install, maintain, repair, replace, upgrade, and remove any and all equipment, facilities, and services necessary for the provision of telecommunications services, including but not limited to the installation, maintenance, repair, replacement, and removal of any and all poles, towers, antennas, and other structures, and the right to use any and all of the easement area for the purpose of providing telecommunications services. This easement shall be in full force and effect from the date of the recording of this plat until the date of the termination of the telecommunications services provided by Verizon Communications Inc. to the owner of the easement area.

REMAINING LANDS OF BIERMAN FAMILY, LLC

31.43 ACRES

AGRICULTURAL USE ONLY

ANY CONSTRUCTION OF REMAINING WATER SUPPLY OR SEWAGE DISPOSAL MUST BE APPROVED BY THE WICOMICO COUNTY HEALTH DEPARTMENT. A NEW PLAN RECORDING THIS APPROVAL WILL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY PERMITS.

LOT AND SEWAGE RESERVE AREA TABLE

LOT	AREA SQ. FT. ACRES	DEPTH	AREA SQ. FT. ACRES	RESERVE
1	31,279.53	3.100	15,639.76	50%
2	31,279.53	3.100	15,639.76	50%
3	46,562.57	4.656	23,281.28	50%
4	47,871.84	4.787	23,935.92	50%
5	18,131.61	1.813	9,065.80	50%
6	18,131.61	1.813	9,065.80	50%
7	53,442.92	5.344	26,721.46	50%
8	53,442.92	5.344	26,721.46	50%
9	53,442.92	5.344	26,721.46	50%
10	53,442.92	5.344	26,721.46	50%

Curve Table

CURVE	LENGTH	RADIUS	CHORD	TANGENT	DELTA
C1	31.42	20.00	28.28	20.00	90°00'00"
C2	31.42	78.00	58.88	28.27	38°42'10"
C3	29.64	35.00	28.17	15.78	48°11'20"
C4	21.27	45.00	19.43	19.80	27°01'10"
C5	29.64	35.00	28.17	15.78	48°11'20"
C6	494.50	732.00	463.15	257.10	38°42'20"
C7	31.42	20.00	28.28	20.00	90°00'00"
C8	786.58	1610.20	778.28	401.20	27°01'10"

REVISIONS

NO.	DATE	DESCRIPTION
0001	05/06/2024	AS PER PLAN
0002	05/06/24	AS PER PLAN

SKETCH PLAN FOR RAEGANS RUN SUBDIVISION, SECTION ONE AND THE CORRECTED PLAT OF THE RESUBDIVISION OF THE LANDS OF BRENDA T. YOUNG - LOT 1 LAND THE LANDS OF ANNA M. TOWNSEND

FRUITLAND ELECTION DISTRICT, WICOMICO COUNTY, MARYLAND

DATE: 01/18/2023

SCALE: 1" = 100'

OWNER: BIERMAN FAMILY, LLC

PLANNING DIRECTOR: [Signature]

DATE: 03/08/2023

PROJECT NO: 21119

WICOMICO COUNTY FOREST CONSERVATION ACT

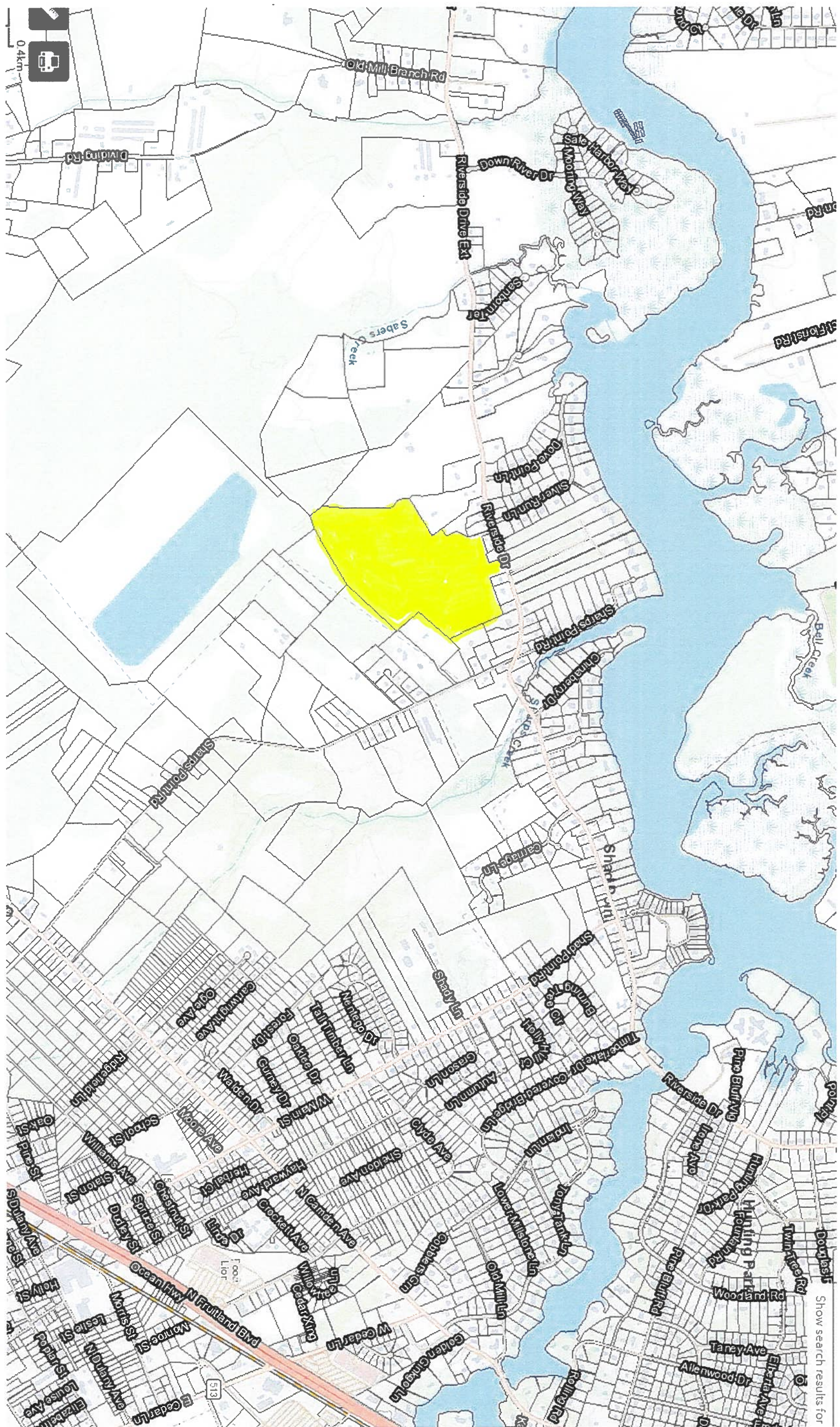
THIS SUBDIVISION IS BOUND BY THE ADJACENTS AS SET FORTH IN FCAR 2016-04 ON FILE IN THE PLANNING OFFICE.

PLANNING DIRECTOR: [Signature]

DATE: [Blank]

LEGEND

- NON ROD PLACED
- CONCRETE MANHOLE PLACED
- NON PIPE FOUND
- CONCRETE MANHOLE FOUND
- NON REBAR FOUND
- PROPOSED WELL
- PROPOSED COMPACTED ADAPTER WELL
- EXISTING WELL
- EXISTING UTILITY POLE
- BUILDING SETBACK LINE (BSL)
- BOUNDARY & MAINTENANCE EASEMENT
- SERVICE RESERVE AREA AND BOUNDARY SETBACK LINE (BSL)
- PROPOSED SERVICE AREA
- EXISTING SERVICE AREA
- FOREST CONSERVATION AREA
- RELOCATED 12' RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING WOODS LINE







WICOMICO COUNTY, MARYLAND

DEPARTMENT OF PLANNING, ZONING AND COMMUNITY DEVELOPMENT
125 N. DIVISION STREET, ROOM 203
P.O. BOX 870
SALISBURY, MARYLAND 21803-0870
PHONE: 410-548-4860 | FAX: 410-548-4955

Julie M. Giordano
County Executive

Bunky Luffman
Director of Administration

STAFF REPORT

MEETING OF APRIL 20, 2023

CASE NO: WP-2302

APPLICANT: Becker Morgan Group, Inc.

PROPERTY

OWNER: Eastern Shore Distributing Limited Partnership

LOCATION: 811 Snow Hill Road in Salisbury, MD

County Tax Map #48
Parcel #311, Lot 1A, Grid #4

ZONING: C-1 Select Commercial District

REQUEST: Site Plan Review –Storage Building

I. SUMMARY OF REQUEST

A. Introduction.

The Applicant is requesting approval for a 2,000 square foot storage building to be constructed on Snow Hill Road. The property is owned by Eastern Shore Distributing Limited Partnership. The proposed building will be located directly behind the 33,745 square foot warehouse currently owned and operated by Eastern Shore Distributing Limited Partnership.

B. Development Scheme.

The Site Plan depicts the location of the proposed building as well as the existing warehouse, entrance, parking spaces, and stormwater management facilities. The proposed building is 2,000 square feet with a garage door and a door for employees and patrons.

The location of the proposed building will be behind the existing warehouse in an area that is currently three existing parking spaces for delivery trucks. These three existing parking spaces will be removed for the proposed building.

C. Surrounding Area Development

This site is located on Snow Hill Road in an area zoned Select Commercial (C-1). The site is also located just north of the intersection of Snow Hill Road and Beaglin Park Drive.

Surrounding the property to the north is Kitchen Concepts. To the south is the 817 Snow Hill Road shopping center featuring Food Lion, KareMore Pharmacy, and several other commercial businesses. Across the street from the site is Salisbury Storage, a commercial self-storage facility.

D. Access to the Site.

The Site Plan indicates that the proposed building will not affect access to the site, as the proposed building will be behind the warehouse

II. SITE PLAN REVIEW:

Section 225-35(E) of the Code requires review and approval of a Site Plan by the Planning Commission for all development in the C-1 Select Commercial District.

Planning Staff has determined that the Site Plan is in general conformance with the regulations. The proposed Site Plan is included as **Attachment #4**.

A. Code Requirements

The development of this site is consistent with uses permitted inherently in the C-1 Select Commercial District.

- 1. Setbacks:** The Code requires a 30' front setback, 30' rear setback, and a total of 30' side setbacks, except adjoining residential districts. The placement of the proposed building meets or exceeds these requirements – the proposed rear yard setback is 65' and the closest side yard setback is 95'.

2. **Parking:** Parking for this use was approved by the Planning Commission in December 2013 when a ±19,000 sq. ft. addition was approved. Parking for employees and visitors will not be affected by this proposed building. Although three spaces for delivery trucks will be removed, the Code does not specify that a required number be provided.

III. PLANNING COMMENTS:

Planning Staff is supportive of the proposed development with the recommendations noted below.

IV. STAFF RECOMMENDATION:

Staff recommends that the Planning Commission grant Site Plan Approval for Eastern Shore Distributing Limited Partnership subject to the following Conditions:

1. The site shall be developed in accordance with the approved Site Plan. Minor plan adjustments may be approved by the Wicomico County Zoning Administrator.
2. Subject to building permit approval by the Planning and Zoning Permits and Inspections Division.
3. Subject to further review and approval for stormwater management by the Wicomico County Public Works Department.

Coordinator: Ben Zito & Gary Pusey



ARCHITECTURE
ENGINEERING

PLANNING OUR
CLIENTS' SUCCESS

BECKER MORGAN GROUP, INC.

ARCHITECTURE & ENGINEERING

309 SOUTH GOVERNORS AVENUE
DOVER, DELAWARE 19904
302.734.7950
FAX 302.734.7965

RITTENHOUSE STATION
250 SOUTH MAIN STREET, SUITE 109
NEWARK, DELAWARE 19711
302.369.3700

PORT EXCHANGE
312 WEST MAIN STREET, SUITE 300
SALISBURY, MARYLAND 21801
410.546.9100
FAX 410.546.5824

ARCHITECTURE & PLANNING

3205 RANDALL PARKWAY, SUITE 211
WILMINGTON, NORTH CAROLINA 28403
910.341.7600
FAX 910.341.7506

www.beckermorgan.com

March 27, 2023

Mr. Ben Zito
Wicomico County Dept. of Planning, Zoning, and Community Development
125 N. Division Street, Room 201
Salisbury, Maryland 21801

Re: **Planning Commission**
Eastern Shore Distributing
811 Snow Hill Road
Salisbury, Maryland
2013110.03

Dear Ben:

Please find attached hereto 5 sets of site plans, 5 sets of architectural plans, and the \$270.00 application fee to the get on the April 20th Planning Commission agenda. This project is to be reviewed by the Planning Commission for a proposed accessory structure to be constructed at 811 Snow Hill Road, Wicomico County, Maryland for Eastern Shore Distributing.

The existing site is office / warehouse is identified as Tax Map 48, Grid 4, Parcel 311. The total parcel area is 3.36 acres ± in size.

Eastern Shore Distributing is proposing construct a pole building. The project only adds an additional 480 sq.ft. of impervious surface and has a limit of disturbance of 3,620 sq.ft. This project is exempt from Stormwater and Erosion & Sediment Control requirements.

Should you have any questions at all regarding this request, please feel free to contact me at 410-546-9100 or by email at thastings@beckermorgan.com.

Sincerely,

BECKER MORGAN GROUP, INC.




















Edward H. Hastings, PMP
Associate

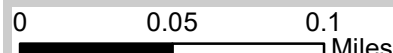
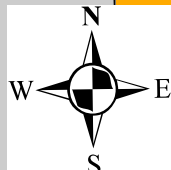
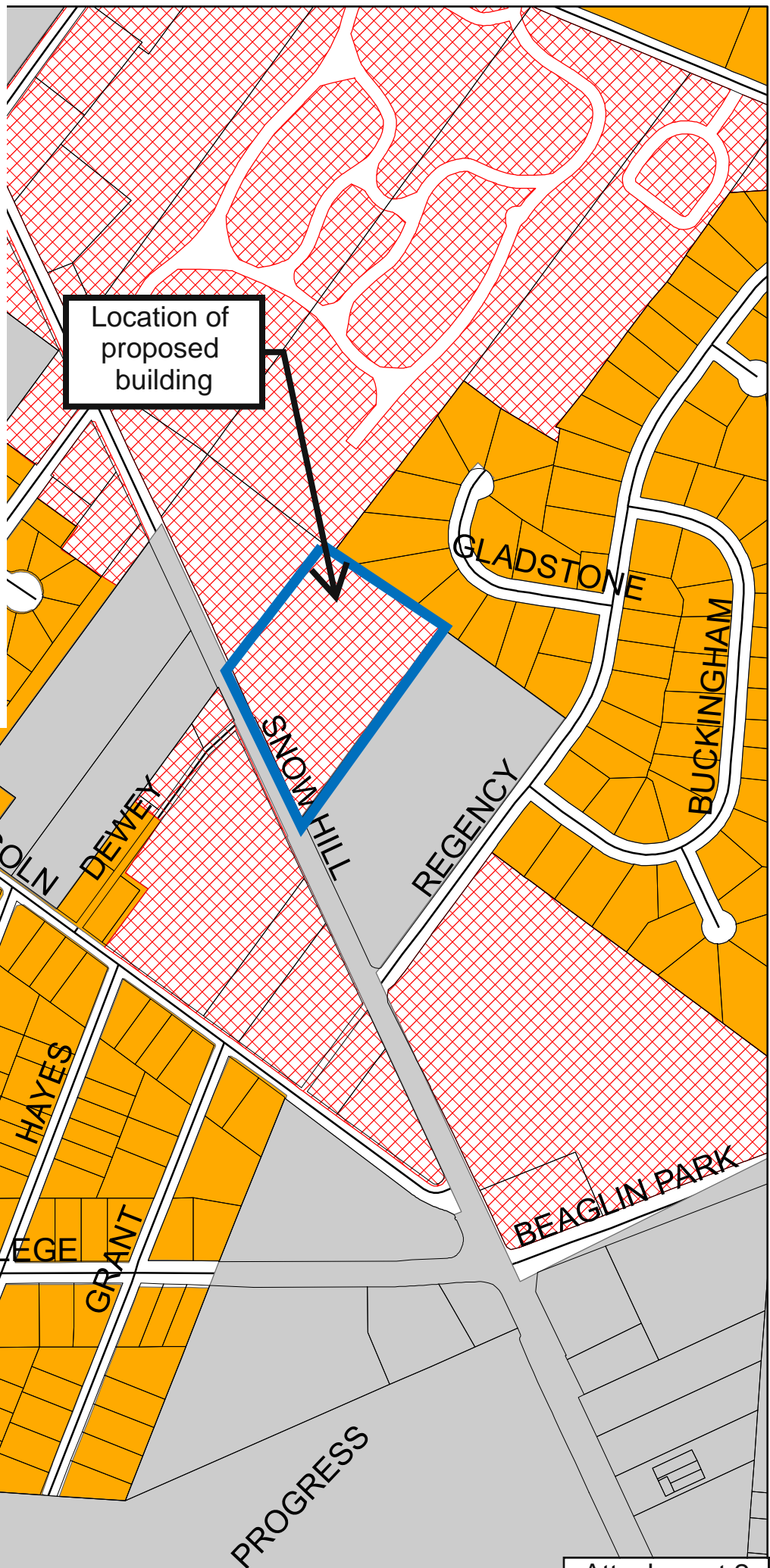
ehh/

enc: - five (5) sets – Site Plan
five (5) sets – Architectural Plans

201311003e-ltr-Planning.docx

Wicomico County Zoning

-  A - 1 Agricultural - Rural
-  Airport Business Park
-  C - 1 Select Commercial
-  C - 2 General Commercial
-  C - 3 Regional Commercial
-  CID Corporate Industrial District
-  I - 1 Light Industrial
-  I - 2 Heavy Industrial
-  LB - 1 Light Business & Institutional
-  LB - 2 Light Business & Residential
-  R - 8 Residential
-  R - 15 Residential
-  R - 20 Residential
-  R - 30 Residential
-  REC Residential, Educational & Cultural
-  TT Town Transitional
-  VC Village Conservation
-  Municipality

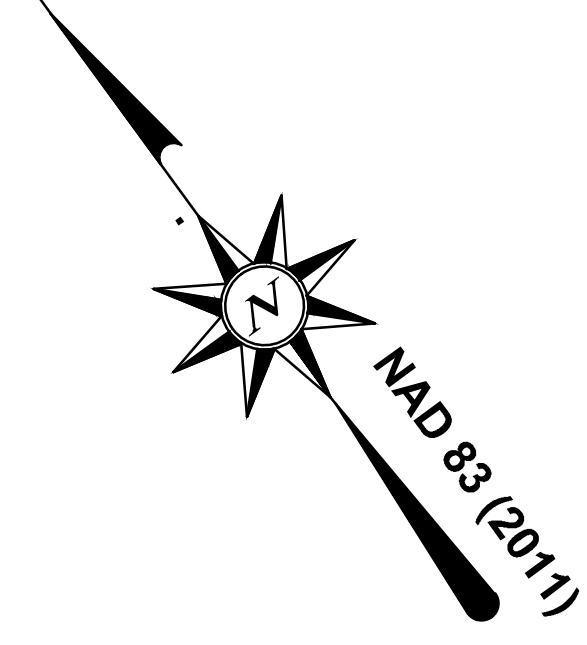
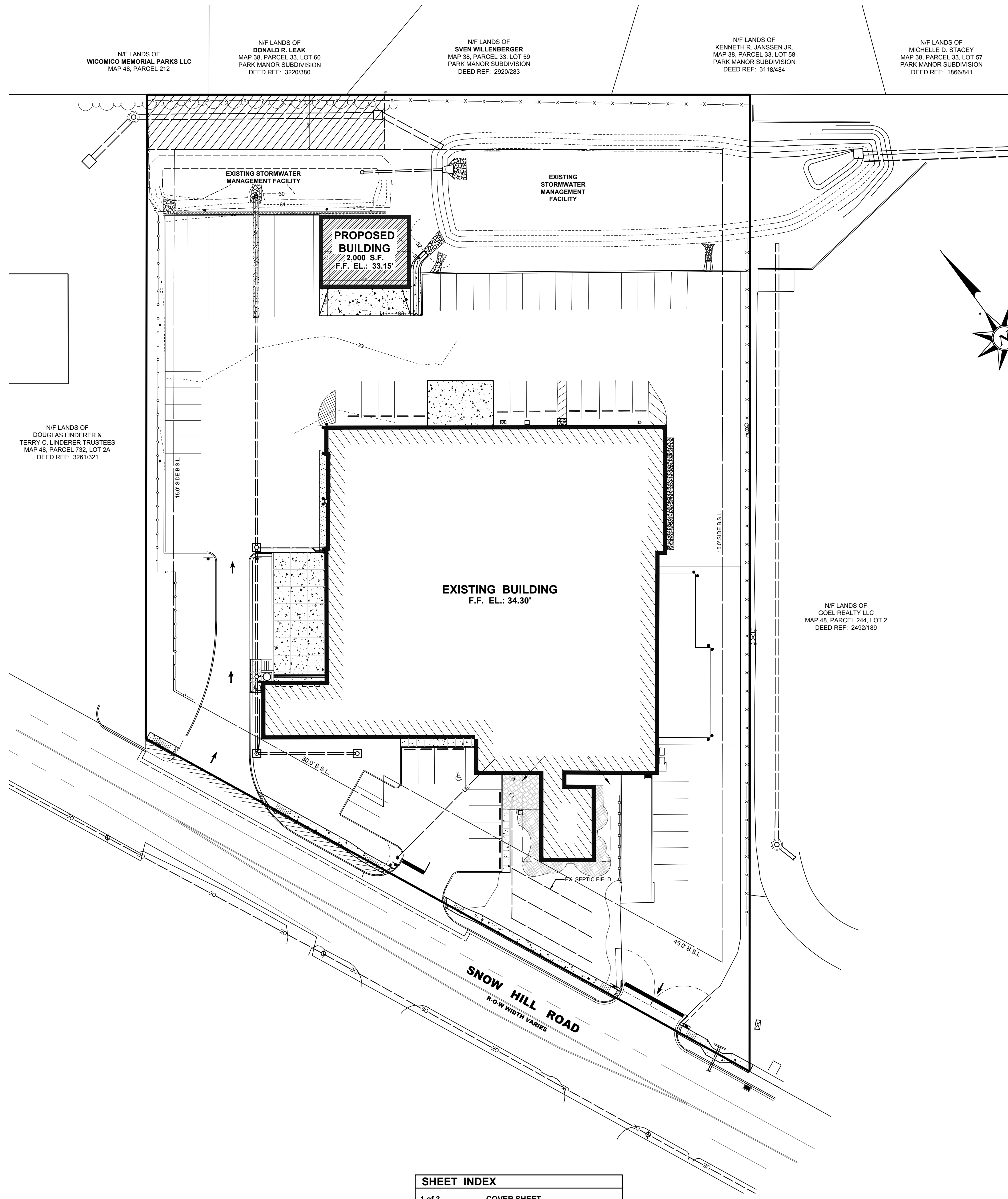
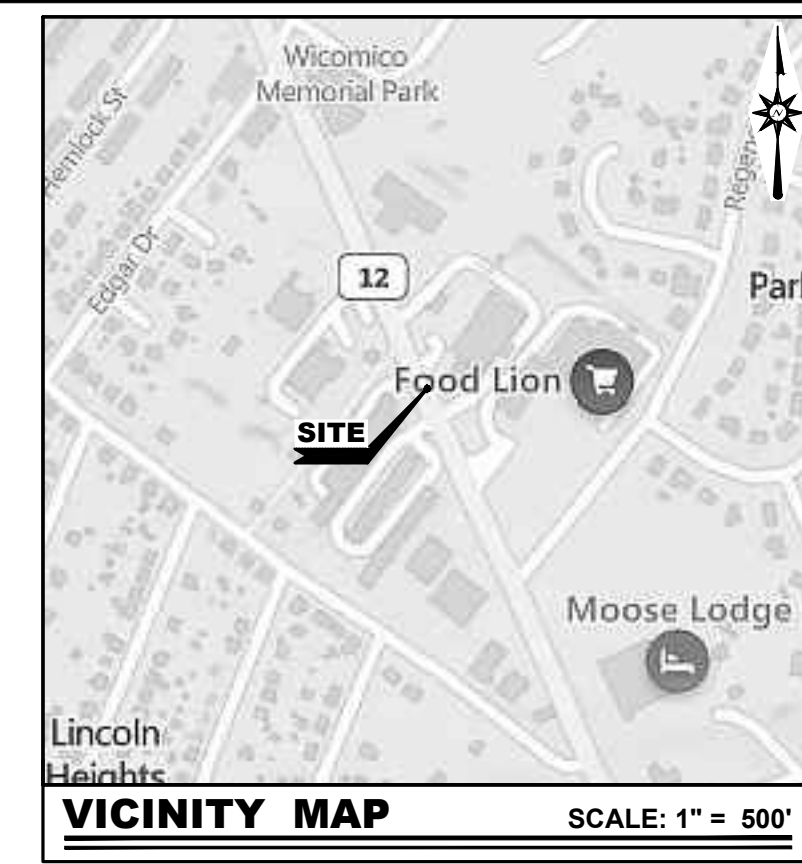


Snow Hill Circle

Dewey Avenue

Snow Hill Road (MD 12)

Location of proposed building



LEGEND		
ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE (S) SIZE & FLOW DIRECTION	→ EX. 10" S	→ 10" S
SANITARY SEWER FORCE MAIN (F.M.) SIZE & FLOW DIRECTION	→ EX. 10" F.M.	→ 12" F.M.
SANITARY SEWER MANHOLE (S.S.M.H.)	⊙	⊙
SANITARY SEWER CLEANOUT (C.O.)	⊙	⊙
WATER MAIN & SIZE	→ EX. 10" W	→ 12" W
FIRE HYDRANT (F.H.)	⊗ F.H.	⊗ F.H.
WATER VALVE (W.V.) OR METER (W.M.)	⊙ W.M. W.V.	⊙ W.M. W.V.
STORM DRAIN MANHOLE (S.D.M.H.)	⊙	⊙
STORM DRAIN LINE (CMP, RCP, HDPE)	→ → →	→ → →
CATCH BASIN (C.B.)	⊙	⊙
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE (O.T.), ELECTRIC (O.E.))	⊙	⊙
UNDERGROUND ELECTRIC (U.E.)	- - - U.E.	- - - U.E.
UNDERGROUND TELEPHONE (U.T.)	- - - U.T.	- - - U.T.
UNDERGROUND GAS MAIN (G)	- - - EX. 2" G	- - - 2" G
CONCRETE CURB & GUTTER	▬	▬
CONCRETE SIDEWALK, SLAB / PAVING	▬	▬
IMPERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT	▬	▬
INDIVIDUAL TREE OR BUSH	EVERGREEN DECIDUOUS	N/A
WIRE FENCE	⊗	⊗
CHARLINK FENCE	⊗	⊗
STOCKADE FENCE	⊗	⊗
STRUCTURE (CONCRETE, WOOD, METAL ETC.)	▬	▬
DRAINAGE DITCH OR SWALE	▬	N/A
WETLAND BOUNDARY LINE	▬	N/A
CONTOUR	49.55	55
ELEVATION SPOT SHOT	⊙	⊙
BENCHMARK	⊙	N/A
PROPERTY OR RIGHT-OF-WAY LINE	▬	▬
CENTERLINE	⊙	⊙
LIGHT POLE	⊙	⊙

SHEET INDEX	
1 of 3	COVER SHEET
2 of 3	EXISTING CONDITIONS PLAN
3 of 3	SITE PLAN

SITE DATA	
1. SITE NAME:	EASTERN SHORE DISTRIBUTING LIMITED PARTNERSHIP
2. SITE ADDRESS:	811 SNOW HILL ROAD SALISBURY MD, 21804 CONTACT: ROBERT J. BURKE, JR. PHONE: 410-742-5747 EMAIL: RBURKE@ESDBUD.COM
3. ENGINEER/SURVEY:	BECKER MORGAN GROUP, INC. C/O TED HASTINGS 312 WEST MAIN STREET, SUITE 300 SALISBURY, MD 21801 410-546-9100
4. GEOGRAPHIC COORDINATES:	LATITUDE: 38°21'05.10" N LONGITUDE: 75°35'00.76" W
5. TAX MAP:	48
6. GRID:	4
7. PARCEL:	311
8. LOT:	1A
9. DEED BOOK/PAGE:	1320/ 170
10. PLAT:	16/ 514
11. PARCEL AREA:	3.36 ACRES ±
12. JURISDICTION:	WICOMICO COUNTY
13. ZONE:	C-1 SELECT COMMERCIAL
14. MINIMUM YARD AND SETBACK REQUIREMENTS PER C-1 ZONING:	FRONT: 30 FEET REAR: 5 FT. MIN., 30 FT. TOTAL SIDE: 30 FT. (ADJACENT TO RESIDENTIAL)
15. WICOMICO COUNTY WATER AND SEWER SERVICE AREA: S-1 & W-1.	
16. PRESENT USE:	COMMERCIAL
17. PROPOSED USE:	COMMERCIAL
18. FLOOD ZONE DETERMINATION:	(BASED ON FLOOD INSURANCE RATE MAPS PROVIDED BY FEMA)
19. FIRM MAP:	24045C0130E
EFFECTIVE DATE:	AUGUST 17, 2015
FIRM ZONE:	"X" AREAS DETERMINED BY FLOODPLAIN
20. DISTURBANCE:	3,620 SQ. FT.

EASTERN SHORE DISTRIBUTING OUTBUILDING
 811 SNOW HILL ROAD
 CITY OF SALISBURY
 WICOMICO COUNTY, MD

COVER SHEET



ISSUE BLOCK		
MARK	DATE	DESCRIPTION

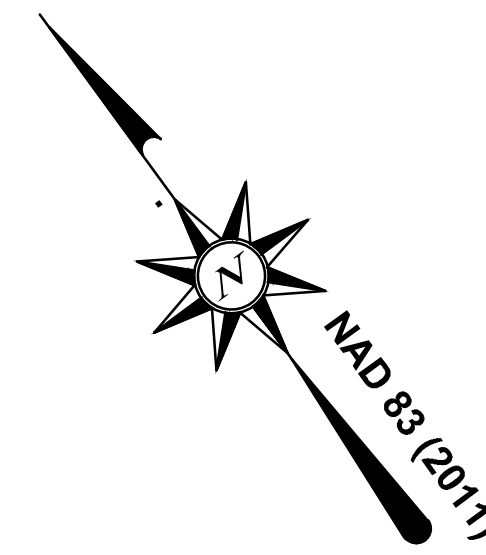
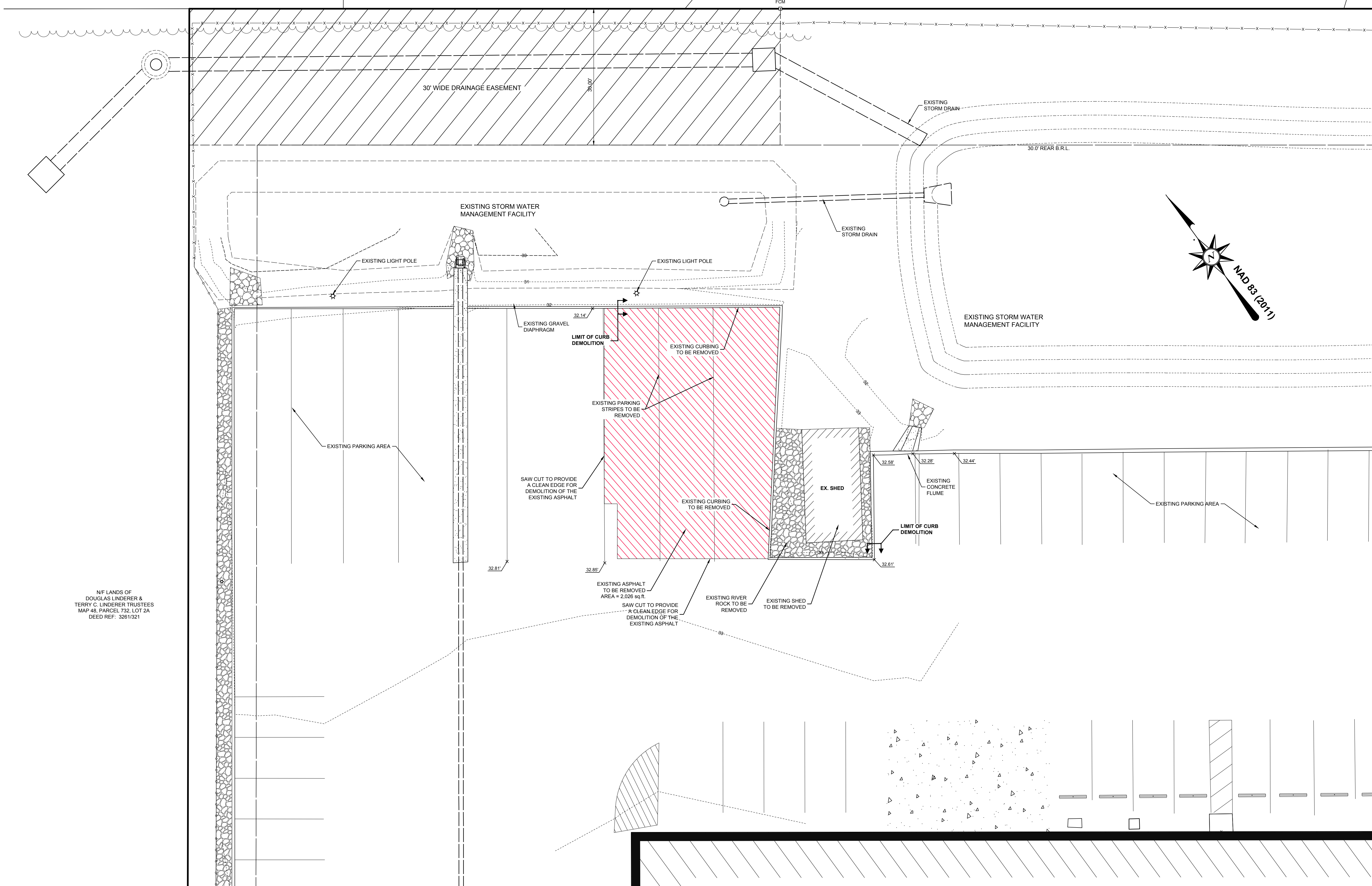
PROJECT NO.: 2013110.03
DATE: 03/07/2023
SCALE: 1" = 30'
DRAWN BY: E.H.H. **PROJ. MGR.:** E.H.H.

N/F LANDS OF
WICOMICO MEMORIAL PARKS LLC
MAP 48, PARCEL 212

N/F LANDS OF
DONALD R. LEAK
MAP 38, PARCEL 33, LOT 60
PARK MANOR SUBDIVISION
DEED REF: 3220/380

N/F LANDS OF
SVEN WILLENBERGER
MAP 38, PARCEL 33, LOT 59
PARK MANOR SUBDIVISION
DEED REF: 2820/283

N/F LANDS OF
DOUGLAS LINDERER &
TERRY C. LINDERER TRUSTEES
MAP 48, PARCEL 732, LOT 2A
DEED REF: 3261/321



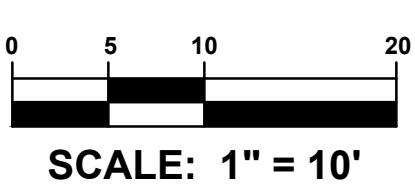
PROJECT TITLE

**EASTERN
SHORE
DISTRIBUTING
OUTBUILDING**

811 SNOW HILL ROAD
CITY OF SALISBURY
WICOMICO COUNTY, MD

SHEET TITLE

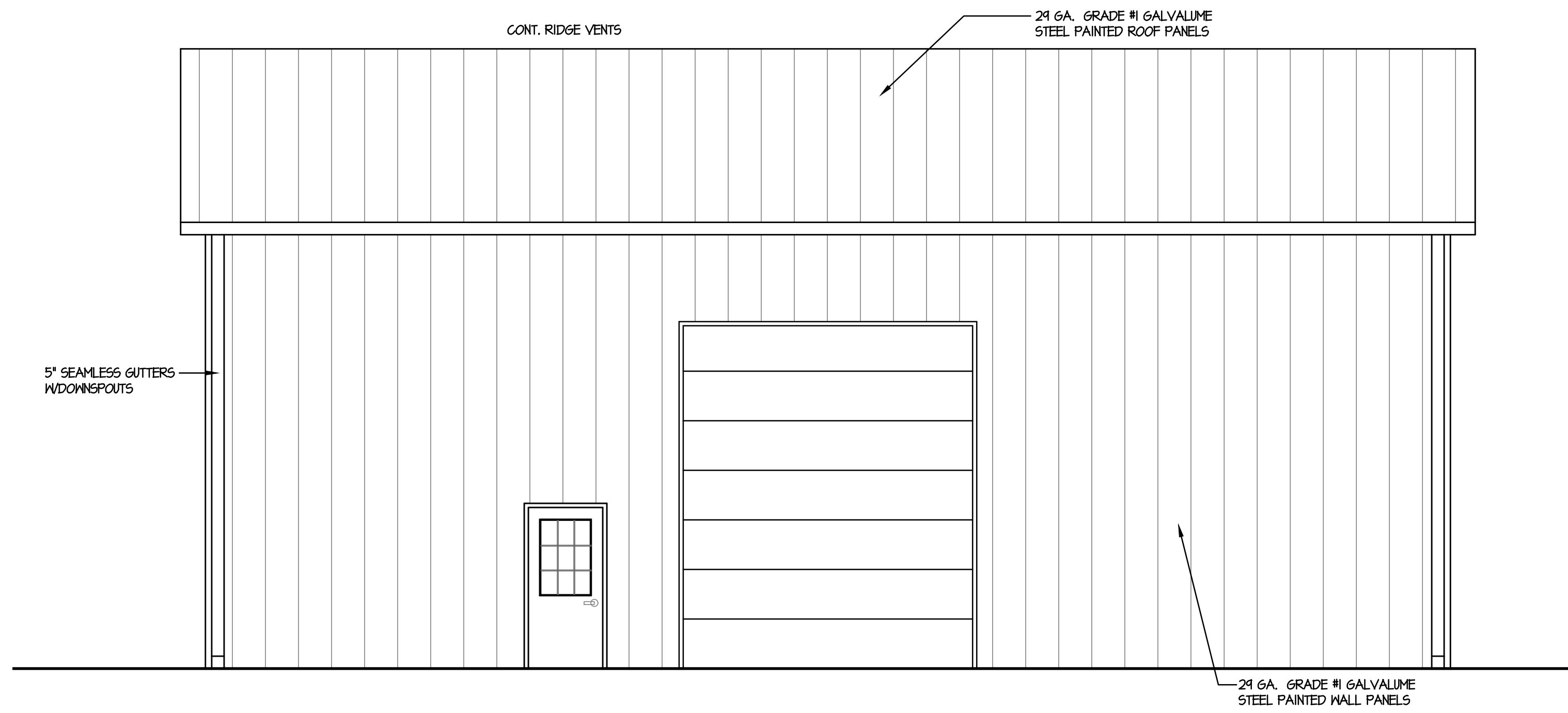
**EXISTING
CONDITIONS &
DEMOLITION PLAN**



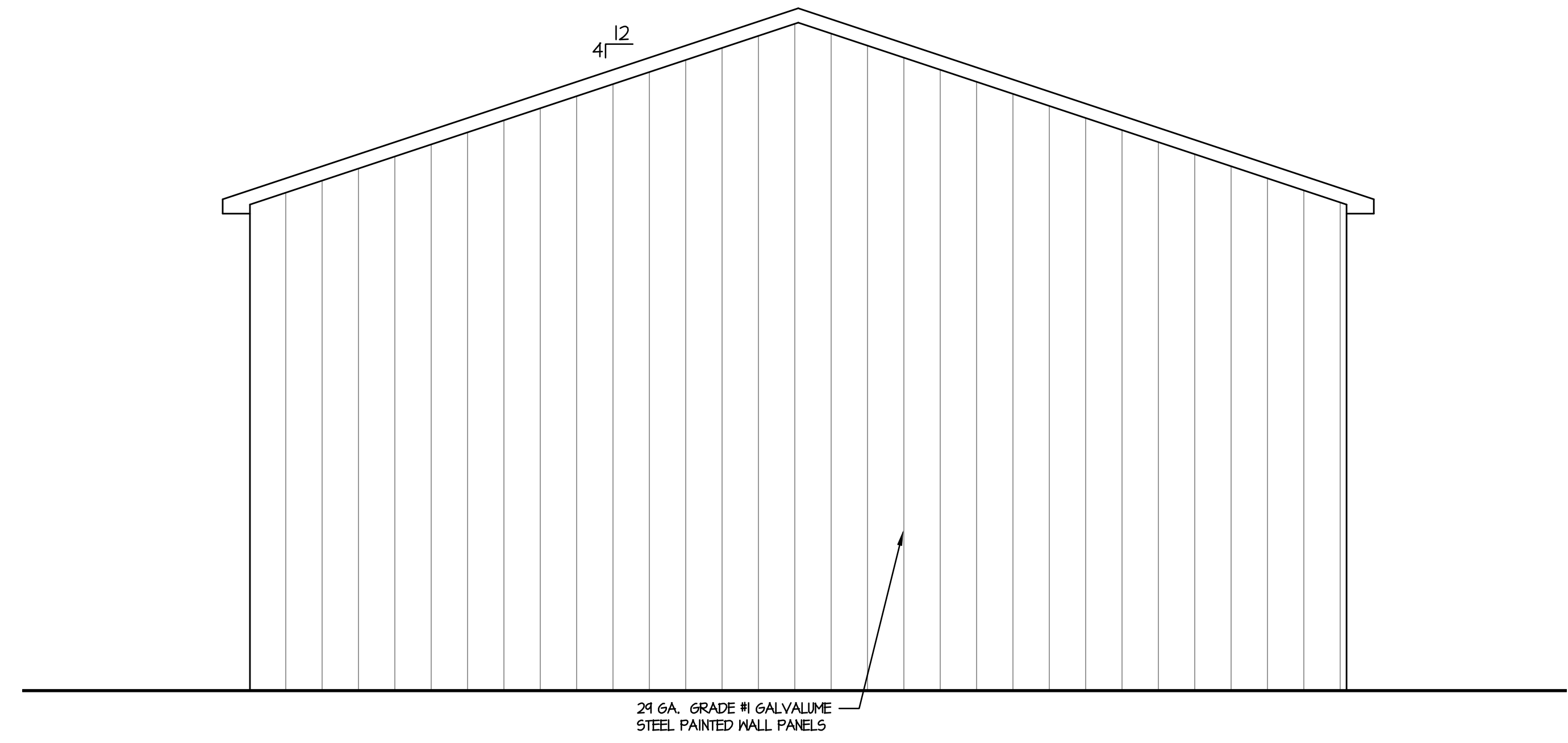
MARK	DATE	DESCRIPTION
LAYER STATE: C-101		

PROJECT NO.: 2013110.03
DATE: 03/07/2023
SCALE: 1" = 10'
DRAWN BY: E.H.H. | PROJ. MGR.: E.H.H.

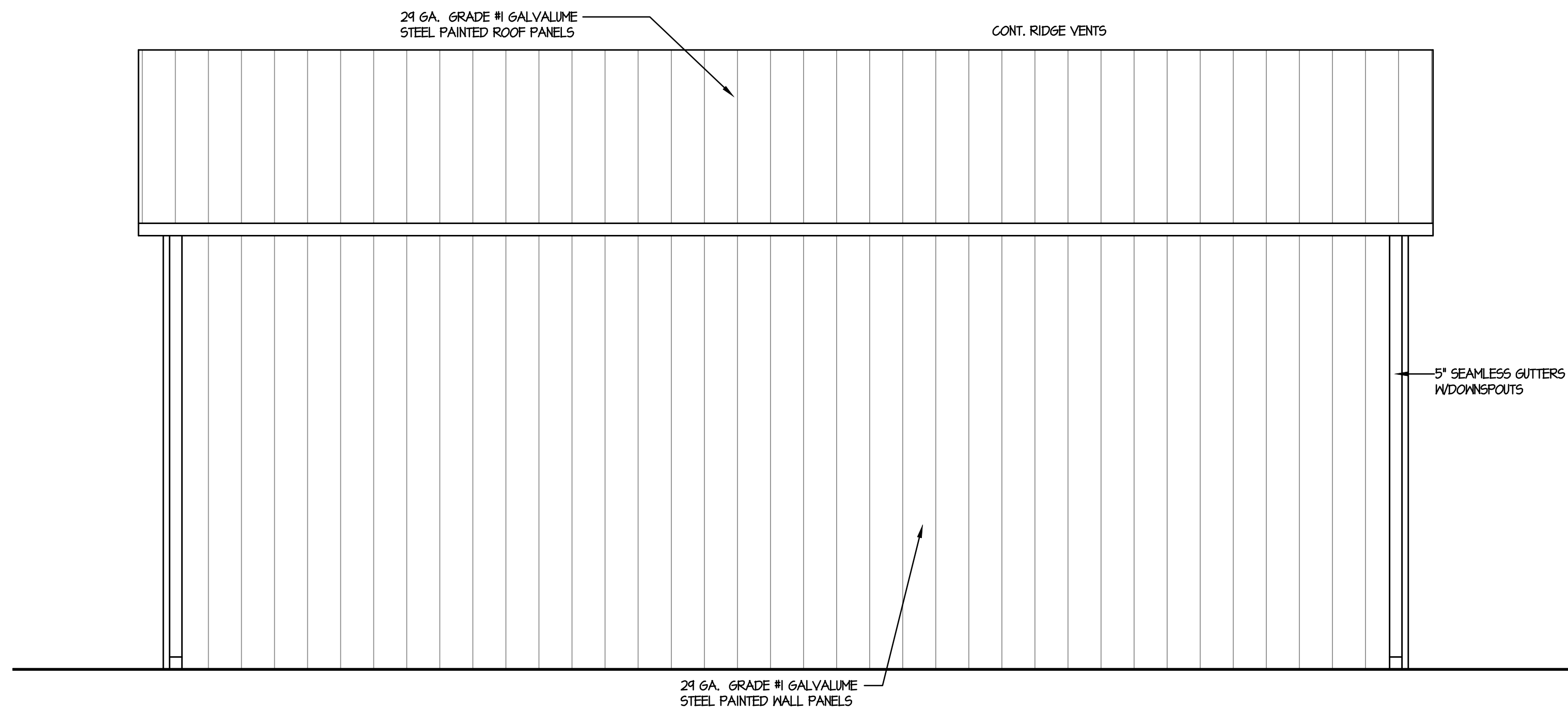
SHEET
C-101
COPYRIGHT: 2023



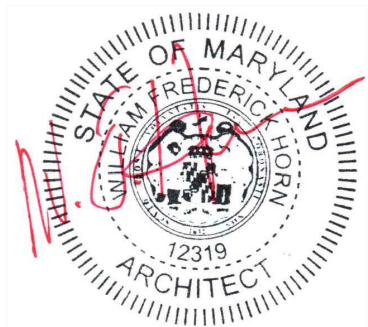
1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION SAME AS LEFT SIDE ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 12319, EXPIRATION DATE 1/6/2024.

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF DIAMOND STATE POLE BUILDINGS. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.



NEW BUILDING FOR
JOSHUA MASON
811 SNOW HILL RD
SALISBURY, MARYLAND

ELEVATIONS

PRINTED 03/10/23 - FOR CONSTRUCTION

DESIGNED	WFH
DRAWN	PAH
CHECKED	WFH
DATE	02/13/23
PROJ. NO.	32319
SCALE	AS NOTED
SHEET NO.	A2.1

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Infrastructure and Development Staff Report

April 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Charleys Cheesesteaks
Applicant/Owner: General Contracting Enterprises for Charleys Cheesesteaks
Infrastructure and Development Case No.: 202300207
Nature of Request: Revised Sign Plan Approval
Location of Property: 2702 N. Salisbury Blvd.
Existing Zoning: General Commercial

II. SUMMARY OF REQUEST:

The applicant has submitted a Revised Sign Plan to install a new wall sign on the existing Wal-Mart building. The proposed sign will also introduce a new color to the approved color palette for the store. **(Attachment1)**

III. DISCUSSION:

The applicant is proposing to install a new "Charleys Cheesesteak" wall sign on the existing building. The sign has been approved by the property owner. **(Attachment 2)**

IV. APPROVAL HISTORY:

In October of 1991, the Salisbury Planning Commission granted Final Comprehensive Development Plan for construction of the North Pointe Plaza shopping center, which includes Sam's, Wal-Mart, Lowes, and the associated outparcels.

A Revised Comprehensive Development Plan was approved by the Commission in February of 2000 for the expansion of the store to the current Walmart Supercenter. Subsequent other site plan approvals and revisions have been approved including the Verizon store, Wendy's, Sam's Club expansions and revisions, Dunkin' Donuts, Moe's, and most recently, the Burger King plan review in November of 2016. The most recent approval for Walmart occurred on December 21, 2017. This approval included changing the building color scheme and sign plan to what is currently displayed.



City of
Salisbury
John "Jack" R. Heath, Mayor

V. SIGN PLAN REVIEW:

A new "Charleys Philly Steaks" wall sign is proposed for the east (front) wall, adjacent to the store's south/grocery entrance, and is a 20.7 sq. ft. internally illuminated cabinet sign. Colors are red, white and brown, which is a new color that will be introduced to the building's color palette. **(Attachment 1)** A similar tenant sign was previously approved for this area of the building, while another tenant sign also exists on the north end of the building, near the pharmacy entrance. **(Attachments 3 & 4)**

VI. PLANNING CONCERNS

None. The proposed sign is slightly larger (20.7 sq. ft vs. 19.7 sq. ft.) than the previously approved tenant sign that was in this location, while the addition of the color brown to the approved colors is a minor change.

VII. RECOMMENDATION

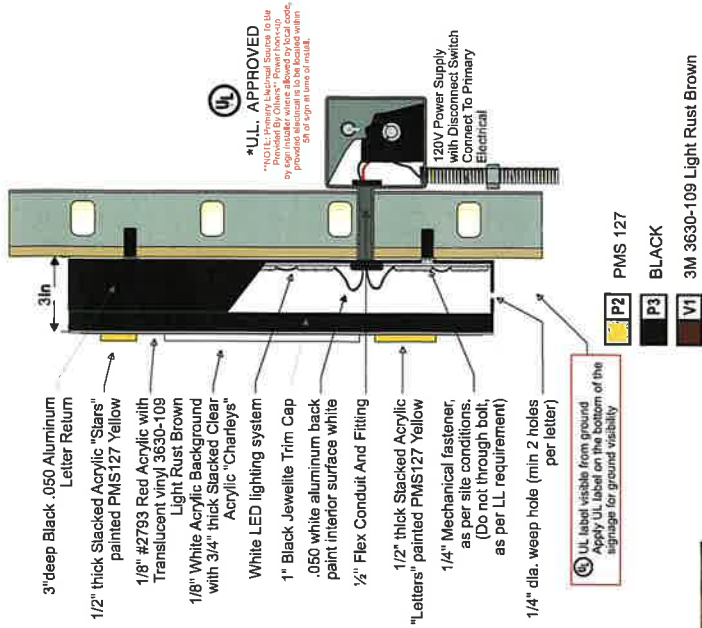
Staff recommends approval of the Revised Sign Plan for Charleys Cheesesteaks as submitted.

PROPOSED: Exterior

Note: Survey needed to confirm wall measurements, existing blocking, and electrical access. GC to supply needed electrical to run power to the sign



"CHARLEY'S LOGO" FAB / INSTALL SPECS



PREVIOUS TENANT SIGN



PROPOSED EXTERIOR ELEVATION



Attachment 1



MFG / Nat'l Account Svcs:
4805 Wright Drive, Bldg. A
Smyrna, GA. 30082
(770) 989-1290

Corporate:
3548 Allentia Rd.
Smyrna, GA. 30080
(770) 431-0807

comSIGNS.com

This Drawing is the Sole Property of Charley's and may not be copied, reproduced without consent, or used for any other purpose without the written Acceptance of Approval



PROJECT ADDRESS:
Whisper #180
2702 North Salisbury Blvd.
Salisbury, MD 21807

SALES REP: Derrick McCravy
PM INITIALS: AL
DRAWN BY INITIALS: SD
ORIGINAL DATE: 06/17/22

SIGN CODE INFO:
N/A

SD: FT. SHOWN: 20.7 sq. ft.
SD: FT. ALLOWED: N/A

Walmart



LETTER OF AUTHORIZATION

Date: 2/14/23

Project Business Name: Charleys Philly Steaks – Walmart #1890

Project Address: 2702 N SALISBURY BLVD, Salisbury, MD 21801

Property Owner Information

Company Name: Wal-Mart Stores, Inc
Mailing Address: 702 SW 8th Street, Bentonville, AR 72712-0565
Telephone Number: 800-925-6278

Authorization

I, the undersigned, do hereby attest that I am the legal owner of the property described herein and authorize General Contracting Enterprises, to acquire the necessary sign permits and provide installation services on said signs.

Property Owner Name (Printed): Wal-Mart Real Estate Business Trust

Property Owner Signature: Rex Weerd

Notary Public

In the County of Benton State of AR on this date 2/15/23

Sworn to (or affirmed) and subscribed before me via physical presence or online notarizations, by

Rex Weerd personally known X OR produced identification _____

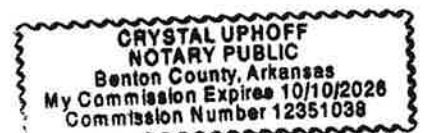
Type of identification produced _____

Notary Printed Name Crystal Uphoff

Notary Signature Crystal Uphoff

Commission Number 12351038

My Commission expires: 10/10 20 20





Google Street View*
Jun 2008 See latest date

Image capture: Jun 2008 © 2023 Google

← 2702 N Salisbury Blvd

Street View & 360°

All



Google Street View
Oct 2019 See latest date

Image capture: Oct 2019 © 2023 Google

← 2702 N Salisbury Blvd

All Street View & 360°



Infrastructure and Development Staff Report

April 20, 2023

I. BACKGROUND INFORMATION:

Project Name: Heritage

Applicant/Owner: Parker & Associates Inc. for Heritage Revival LLC

Infrastructure and Development Case No.: 202300326

Nature of Request: Final Comprehensive Development Plan Approval

Location of Property: Pemberton Drive – Culver Road – Parcel 144

Existing Zoning: R-8A Residential

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a Final Comprehensive Development Plan with typical lot details, and building elevations, for construction of 133 single family dwellings and 175 townhouses (308 units total). **(Attachment 1)**

III. DISCUSSION:

The applicants propose to construct this project with new public water, sewer, streets, sidewalks and streetlighting. The total acreage of the site to be developed is 55.31 acres.

IV. APPROVAL HISTORY:

This site originally received Comprehensive Development Plan approval from the Planning Commission in November 2003 with various modification and revisions over the years. A revised Preliminary Comprehensive Development Plan was approved for the project in December of 2021. The site fronts on the northwest side Pemberton Drive, near Pemberton Elementary School. **(Attachments 2 & 3)**

V. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



A. Site Plan

- 1. Density:** The R-8A Residential District requires a minimum 8,000 sq. ft. lot with minimum interior lot widths of 60 and minimum corner lot widths of 75 ft. Proposed townhouse lots are a minimum 2,000 sq. ft. The proposed layout adheres to these requirements. Overall density is about 5.5 units per acre. **(Attachment 4)**
- 2. Parking/Streets:** The Zoning Code requires parking to be provided at two (2) spaces per dwelling. The proposal is compliant showing a two-car garage for the single-family units and a two-car driveway for the townhouse units. However, some townhouse parking spaces do not meet the minimum depth of 18 ft. as required by the Zoning Code. Public streets are proposed for this development. **(Attachment 4)**
- 3. Refuse Disposal:** The plan states that trash collection will be private. No refuse disposal areas are indicated on the final plan, as roll-out curb containers will be utilized.
- 4. Building Setbacks/Spacing:** All structures will meet or exceed front (25 ft.), rear (30 ft.) and side (10 ft.) setback minimums. **(Attachment 4)**
- 5. Height:** The R-8 A residential district limits building height to 40 ft. The proposed dwellings do not exceed this height.
- 6. Open Space:** The plan shows stormwater management practices throughout the site. An existing stormwater management pond is located at the center of the project. Access points are provided with a walking path that surrounds the pond. **(Attachment 4)**
- 7. Sidewalks:** The plan indicates the provision of sidewalks installed throughout the development, including the walking path around the central pond. **(Attachment 4)**

B. Building Elevations

Various single family models, including one (1) and two (2) story dwellings have been provided. Typical townhouse elevations have also been provided. **(Attachment 5)**

C. Sign Plan

No details regarding signage for the project has been provided. A detailed sign plan shall be approved by the Planning Commission prior to issuance of building permits.



City of
Salisbury
John "Jack" R. Heath, Mayor

D. Landscaping & Lighting Plan

The plans show various deciduous and ornamental trees throughout the project. Foundations planting will consist of deciduous and evergreen shrubs. Street trees are interspersed with street lights on all streets. **(Attachment 4)**

E. Development Schedule

Construction is expected to begin once all approvals have been granted. Three phases are proposed for the project, with both townhouse and single family units being constructed concurrently in each phase. **(Attachment 6)**

F. Community Impact Statement

The Planning Commission granted a waiver of the Community Impact Statement during the Preliminary Comprehensive Development Plan approval in December of 2021. The project was provided to the Wicomico County Board of Education for their planning purposes.

G. Statement of Intent to Proceed and Financial Capability

A waiver of both requests was granted by the Planning Commission in December of 2021.

H. Fire Service

The project is subject to further review by the Salisbury Fire Department.

I. Stormwater Management

The Stormwater Management Plan is subject to further review by the Salisbury Department of Infrastructure & Development.

J. Forest Conservation Program

Forest Conservation Program requirements will be met prior recordation of the subdivision plat.



City of
Salisbury
John "Jack" R. Heath, Mayor

VI. PLANNING CONCERNS

Driveways/parking for all townhouse units should have a minimum depth of 18 ft. for the full width of the parking area.

VII. RECOMMENDATION

Staff recommends approval of the Final Comprehensive Development Plan for Heritage, with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development (DID). Detailed building elevations, landscaping and lighting plan shall be incorporated in the Final Comprehensive Plan;
2. All townhouse parking spaces shall be a minimum of 18 ft. deep for the full width of the parking area;
3. Provide a detailed signage plan for approval by the Planning Commission prior to issuance of any sign permits;
4. The project shall comply with all requirements of the Forest Conservation Act; and
5. Approval of the Final Subdivision Plat by the Planning Commission.



528 RIVERSIDE DRIVE
SALISBURY, MD 21801
PHONE: 410-749-1023
FAX: 410-749-1012
WWW.PARKERANDASSOCIATES.ORG

LAND SURVEYING CIVIL ENGINEERING • LAND PLANNING FORESTRY SERVICES

City of Salisbury 03/03/2023
Department of Infrastructure & Development
City of Salisbury
125 N. Division Street
Salisbury, MD 21801

Attn: Jessica Crenshaw
Ref: Heritage Comprehensive Development Plan

Dear Jessica,

Attached hereto, please find our proposed comprehensive development plan for the Heritage residential project. It is the intent of this submittal to respectfully seek approval of this plan, in accordance with sections 17.156 and 17.224 of the zoning code, so that we may finalize engineering and development plans based upon the confidence that this is acceptable to the commission.

This comprehensive development plan proposes 133 single family lots and 175 townhouse lots, 308 units in total, all to be accessed by proposed City streets. These improvements will complete the build-out for the property and maintain the current infrastructure in place. Existing city streets exist on a portion of the property to serve existing townhouse units. These streets are shown to remain and be extended per City standards to service proposed units. The current zoning of this property is R-8A and thus each Single family lot proposed is 8,000 square feet or greater, and has a minimum lot width of 60 feet (75 feet for corner lots). Each townhouse unit will be on its own lot of at least 2,000 square feet or greater with a minimum width of 20' per City zoning requirements. Areas of open space have been methodically placed throughout the site. All construction and development on this project will be in accordance with the zoning code, as well as the city of Salisbury construction specifications. All sewer, roads, and water will be public entities, while trash collection will be private. Each single family unit proposes a 1-car driveway and 2-car garage, while each townhouse unit proposes a 2-car driveway, therefore no additional off-street parking will be required.

Additionally, I would also like to respectfully continue my request for waivers of the community impact statement, the letter of financial capability, and of intent to proceed. The developer already owns this property and is quite anxious to proceed to construction and certainly has the desire and ability to proceed.

If I may be of further service to you whatsoever, please do not hesitate to ask. Thank you for your help on this matter

Attachment 1

Sincerely,

A handwritten signature in black ink, appearing to read 'BEP', with a long horizontal line extending to the right.

Brock E. Parker, PE, RLS, QP
528 Riverside Drive
Salisbury, MD 21801
Phone: 410-749-1023
Fax: 410-749-1012
Email: kevin@parkerandassociates.org





Infrastructure and Development Staff Report December 16, 2021

I. BACKGROUND INFORMATION:

Project Name: Heritage
Applicant/Owner: Parker & Associates Inc. for Heritage Revival LLC
Infrastructure and Development Case No.: 21-046
Nature of Request: Revised Preliminary Comprehensive Development Plan Approval
Location of Property: Pemberton Drive – Culver Road – Parcel 144
Existing Zoning: R-8A Residential

II. SUMMARY OF REQUEST:

Parker and Associates, on behalf of the owner, has submitted a written request (**Attachment 1**) and a Site Plan (**Attachments 2-5**) with typical lot details, building elevations and floor plans (**Attachments 6-7**) for construction of 127 single family dwellings and 179 townhouses (306 units total). This is a redesign of a previously approved plan.

III. DISCUSSION:

The applicants propose to construct this project with new public water, sewer, streets, sidewalks and streetlighting. The total acreage of the site to be developed is 55.31 acres.

IV. APPROVAL HISTORY:

This site originally received Comprehensive Development Plan approval from the Planning Commission in November 2003 with various modification and revisions over the years. The last revision was approved in June 2010.

V. COMPREHENSIVE DEVELOPMENT PLAN REVIEW:

The Zoning Code requires Comprehensive Development Plan Approval. Staff notes the following with regard to Zoning Code requirements:



A. Site Plan

- 1. Density:** The R-8A Residential District requires a minimum 8,000 sq.ft. lot. With minimum interior lot widths of 60 and minimum corner lot widths of 75 ft. Proposed townhouse lots are a minimum 2,000 sq.ft. Proposed lay out adheres to these requirements. Overall density is about 5.5 units per acre.
- 2. Parking/Streets:** The Zoning Code requires parking to be provided at 2 spaces per dwelling. The proposal is compliant showing a two-car garage for the single-family units and a two-car driveway for the townhouse units. Public streets are proposed for this development.
- 3. Refuse Disposal:** Code requires refuse disposal areas to be screened on 3 sides. Refuse disposal area(s) are not indicated on the plan. The plan states trash collection to be private. Refuse disposal areas shall be indicated on the final plan.
- 4. Building Setbacks/Spacing:** All structures will meet or exceed front (25 ft.), rear (30 ft.) and side (10 ft.) setback minimums.
- 5. Height:** The R-8 A residential district limits building height to 40 ft. Building structures shall not exceed this height.
- 6. Open Space:** The plan shows stormwater management practices throughout the site. An existing stormwater management pond is located at the center of the project.
- 7. Sidewalks:** The plan indicates the provision of sidewalks installed throughout the development.

B. Building Elevations

Building elevations and floor plans are included on **Attachment 7**.

C. Sign Plan

No details regarding signage for the project has been provided. A detailed sign plan shall be approved by the Planning Commission prior to issuance of building permits.

D. Landscaping Plan

The plans show various deciduous and ornamental trees throughout the project. Foundations planting will consist of deciduous and evergreen shrubs.



E. Development Schedule

Construction is expected to begin once all approvals have been granted. A specific development schedule was not indicated, but will be required prior to final approval.

F. Community Impact Statement

The applicant has requested a waiver for this requirement. Staff is supportive of this request as the project has been approved since 2003. The traffic signal at Pemberton Drive and Parsons Road was designed considering the impact of this development.

G. Statement of Intent to Proceed and Financial Capability

The applicant has requested a waiver for this requirement. Staff is also supportive of this request. The owner currently has other projects in Salisbury in the review process including Sassafras Meadows, Glen Heights and Johnson's Retreat.

H. Fire Service

The project is subject to further review by the Salisbury Fire Department.

I. Stormwater Management

The Stormwater Management Plan will be reviewed by the Salisbury Department of Infrastructure & Development.

J. Forest Conservation Program

Forest Conservation Program requirements will be met prior to issuance of building permits.

VI. PLANNING CONCERNS

- A subdivision plat was previously recorded in the land records in February of 2008 (**Attachments 8-9**). Streets and easements were dedicated to the City of Salisbury at that time. As the proposed road layout in this new plan is different, a separate resubdivision plat extinguishing the existing dedicated rights-of-way and easements would have to be approved by the Salisbury Department of Infrastructure & Development.

VII. RECOMMENDATION



City of
Salisbury
Jacob R. Day, Mayor

Staff recommends approval of the Revised Preliminary Comprehensive Development Plan for Heritage, with the following conditions:

1. The site shall be developed in accordance with a Final Comprehensive Development Plan Approval that meets all Code Requirements. Minor plan adjustments may be approved by the Salisbury Department of Infrastructure and Development (DID). Detailed building elevations, landscaping and lighting plan shall be incorporated in the Final Comprehensive Plan;
2. Provide a detailed signage plan for approval by the Planning Commission prior to issuance of any building permits;
3. Provide development schedule;
4. Provide refuse disposal locations (screened on three sides);
5. Provide resubdivision plat for Salisbury DID approval to extinguish existing rights-of-way and easements;
6. Provide preliminary subdivision plat for Planning Commission approval (City Code ref. 16.12.010);
7. The project shall comply with all requirements of the Forest Conservation Act;
8. This approval is subject to further review and approval by the Salisbury Department of Infrastructure and Development and the Salisbury Fire Department.

Heritage

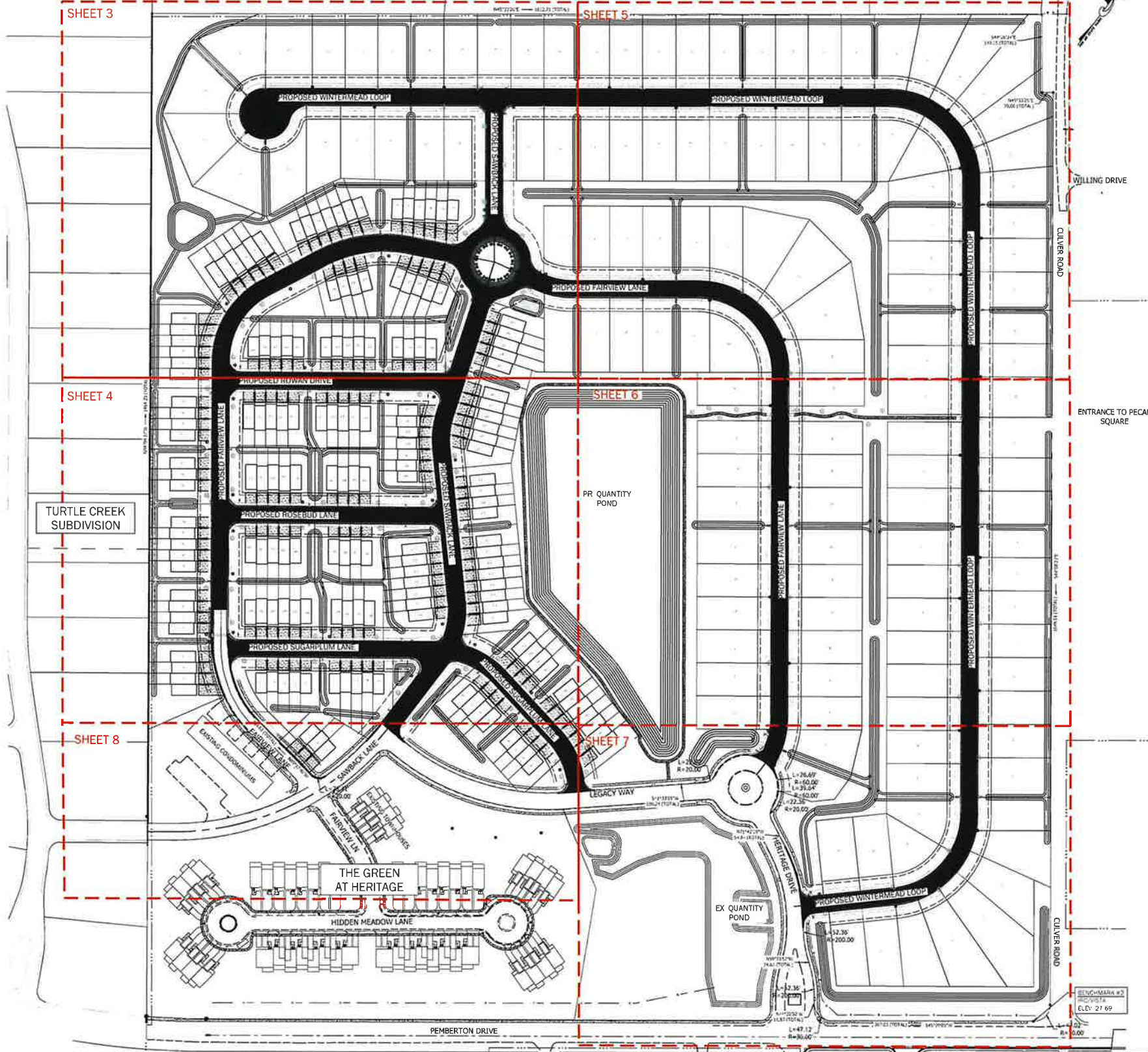
SALISBURY, MARYLAND

CITY PROJECT #21-046 COMPREHENSIVE DEVELOPMENT PLAN



- GENERAL NOTES**
- THE PROPERTY SHOWN HEREON IS CURRENTLY OWNED BY
DHB DEVELOPMENT LLC
2245 NORTHWOOD DR
SALISBURY MD 21801
IS TO BE ACQUIRED AND DEVELOPED BY
HERITAGE REVIVAL HOLDINGS LLC
PO BOX 1109
ALLEN MD 21810
 - DEED REFERENCE 1788/265
 - TOTAL NUMBER OF SINGLE FAMILY LOTS= 133
 - TOTAL NUMBER OF TOWNHOUSE UNITS= 175
 - TOTAL AREA OF PROPERTY TO BE DEVELOPED= 55.31 +/- ACRES
 - THE PRESENT ZONING OF THIS PROPERTY IS R-8A
 - THIS PROPERTY IS LOCATED WITHIN THE G P R MANAGEMENT ZONE A
 - NO PORTIONS OF THIS SITE ARE LOCATED WITHIN THE 100 YEAR FLOOD PLAIN
AND ANY DEVELOPMENT IS SUBJECT TO THE REQUIREMENTS SET FORTH IN
CHAPTER 149 OF THE WICOMICO COUNTY CODE ENTITLED " FLOOD PLAN
MANAGEMENT"
 - THIS PROPERTY IS SHOWN ON F I R M COMMUNITY PANEL #24045C02516 &
#24045C0232E, DATED 8/17/2015, AS BEING IN FLOOD ZONE X, AREA OF MINIMAL
FLOODING
 - NO WETLANDS ARE LOCATED ON THIS SITE
 - CITY OF SALISBURY UTILITY EASEMENTS SHALL BE RESERVED FOR FUTURE USE
BY THE CITY AT NO COST TO THE CITY FOR CITY UTILITY INSTALLATION,
SIDEWALKS, DRAINAGE OR OTHER SUCH PUBLIC USE, WHICH MAY BE
DETERMINED BY THE DIRECTOR OF PUBLIC WORKS AND SHALL BE MAINTAINED
BY THE INDIVIDUAL LOT OWNERS OR THE OWNERS ASSOCIATION. NO
STRUCTURAL IMPROVEMENTS, TREE OR SHRUB PLANTING OR THE PLACEMENT
OF ANY LANDSCAPING OTHER THAN GRASS CAN BE MADE IN OR ON THE CITY OF
SALISBURY UTILITY EASEMENTS, INCLUDING IN THE AIR RIGHTS OVER THE
EASEMENTS, WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF
SALISBURY
 - ALL PROPOSED ROADS SHOWN ARE TO BE PUBLIC AND CONSTRUCTED PER CITY
STANDARD 200 Z3 WATER AND SEWER SHALL BE PROVIDED BY THE CITY OF
SALISBURY TRASH COLLECTION SHALL BE PRIVATE
 - TRASH COLLECTION SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL
PROPERTY OWNER. NO COMMUNITY REFUSE DISPOSAL LOCATIONS PROVIDED
 - ALL PROPOSED GRADING AND CONSTRUCTION SHOWN ON THESE PLANS SHALL TIE
INTO EXISTING GRADES WITHIN THE LIMIT OF DISTURBANCE. IT IS THE CONTRACTOR'S
RESPONSIBILITY TO VERIFY THAT TIE IN GRADES, ELEVATIONS AND SLOPES MATCH
EXISTING CONDITIONS AND ARE ACCEPTABLE. IF CONDITIONS DIFFER FROM THOSE
SHOWN ON THE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
CONTRACTOR IS TO VERIFY ALL ELEVATIONS LISTED ON THE PLAN WITH A MINIMUM OF
THREE BENCHMARKS THAT ARE ON THIS PROJECT'S UTILIZED DATUM PRIOR TO
COMMENCING ANY CONSTRUCTION. IF ANY LOCATIONS OR ELEVATIONS OF
BENCHMARKS, EXISTING FACILITIES OR STRUCTURES DIFFER FROM THAT SHOWN HERE
ON, CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AT 410 749 1203
 - IF CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER IF ANY
DISCREPANCIES ARE DISCOVERED BETWEEN THE DRAWINGS AND EXISTING
CONDITIONS. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS
A DISCREPANCY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONTINUATION
OF WORK
 - HORIZONTAL DATUM IS BASED ON MADO3
 - VERTICAL DATUM IS BASED ON NAVD88

- LEGEND**
- DENOTES PROPOSED WATER METER
 - DENOTES EXISTING WATER VALVE
 - DENOTES EXISTING FIRE HYDRANT
 - DENOTES EXISTING SEWER MANHOLE
 - DENOTES PROPOSED SANITARY SEWER MANHOLE
 - DENOTES EXISTING SEWER CLEAN OUT
 - DENOTES PROPOSED SEWER CLEAN OUT
 - DENOTES PROPOSED LIGHTING
 - DENOTES EXISTING STORM DRAIN MANHOLE
 - DENOTES PROPOSED STORM DRAIN MANHOLE
 - DENOTES EXISTING STORM DRAIN CATCH BASINS
 - DENOTES PROPOSED STORM DRAIN CATCH BASINS
 - DENOTES EXISTING UTILITY POLE
 - DENOTES EXISTING ROAD SIGN
 - DENOTES PROPOSED ROAD SIGN
 - DENOTES PROPOSED STREET SIGN
 - DENOTES PROPOSED WATER VALVE
 - DENOTES PROPOSED FIRE HYDRANT
 - DENOTES EXISTING EDGE OF PAVEMENT
 - DENOTES EX. PAVEMENT, CURB/CONCRETE TO BE REMOVED
 - DENOTES EXISTING STORM DRAIN
 - DENOTES EXISTING STORM DRAIN TO BE REMOVED
 - DENOTES PROPOSED PAVEMENT MARKING
 - DENOTES EXISTING PROPERTY BOUNDARY
 - DENOTES ADJACENT PROPERTY LINE
 - DENOTES EXISTING CONTOURS
 - DENOTES PROPOSED CONTOURS
 - DENOTES PROPOSED EDGE OF PAVEMENT
 - DENOTES PROPOSED CURB
 - DENOTES EXISTING BUILDING
 - DENOTES PROPOSED STORM DRAIN
 - DENOTES PROPOSED PROPERTY LINE
 - DENOTES CORPORATE LIMIT
 - DENOTES SILT FENCE/LIMIT OF DISTURBANCE
 - DENOTES PROPOSED BUILDING
 - DENOTES BUILDING SET BACK LINE
 - DENOTES EXISTING WATER MAIN
 - DENOTES PROPOSED WATER MAIN
 - DENOTES EXISTING SEWER LINE
 - DENOTES PROPOSED SEWER LINE
 - DENOTES PROPOSED ESO FACILITY
 - DENOTES PROPOSED SWALE
 - DENOTES SOILS LINE
 - DENOTES EXISTING WOODS TO REMAIN
 - DENOTES EXISTING WOODS TO BE REMOVED
 - DENOTES PROPOSED WOODS LINE
 - DENOTES PROPOSED ROAD CENTERLINE
 - DENOTES PROPOSED SWALE CENTERLINE
 - DENOTES EXISTING FENCE
 - DENOTES PROPOSED DRAINAGE EASEMENT
 - DENOTES PROPOSED UTILITY EASEMENT
 - DENOTES EXISTING BIO MEDIA
 - DENOTES EXISTING PAVING
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 - DENOTES PROPOSED CONCRETE
 - DENOTES EXISTING CONCRETE
 - DENOTES EXISTING CONCRETE TO BE REMOVED
 - DENOTES RRPA



SHEET INDEX

Sheet #	Sheet Title
SHEET 1	COVER SHEET
SHEET 2	PHASING PLAN
SHEET 3	SITE LANDSCAPE & LIGHTING PLAN
SHEET 4	SITE LANDSCAPE & LIGHTING PLAN
SHEET 5	SITE LANDSCAPE & LIGHTING PLAN
SHEET 6	SITE LANDSCAPE & LIGHTING PLAN
SHEET 7	SITE LANDSCAPE & LIGHTING PLAN
SHEET 8	SITE LANDSCAPE & LIGHTING PLAN
SHEET 9	RENDERINGS & DETAILS

LANDSCAPING LEGEND

Symbol	Description	Qty
(Tree icon)	DENOTES LONDON PLANE, CREPE MYRTLE, DOGWOOD OR SIMILAR SPECIES LANDSCAPE TREE	100
(Shrub icon)	DENOTES WINDOUT ROSE OR SIMILAR ORNAMENTAL SHRUB 5 GAL	15
(Shrub icon)	DENOTES INK BERRY OR SIMILAR ORNAMENTAL SHRUB 5 GAL	15

LAND USE SUMMARY

TOTAL AREA PREVIOUSLY DEVELOPED = 12.86 AC
 TOTAL AREA REMAINING FOR DEVELOPMENT = 55.31 AC
 PROPOSED IMPROVEMENT AREA = 24.17 AC
 TOTAL AREA = 69.17 AC

LIMIT OF DISTURBANCE = 55.44 AC
 NUMBER OF UNITS: 133 SINGLE FAMILY, 175 TOWNHOUSE UNITS
 MINIMUM SINGLE FAMILY LOT SIZE = 8,000 SF, 60' WIDE

DEVELOPMENT STANDARDS ARE IN ACCORDANCE WITH THE CITY OF SALISBURY ZONING FOR PLANNED RESIDENTIAL DISTRICT 8 A CHAPTER 17.150.050

REQUIRED DENSITY / LAND AREA

133 SINGLE FAMILY @ 8,000 SF	= 24.43 ACRES MIN
175 TOWNHOUSES @ 8 UNITS PER ACRE MAX DENSITY	= 21.88 ACRES MIN
EXISTING LAND AREA	= 55.31 ACRES

ESTIMATED WATER & SEWER USAGE
 (FROM CITY OF SALISBURY MUNICIPAL CODE AUG 16, 2022, CHAPTER 15.08.100 - CALCULATION OF IMPACT FEE (RESIDENTIAL))

175 TOWNHOUSE UNITS (3 bedroom = 1.37 EDU'S)	
133 SINGLE FAMILY HOME (4 bedroom on average = 1.75 EDU'S)	
1.37 x 175 = 239.75 EDU'S	
1.75 x 133 = 232.75 EDU'S	
239.75 + 232.75 = 472.50 EDU'S (63,767.50 GPD) for project	
1 EDU (Equivalent Dwelling Unit) = 136 GPD (Gallons Per Day)	

PARKING PROVIDED

TOWNHOUSES	2 SPACE PER DRIVEWAY (18 MIN PROVIDED FROM BACK OF SIDEWALK TO FACE OF BUILDING)
SINGLE FAMILY	1 SPACE PER DRIVEWAY
TOTAL TOWNHOUSES	175 x 2 = 350
TOTAL SINGLE FAMILY	133 x 1 = 133
TOTAL SPACES PROVIDED	350 + 133 = 483 SPACES

OWNER/DEVELOPERS CERTIFICATION

I HEREBY CERTIFY THAT THIS IMPROVEMENTS CONSTRUCTION PLAN IS BEING SUBMITTED WITH MY FULL KNOWLEDGE AND CONSENT AND IS IN ACCORDANCE WITH MY DESIRES AS AN OWNER OF THE SUBJECT PROPERTY ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF TRAINING AT A DEPARTMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

JASON MALONE
 HERITAGE REVIVAL HOLDINGS LLC
 P.O. BOX 1109
 ALLEN, MD 21810
 PHONE: 443-260-4775
 MALONEHOMES@COMCAST.NET

APPROVED
 CITY OF SALISBURY
 DEPARTMENT OF INFRASTRUCTURE AND DEVELOPMENT

Richard Baldwin
 DATE

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21739, EXPIRATION DATE JULY 24, 2024 AND A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21193, EXPIRATION DATE JANUARY 25, 2024.

RODNEY E. PARKER, P.E., S.E.
 508 RIVERSIDE DRIVE
 SALISBURY, MARYLAND 21801
 PHONE: (410) 749-1023 FAX: (410) 749-1013
 EMAIL: ROPARKER@RERASSOCIATES.GR

03/03/2023
 DATE

COMPREHENSIVE DEVELOPMENT PLAN

COVER SHEET

HERITAGE

Road Name: Pemberton Drive & Culver Road
 For: Jason Malone - Heritage Revival LLC
 CITY OF SALISBURY - WICOMICO COUNTY, MARYLAND

DATE: 03/03/2023
 DRAWN BY: JUS/NC
 CHECKED BY: JUS/NC
 SCALE: 1" = 100'

REVISIONS

NO.	DATE	DESCRIPTION
1		Cover CDP
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GRAPHIC SCALE
 1 inch = 100 feet

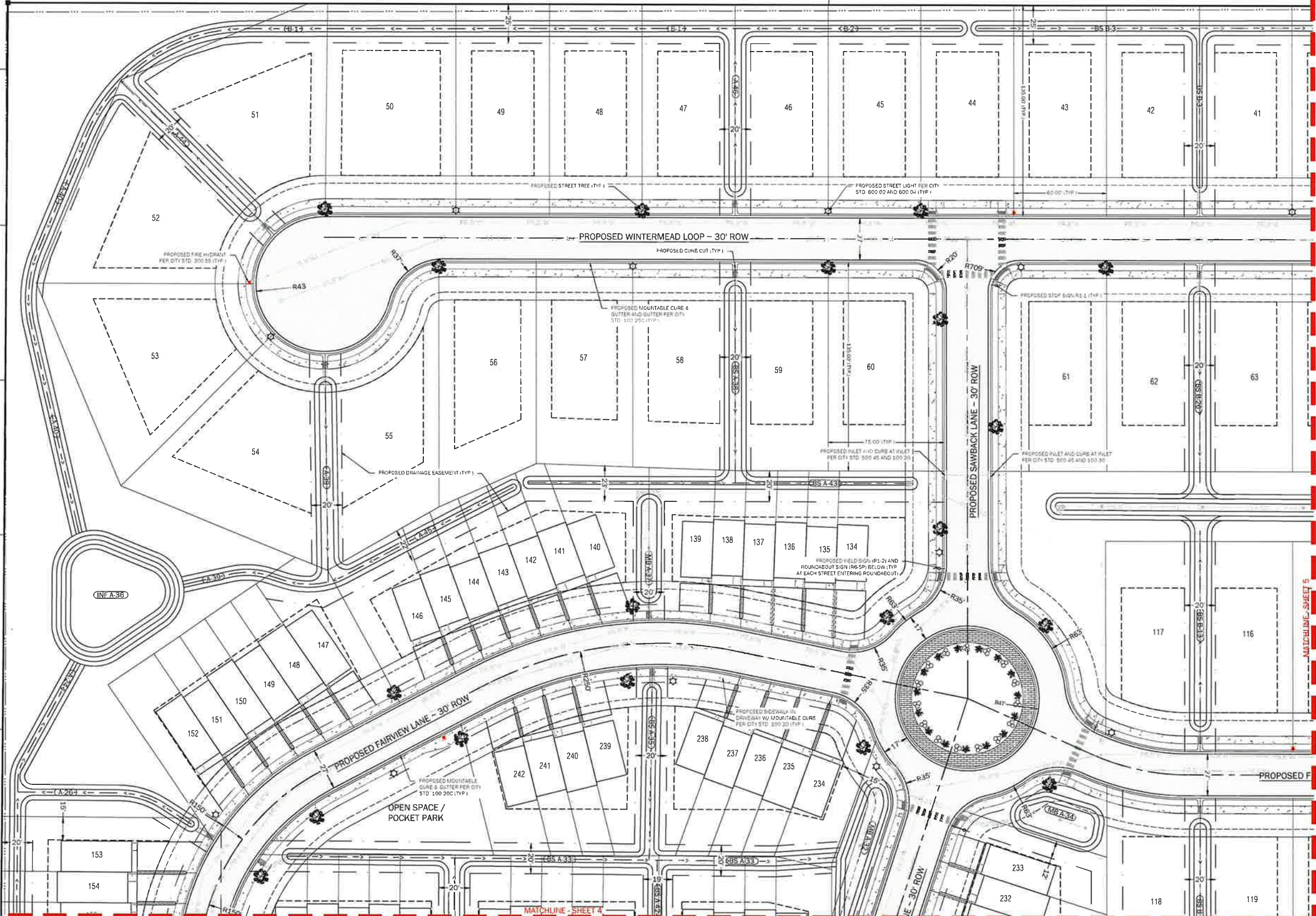
THE CITY OF MARYLAND
 WICOMICO COUNTY

SHEET 1 OF 9

PARKER

N/F
RUTH B JOHNSON
TAX MAP 37 PARCEL 169
DEED REF 1801/22
ZONED R-15 RESIDENTIAL

N/F
QUANTICO ROAD CHURCH OF CHRIST INC
TAX MAP 37 PARCEL 143
DEED REF 936/332
PLAT REF 17/295
ZONED AGRICULTURAL



SHEET 3 OF 9



REVISIONS	DATE	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN
SITE, LANDSCAPE & LIGHTING PLAN
HERITAGE

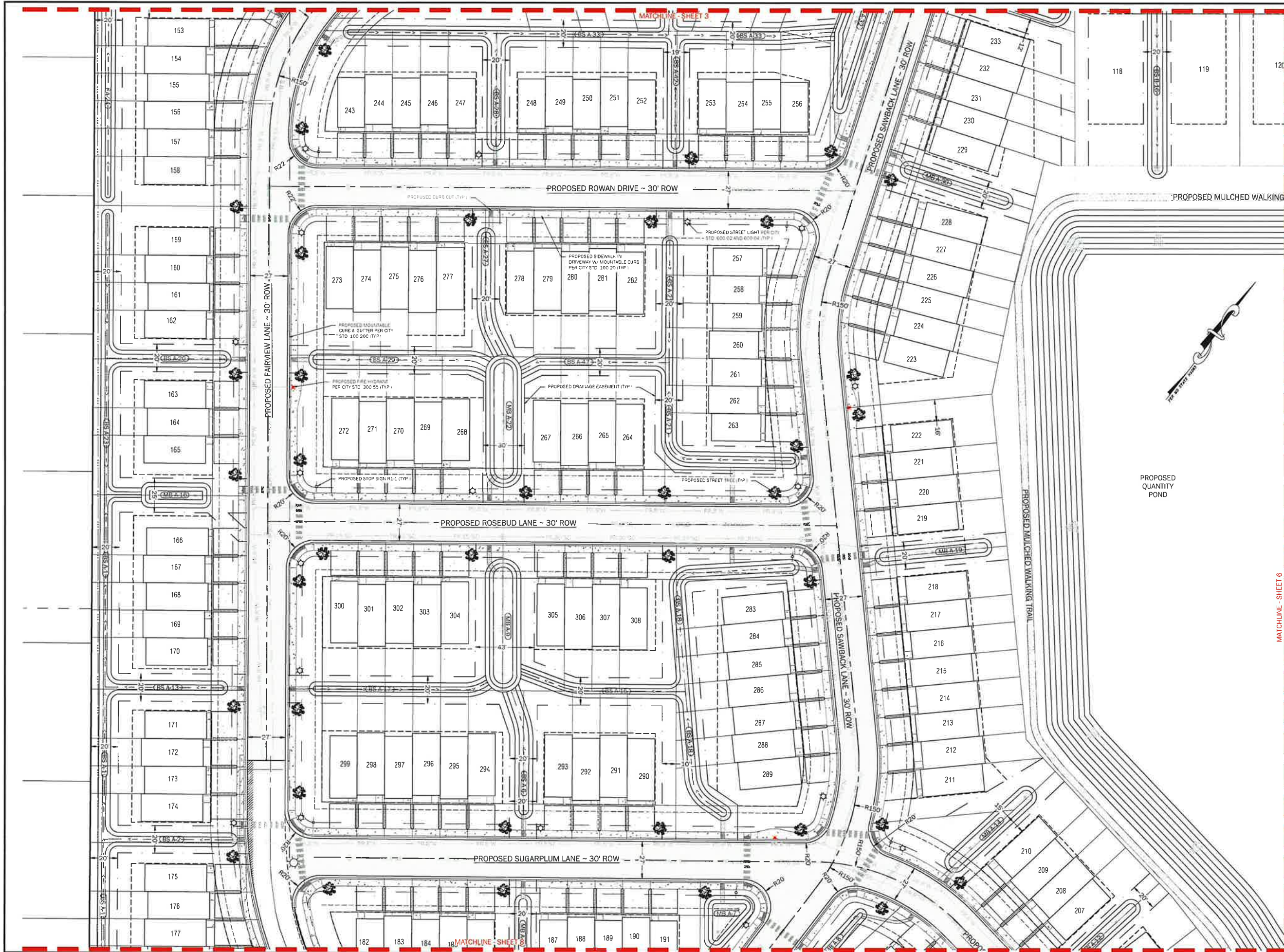
Client: Road Name: Pemberton Drive & Culver Road
For: Jason Maloney - Heritage Revival LLC
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

Scale: 1" = 30'

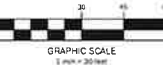
DATE: 03/02/2023
DRAWN: LIS/ABC
CHECKED: LIS/ABC
DATE: 03/02/2023
SCALE: 1" = 30'

PROJECT: 144
SHEET: SHEET 3 CDP

PREPARED BY: PARKER ASSOCIATES



SHEET 4 OF 9

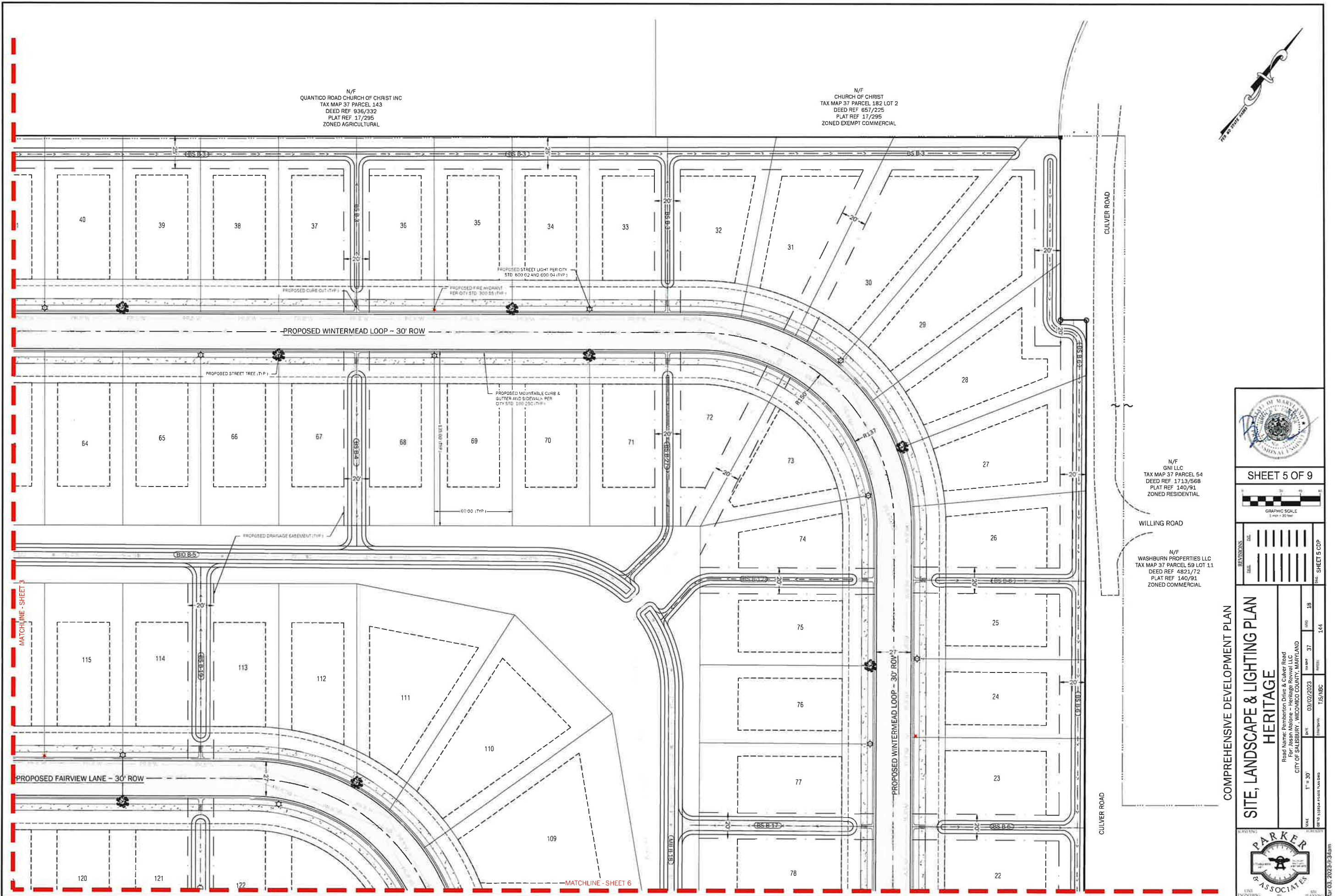


NO.	DATE	DESCRIPTION

COMPREHENSIVE DEVELOPMENT PLAN
SITE, LANDSCAPE & LIGHTING PLAN
HERITAGE
 Road Name: Pemberton Drive & Culver Road
 For: Jason Malone - Heritage Renewal LLC
 CITY OF SALISBURY - WICOMICO COUNTY, MARYLAND
 DATE: 03/02/2023
 SCALE: 1" = 30'
 SHEET: 4 OF 9
 PROJECT: 144



Mar 03, 2023 9:48am



SHEET 5 OF 9



REV.	DATE	DESCRIPTION

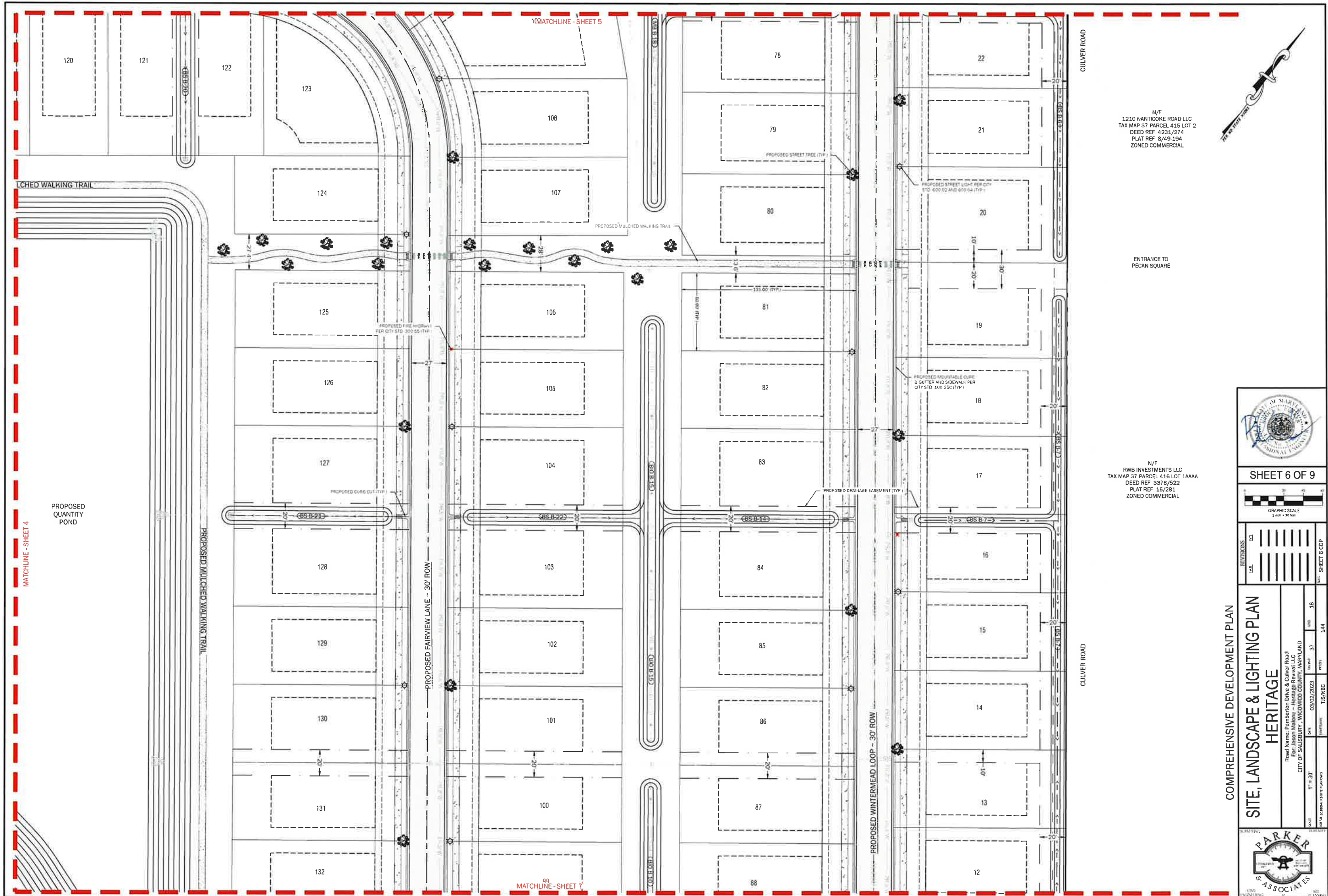
COMPREHENSIVE DEVELOPMENT PLAN
 SITE, LANDSCAPE & LIGHTING PLAN
 HERITAGE

Road Name: Pemberton Drive & Culver Road
 For: Jason Malone - Heritage Revival LLC
 CITY OF SALISBURY - WICOMICO COUNTY, MARYLAND

DATE: 03/07/2023
 DRAWN BY: TJS/NBC
 CHECKED BY: TJS/NBC
 SCALE: 1" = 30'
 SHEET NO: 37-1B
 SHEET TOTAL: 144
 SHEET 5 CDP

PARKER & ASSOCIATES

Mar 03, 2023 10:34 am



N/F
1210 NANTICOKE ROAD LLC
TAX MAP 37 PARCEL 415 LOT 2
DEED REF 4231/274
PLAT REF 8/49-194
ZONED COMMERCIAL

ENTRANCE TO
PECAN SQUARE

N/F
RWB INVESTMENTS LLC
TAX MAP 37 PARCEL 416 LOT 1AAAA
DEED REF 3378/522
PLAT REF 1/5/281
ZONED COMMERCIAL



SHEET 6 OF 9



REVISIONS	DATE	BY	CHKD	APP'D	DESCRIPTION

COMPREHENSIVE DEVELOPMENT PLAN
SITE, LANDSCAPE & LIGHTING PLAN
HERITAGE

Prepared by: Parkers & Associates, Inc.
For: Heron Malabar - Heritage Row LLC
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

DATE	11-1-20	SCALE	AS SHOWN
DATE	03/02/2023	SCALE	AS SHOWN
DATE		SCALE	
DATE		SCALE	

PROJECT NO. 144
SHEET 6 OF 9



Mar 03, 2023 10:34 AM



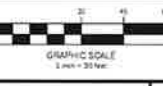
N/F
CROPPER CREEK VENTURES LLC
TAX MAP 37 PARCEL 365 LOT 1A
DEED REF. 9503/384
PLAT REF. 14/167
ZONED COMMERCIAL

N/F
BAY SHORE SERVICES INC
TAX MAP 37 PARCEL 365 LOT 2A
DEED REF. 3397/193
PLAT REF. 14/167
ZONED COMMERCIAL

N/F
HERITAGE REVIVAL HOLDINGS LLC
TAX MAP 37 PARCEL 144
DEED REF. 4994/119
PLAT REF. 14/704
ZONED RESIDENTIAL



SHEET 7 OF 9



DATE	BY	DESCRIPTION

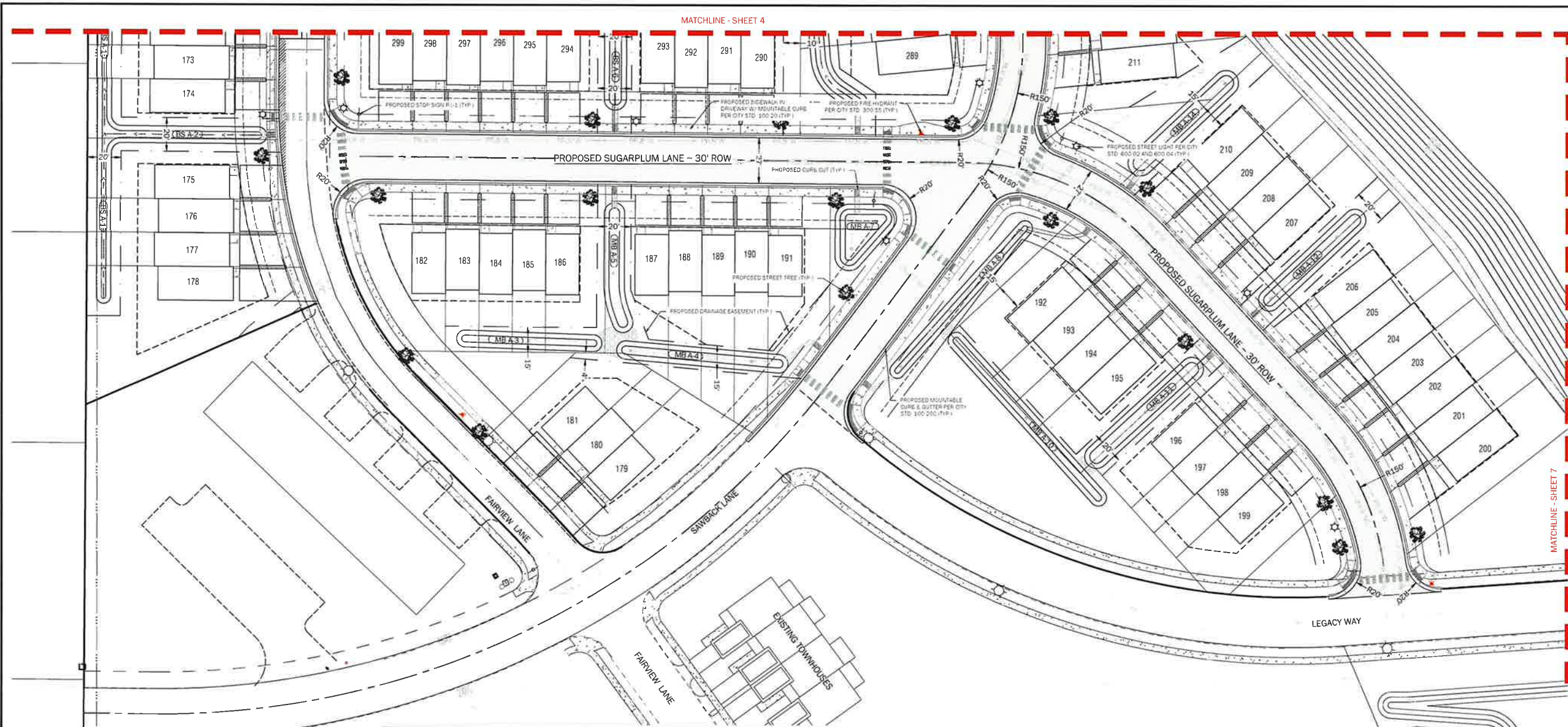
COMPREHENSIVE DEVELOPMENT PLAN

SITE, LANDSCAPE & LIGHTING PLAN
HERITAGE

Road Name: Pemberton Drive & Culver Road
For: Jason Malone - Heritage Revival LLC
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND
DATE: 03/02/2023
SCALE: 1" = 30'



MAY 03, 2023 9:34 AM



CITY OF SALISBURY - GENERAL NOTES

1. THE CITY RESERVES THE RIGHT TO REQUIRE STRUCTURAL MODIFICATIONS TO THE SITE WORK FOLLOWING PERMIT ISSUANCE IF SUCH MODIFICATIONS ARE NECESSARY.
2. "ALL STABILIZATION, PAVING AND ROAD PATCHING IN THE PUBLIC ROADWAY, WHICH IS NECESSITATED BY THE CONSTRUCTION OF THIS PROJECT, SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, USING A PAVING CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. MILLING AND REPAVING WILL BE BY ACCORDANCE WITH RESOLUTION 2294"
3. "ALL DETERIORATED CURB, GUTTER AND SIDEWALKS, AS DETERMINED BY THE CITY, ALONG THE FRONTAGE(S) OF THE PROPERTY MUST BE REPLACED AT THE TIME OF CONSTRUCTION USING A CONCRETE CONTRACTOR WHO IS CURRENTLY APPROVED BY THE CITY. HANDICAP RAMPS PER CURRENT ADA GUIDELINES ARE REQUIRED AT ALL PUBLIC STREET AND DRIVEWAY INTERSECTIONS. DETECTABLE WARNING DEVICES (FRUNGATED DOMES) MUST BE PROVIDED AT ALL PUBLIC STREET INTERSECTION HANDICAP RAMPS AND AS DIRECTED BY DID. SEE CITY STANDARD 100.37"
4. "ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAIN, CURB, GUTTER, SIDEWALKS, STREET LIGHTS, AND PAVING FOR THIS PROJECT OR PHASE OF PROJECT IN ITS ENTIRETY MUST BE ACCEPTED IN WRITING BY THE CITY PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SEE SECTION 16.48.030 OF THE SALISBURY SUBDIVISION REGULATIONS. REDUCTIONS IN PROJECT SURETY WILL NOT BE APPROVED PRIOR TO FINAL WRITTEN ACCEPTANCE BY THE CITY OF ALL PUBLIC INFRASTRUCTURE IMPROVEMENTS. SUB PHASING OF THIS PROJECT SHALL NOT BE PERMITTED."
5. "A WRITTEN 'NOTICE TO PROCEED' MUST BE OBTAINED FROM AND A PRE-CONSTRUCTION MEETING SCHEDULED WITH DID BEFORE BEGINNING CONSTRUCTION IN CITY PUBLIC R/W'S, EASEMENTS AND/OR CITY MAINTAINED UTILITIES OR ROADWAYS. THIS REQUIREMENT ALSO APPLIES TO CONSTRUCTION OF ANY PRIVATE STORMWATER MANAGEMENT. CONTACT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT, ROOM 202, 125 N. DIVISION ST., SALISBURY, MARYLAND, 21801-6400, TELEPHONE: 410-548-3170 TO SCHEDULE A PRE-CONSTRUCTION MEETING AND OBTAIN A WRITTEN 'NOTICE TO PROCEED' 48 HOURS NOTICE IS REQUIRED."
6. "STREET TREES SHALL BE PLANTED PER THE CURRENT SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT STREET TREE POLICY." PROVIDE EXISTING STAGIONS FOR ALL PROPOSED TREES ON THE LANDSCAPE PLAN.
7. "CURRENT WICOMICO COUNTY WATER/SEWER PLAN SERVICE CATEGORY W-1(A.5) / S-1(A.5)"
8. "CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR INSPECTION OF PRIVATE UTILITY MAINS"
9. "MILLING AND REPAVING SHALL BE PER RESOLUTION 2298"
10. "PRIVATE IRRIGATION LINES SHALL NOT BE INSTALLED IN CITY RIGHT OF WAYS OR EASEMENTS WITHOUT WRITTEN APPROVAL OF SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT"
11. "CONTRACT NUMBER 9-07-5 / W / SD; 14-04-5 / W / SD; 20-91 W"
12. "EXISTING EDU'S OF WATER AND SEWER CAPACITY EXISTS AND WILL BE RESERVED FOR THIS PROJECT, SUBJECT TO MUNICIPAL, STATE AND FEDERAL LAWS AND REGULATIONS"
13. "APPROVAL OF THE SITE PLAN AND UTILITY DRAWINGS EXPIRES TWO (2) YEARS FROM THE FINAL APPROVAL DATE. CONSTRUCTION OF THE PROJECT MUST HAVE BEEN STARTED PRIOR TO THE EXPIRATION DATE. THE CITY RESERVES THE RIGHT TO EXTEND THE EXPIRATION DATE UPON WRITTEN REQUEST AND WRITTEN CONTRACTIVITY"
14. "PROVIDE INSPECTION FOR THE CONSTRUCTION OF THE PRIVATE STORM WATER MANAGEMENT SYSTEM APPROVED AS PART OF THE IMPROVEMENTS CONSTRUCTION PLAN. DURING THE CONSTRUCTION OF THE STORM WATER MANAGEMENT CHAMBERS AND MICRO-SCALE PRACTICES (MS) WITH GRAVEL SUBSTRATE, INCLUDING RAIN GARDENS, MICO BIOTENTION, SUBMERGED GRAVEL WETLANDS, PONDUS CONCRETE, ETC. THE DEVELOPER WILL BE RESPONSIBLE TO PROVIDE SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT WITH A DAILY PROGRESS REPORT SIGNED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN MARYLAND. THE REPORT IS TO INCLUDE THE FOLLOWING AS APPLICABLE: THE DIMENSION AND HEIGHT OF THE CHAMBERS AS WELL AS LOCATION, SIZE, AND NUMBER OF VALVES PLACED. ALSO, THE LOCATION, SIZE, AND DEPTH OF MEDIA LAYERS FOR MSPP. THE FINAL OCCUPANCY CERTIFICATE AND SURETY WILL BE WITHHELD UNTIL THE DAILY PROGRESS REPORTS HAVE BEEN ACCEPTED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT."
15. "FOLLOWING COMPLETION OF CONSTRUCTION, THE DEVELOPER SHALL BE RESPONSIBLE FOR SUBMISSION AS BUILT DRAWINGS OF THE PUBLIC WATER, SEWER, AND STORM DRAIN. THE PRIVATE STORMWATER MANAGEMENT AS BUILT'S MUST BE SUBMITTED WITHIN 60 CALENDAR DAYS FOLLOWING THE DATE OF MOE'S FINAL FIELD INSPECTION REPORT FOR SEDIMENT CONTROL. SUBMIT A COPY OF THIS REPORT WITH THE AS BUILT'S. ALL APPLICABLE AS BUILT'S MUST BE SUBMITTED AT THE SAME TIME UNLESS OTHERWISE APPROVED BY SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. PARTIAL SUBMITTALS WILL BE REJECTED. THE 'AS BUILT' DRAWINGS MUST BE SEALED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY LINE SURVEYOR, OR ENGINEER, CURRENTLY REGISTERED IN MARYLAND. THE INITIAL SUBMITTAL SHALL BE PAPER ONLY, THREE (3) COPIES. THE FINAL AS BUILT'S MUST BE SUBMITTED TO THIS OFFICE ON MYLAR AND AUTO CAD 2016 OR LATER VERSION OF AUTO CAD. ALL CONTACT DISCS (CD) MUST BE IN A PLASTIC PROTECTIVE CASE. PROJECT SURETY WILL BE WITHHELD AND FINAL OCCUPANCY CERTIFICATE SHALL BE DELAYED UNTIL THIS AS-BUILT INFORMATION IS SUBMITTED TO AND APPROVED BY THIS OFFICE."

DISCREPANCIES

- A. THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE CITY REPRESENTATIVE OR THE CONSULTANT OF ANY DISCREPANCIES DISCOVERED BETWEEN THE DRAWINGS AND EXISTING CONDITIONS
- B. ERRORS OR OMISSIONS IN DRAWINGS OR LAYOUT SHALL BE TREATED AS A DISCREPANCY
- C. THE CITY REPRESENTATIVE OR THE CONSULTANT WILL REVIEW THE CONTRACTOR'S FINDING TO CONFIRM THE DISCREPANCY
- D. THE CITY REPRESENTATIVE OR THE CONSULTANT WITH SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT APPROVAL, WILL ISSUE NEW INSTRUCTIONS AS SOON AS POSSIBLE TO RELIEVE THE DISCREPANCY
- E. THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY BEFORE START OF WORK OR CONTINUATION AFTER THE DISCREPANCY ARISES"

CITY OF SALISBURY - UTILITY CONSTRUCTION NOTES

16. "THE OWNER/DEVELOPER SHALL USE A CONTRACTOR/SUBCONTRACTOR CURRENTLY APPROVED BY THE CITY OF SALISBURY FOR CONSTRUCTION OF THE PARTICULAR TYPE OF IMPROVEMENT. PAYMENT TO THE CONTRACTOR SHALL BE THE OWNER'S/DEVELOPER'S RESPONSIBILITY. THE CITY OF SALISBURY MAY SUSPEND OR CANCEL CONSTRUCTION WHEN THE CONTRACTOR DOES NOT PROGRESS, IN A CONTINUOUS MANNER, AND/OR THE CONSTRUCTION METHOD OR MATERIALS SUPPLIED ARE LESS THAN THE STANDARD SET FORTH IN THE "CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION" OR WHEN THE CONTRACTOR IS NOT IN COMPLIANCE WITH THE PUBLIC WORKS AGREEMENT AND RELATED RESPONSIBILITIES CONTAINED THEREIN. THE TYPE AND QUANTITY OF MATERIAL TESTING WILL BE DETERMINED BY THE CITY OF SALISBURY FIELD INSPECTOR DURING CONSTRUCTION, AS DESCRIBED IN THE CONSTRUCTION/MATERIAL SPECIFICATIONS. TESTING COSTS SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER."
17. "THE APPROVED UTILITY CONTRACTOR'S FIELD REPRESENTATIVE SHALL BE REQUIRED TO FOLLOW AND HAVE AN APPROVED, SIGNED COPY OF THE UTILITY DRAWINGS. THE LATEST REVISION OF THE CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATION FOR UTILITY AND ROADWAY CONSTRUCTION AND THE CONSTRUCTION STANDARDS, (STANDARD DETAILS) MANUALS AT THE CONSTRUCTION AREA DURING WORKING HOURS"
18. "ALL CONSTRUCTION WITHIN CITY RIGHT OF WAYS AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF SALISBURY CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UTILITY AND ROADWAY CONSTRUCTION"
19. "CONTRACTOR TO VERIFY ALL ELEVATIONS AGAINST A PREVIOUSLY CONSTRUCTED POINT OF KNOWN ELEVATION BEFORE BEGINNING CONSTRUCTION"
20. "THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-257-7777, THREE (3) DAYS PRIOR TO BEGINNING ANY WORK IN THE VICINITY OF EXISTING UTILITIES"
21. "DURING THE PROGRESS OF THE JOB, THE CONTRACTOR SHALL KEEP A CAREFUL RECORD AT THE JOB SITE OF ALL CHANGES AND CORRECTIONS TO THE INFORMATION SHOWN ON THE CONTRACT DRAWINGS AND THE STORMWATER MANAGEMENT PLAN DRAWINGS. PRIOR TO BACKFILL, THE CONTRACTOR SHALL ENTER SUCH CHANGES AND CORRECTIONS ON ONE SET OF RED LINE AS BUILT DRAWINGS. THE RED LINE AS BUILT DRAWINGS SHALL INDICATE, IN ADDITION TO ALL CHANGES AND CORRECTIONS, ALL SUBSURFACE STRUCTURES/UTILITIES INSTALLED OR UNCOVERED, REFERENCED TO TWO PERMANENTLY FIXED SURFACE STRUCTURES. PRIOR TO TESTING OF THE UTILITY/UTILITIES AND ACCEPTANCE OF THE SWMA FACILITIES INVOLVED UNDER THE CONTRACT, THE CONTRACTOR SHALL SUBMIT, CONCURRENTLY, TO THE OWNER ONE SET OF RED LINE AS BUILT DRAWINGS SHOWING THE AFOREMENTIONED DATA AND ONE COPY OF THE RED LINE AS BUILT DRAWINGS TO SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT. SHOULD THE CONTRACTOR FAIL TO MAINTAIN RED LINE AS BUILT DRAWINGS, THE OWNER MAY BE REQUIRED TO HIRE A PRIVATE LOCATOR AND MAY BE REQUIRED TO TEST PIT THE MAINS AT THE DISCRETION OF THE CITY ENGINEER. PARTIAL ACCEPTANCE OF THE PUBLIC UTILITIES AND ACCEPTANCE OF THE STORMWATER MANAGEMENT FACILITY MAY BE DELAYED PENDING RECEIPT OF THIS INFORMATION"
22. "SEWER MAINS TO BE SDR-35"
23. "SANITARY SEWER MANHOLES SHALL CONFORM TO CITY STD. NDS. 400.11"
24. "ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 3' BEYOND THE FRAME OF THE MANHOLE LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR 6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE MANHOLE LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND MANHOLES IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID."
25. "FOR INSPECTION OF PRIVATE SEWER MAINS AND FOR ABANDONMENT OF EXISTING SEWER SERVICES, CONTRACTOR TO CONTACT CITY PLUMBING INSPECTOR FOR REQUIREMENTS, AND TO COORDINATE THE WORK AND INSPECTION"
26. "MANHOLE 42" OF COVER OVER ALL NEW WATER MAINS"
27. "FIRE HYDRANTS AND VALVES SHALL CONFORM TO CITY STD. NO. 300.55"
28. "BLOW OFF HYDRANTS SHALL CONFORM TO CITY STD. NO. 300.51"
29. "WATER MAINS TO BE C-90"
30. "DUCTILE IRON MECHANICAL JOINT FITTINGS PER CITY'S CONSTRUCTION AND MATERIALS SPECIFICATION SHALL BE USED TO RESTRAIN ALL WATER MAIN JOINTS"
31. "1/2" SOLID COATED COPPER TRACER WIRE TO BE USED ON ALL CITY WATER MAINS PER CITY STD. NO. 300.55"
32. "ALL VALVE BOXES INSTALLED IN UNPAVED AREAS SHALL BE FURNISHED WITH A CONCRETE COLLAR EXTENDING 1' BEYOND THE FRAME OF THE VALVE BOX LID. THE COLLAR SHALL BE 6" THICK AND BE SUPPORTED BY A 6" BASE OF CR 6 AGGREGATE WHICH IN TURN SHALL BE SUPPORTED BY SUITABLE SOIL COMPACTED TO 95% PROCTOR. CONCRETE COLLARS SHALL BE INSTALLED AFTER THE TOP OF THE VALVE BOX LIDS ARE ADJUSTED TO FINISHED GRADE. SLOPE THE SURROUNDING EARTH AROUND VALVE BOX IN SUCH A WAY AS TO CREATE POSITIVE DRAINAGE AWAY FROM THE LID"
33. "WATER METERS AND ASSOCIATED VALVES SHALL NOT BE LOCATED IN DRIVEWAYS OR OTHER AREAS INTENDED FOR VEHICULAR TRAFFIC. ANY METER OR VALVE FOUND TO BE IN SUCH AN AREA AFTER PROJECT COMPLETION, SHALL BE RELOCATED TO A DID APPROVED LOCATION. THE OWNER SHALL BEAR ALL EXPENSE ASSOCIATED WITH THE RELOCATION INCLUDING BUT NOT LIMITED TO ADDITIONAL INSPECTION FEE, WATER MAIN TAPS, PAVEMENT, CURB, GUTTER, AND/OR SIDEWALK RESTORATION, ANY RETESTING, AND ANY AND ALL ASSOCIATED APPURTENANCES"
34. "DEFLECT THE WATER MAIN AROUND OTHER UTILITIES PER CITY STD. NO. 300.42 AS NECESSARY TO AVOID CONFLICTS. MAINTAIN A MINIMUM OF 1' OF SEPARATION BETWEEN THE OUTSIDE EDGE OF PIPES. IF WATER MAINS ARE INSTALLED BEFORE ANY OTHER UTILITY IT WILL BE AT THE RISK OF THE CONTRACTOR"
35. "EXISTING WATER SERVICES THAT ARE TO BE ABANDONED ARE TO BE PLUGGED/CAPPED AT THE CORPORATION STOP ON THE MAIN PER SALISBURY DEPARTMENT OF INFRASTRUCTURE & DEVELOPMENT INSPECTOR'S REQUIREMENTS. IF THE SERVICE DOES NOT HAVE A CORPORATION STOP IT SHALL BE ABANDONED PER CITY INSPECTOR'S REQUIREMENTS"



SHEET 8 OF 9



REVISIONS	DATE	BY	CHK

COMPREHENSIVE DEVELOPMENT PLAN

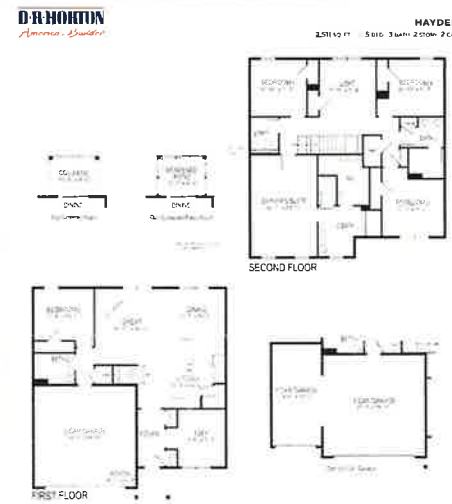
SITE, LANDSCAPE & LIGHTING PLAN

HERITAGE

Road Name: Pemberton Drive & Culver Road
Prepared By: Jason Mahone - Heritage Revival LLC
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND

DATE: 09/02/2023
SCALE: 1" = 30'
DRAWN BY: JASON MAHONE
CHECKED BY: TIS/ABC
PROJECT NO.: 144
SHEET 8 OF 9

DATE: 03-2023-04-20



DR HORTON
American Builder

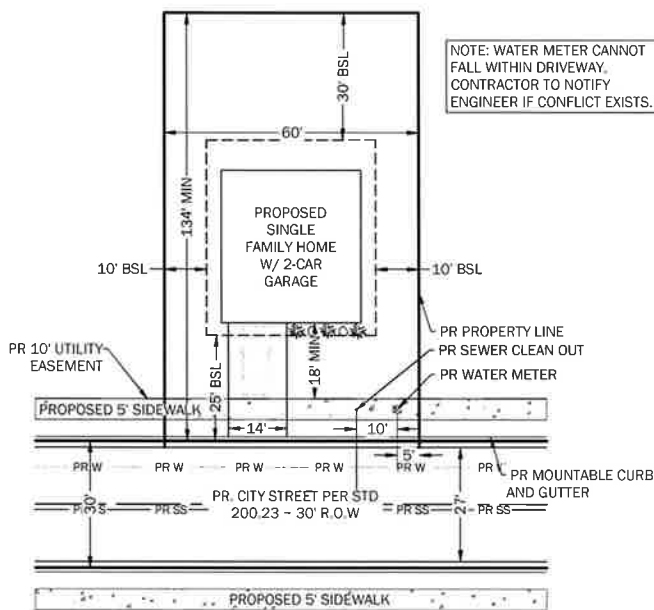
DR HORTON
American Builder

DR HORTON
American Builder

DR HORTON
American Builder

DR HORTON
American Builder

DR HORTON
American Builder



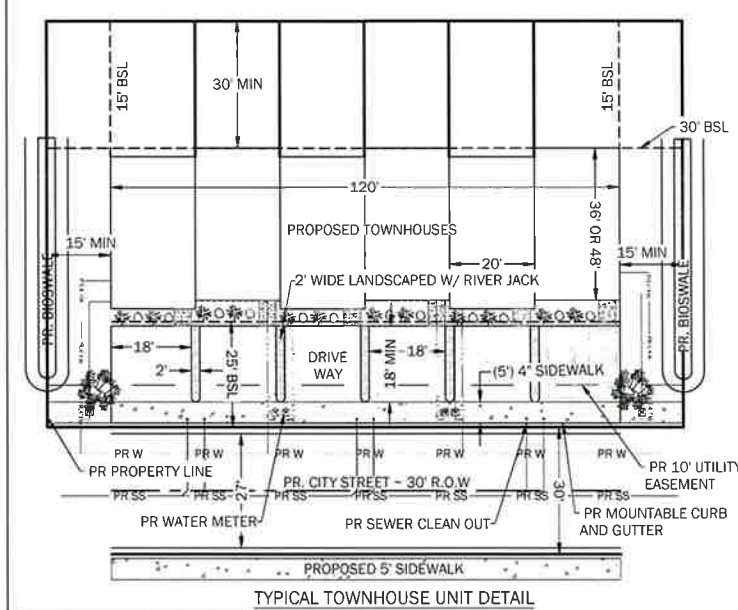
TYPICAL SINGLE FAMILY LOT DETAIL
MINIMUM LOT SIZE = 8,000 SF
1"=20'

*NOTE: SINGLE FAMILY HOME SHOWN REPRESENTS THE ROUGH DIMENSIONS OF "GALEN" MODEL. SIZE AND TYPE MAY VARY

DEVELOPMENT STANDARDS
RESIDENTIAL DISTRICTS R-8A 17.160.060

MINIMUM LOT SIZE = 8,000 SF
MINIMUM LOT INTERIOR WIDTH = 60'
MINIMUM CORNER LOT WIDTH = 75'
SETBACKS:

FRONT: 25'
REAR: 30'
SIDE: 10' (TWO REQUIRED)
HEIGHT LIMITATION = 40'



TYPICAL TOWNHOUSE UNIT DETAIL
1"=20'

NOTE: WATER METER TO BE PER CITY STD 300.57 - TRAFFIC BEARING 1" WATER SERVICE.

*NOTE: PARTY WALL PROPERTY LINE NOT SHOWN FOR CLARITY

TOWNHOUSE DEVELOPMENT STANDARDS
PER 17.224.030

MINIMUM LOT SIZE = 2,000 SF
MINIMUM LOT INTERIOR WIDTH = 20'
MAXIMUM UNITS PER ROW = 8
SETBACKS:

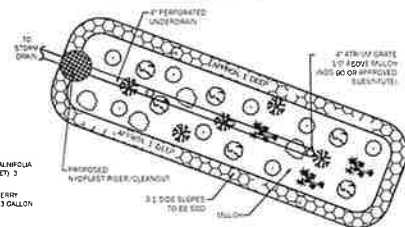
FRONT: 25'
REAR: 30'
SIDE: 15'
HEIGHT LIMITATION = 35' / 3.5 STORIES
MAXIMUM ALLOWABLE DENSITY = 8 UNITS/ACRE

FOUNDATION PLANTING LANDSCAPING LEGEND

○ ○ ○ ○ DENOTES FOUNDATION PLANTINGS

NOTE: FOUNDATIONS TO BE PLANTED AND CONSIST OF A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS (FRINK SUMMERSWELL BURNING BUSH HYPERICUM SPIRAEA AZALEAS JUNIPERS AND YEW) AND A MIXTURE OF GROUND COVERS AND PERENNIALS (JUNIPERS AND FLOWERS WITH ANNUAL COLOR TO BE SUPPLEMENTED WHERE APPLICABLE)

TYPICAL MICRO-BIO RETENTION AREA



PLANTING LEGEND

- DENOTES WITCH HAZEL (AMARILLUS VINCIGRAMMUS)
- DENOTES ELDER (SAMBUCUS NIGRA)
- DENOTES SOUTHERN YEW (TAXUS DISTICHA)
- DENOTES WINTER HAZEL (CORONILLA VARIEGATA)



SHEET 9 OF 9

NOT TO SCALE

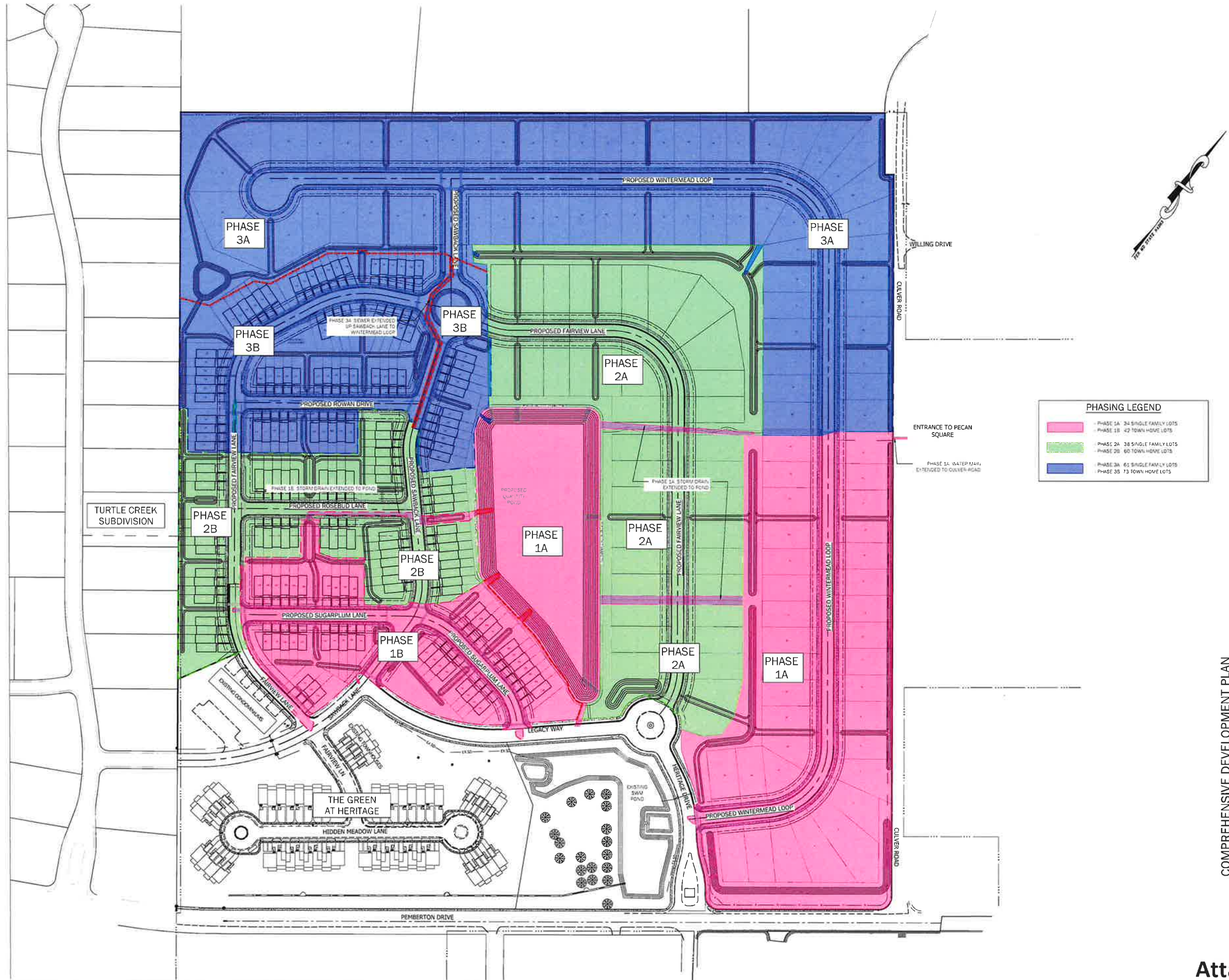
COMPREHENSIVE DEVELOPMENT PLAN

RENDERINGS & DETAILS
HERITAGE

Road Name: Peachtree Drive & Collier Road
Prepared By: Jason Malone - Heritage Row LLC
CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND


DATE	03/02/2023	SCALE	1/8"=1'-0"
DATE	03/02/2023	SCALE	1/8"=1'-0"
DATE	03/02/2023	SCALE	1/8"=1'-0"



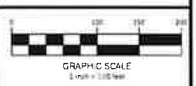


PHASING LEGEND

■	PHASE 1A 34 SINGLE FAMILY LOTS
■	PHASE 1B 42 TOWN HOME LOTS
■	PHASE 2A 38 SINGLE FAMILY LOTS
■	PHASE 2B 60 TOWN HOME LOTS
■	PHASE 3A 61 SINGLE FAMILY LOTS
■	PHASE 3B 73 TOWN HOME LOTS



SHEET 2 OF 9




<p>DATE: 03/07/2023</p> <p>BY: JIS/NEC</p>	<p>DATE: 03/07/2023</p> <p>BY: JIS/NEC</p>
<p>PROJECT: PHASING CDP</p>	<p>PROJECT: PHASING CDP</p>

COMPREHENSIVE DEVELOPMENT PLAN

PHASING PLAN

HERITAGE

Road Name: Pemberton Drive & Culver Road
 For: Jason Malone - Heritage Revival LLC
 CITY OF SALISBURY, WICOMICO COUNTY, MARYLAND
 SCALE: 1" = 100'
 DATE: 03/07/2023
 BY: JIS/NEC





Infrastructure and Development Staff Report

ZONING RECOMMENDATION FOR ANNEXATION

April 20, 2023

I. BACKGROUND INFORMATION:

Project Name: JD Oliver Annexation

Applicant/Owner: JD Oliver, LLC, rep. by Ryan Showalter of MDSW, LLC

Nature of Request: Zoning Recommendation for Annexation

Location of Properties: 2407 N Salisbury Blvd, M-0029, G-0011, P-0158

Requested Zoning District: General Commercial

II. SUMMARY OF REQUEST:

A. Introduction:

The applicant has submitted a letter and petition (**Attachment #1**) for annexation of 2407 N Salisbury Blvd and City Administration has referred the request to the Planning Commission for review and recommendation of an appropriate zoning designation. The property is located east of northbound U.S. Rt 13 and just north of the Centre at Salisbury. (**Attachment #2**)

B. Area Description:

The requested annexation area totals 13.49 acres. Parcel 158 has two points of access to the northbound lane of North Salisbury Blvd (U.S. Rt 13). The site is currently improved with two buildings, two paved driveways, paved parking spaces, gravel lots, concrete sidewalk serving building frontage, and two above ground fuel storage tanks. (**Attachment #2**)

III. ZONING ANALYSIS:

A. Existing Zoning:

The annexation area is currently zoned C-2 General Commercial in the County. The adjacent properties to the north and east are in the County's C-2 General Commercial district. To the south and west, the properties are located in the City's General Commercial district. (**Attachment #3**)



City of Salisbury

John "Jack" R. Heath, Mayor

B. City Plan.

The City Comprehensive Plan and Future Land Use map designates these properties as Commercial and future land use for the surrounding properties is consistent with the current County zoning districts. **(Attachment #4)**

C. Zoning for Annexed Areas.

1. Introduction.

Current City policy requires that all areas to be annexed shall be submitted to the Salisbury-Wicomico Planning Commission for review and recommendation of an appropriate zoning district. The classification of future City areas is conducted consistent with local adopted plan recommendations and Maryland Annexation Law.

2. Adopted Plans.

The Planning Commission is a jointly established agency for both the City of Salisbury and Wicomico County. One of its basic charges is to prepare and recommend various plans guiding the long-range development of both jurisdictions.

The information below summarizes the legal status of the plans currently in effect for Wicomico County and the City of Salisbury.

- a. The Salisbury Comprehensive Plan - The Salisbury City Council adopted the current Comprehensive Plan on July 12, 2010. That document includes land use policies for all lands within the Corporate Limits as well as a Municipal Growth Element addressing growth areas outside the Corporate Limits. This property is included within the Municipal Growth Area, and designates this area as Commercial. **(Attachment #4)**
- b. The Wicomico County Comprehensive Plan - The Wicomico County Council adopted the County Plan on March 21, 2017. This area is designated "Commercial" and is zoned C-2 General Commercial. **(Attachment #3)**



City of
Salisbury
John "Jack" R. Heath, Mayor

3. Maryland Law.

House Bill 1141 made two (2) changes to Annexation Procedures that became effective October 1, 2006. They are:

- 1. The Five-Year Rule.** This rule is applied solely to zoning and the degree of use change from the current county zoning classification to the proposed municipal classification following the annexation. The five-year rule does not apply for a land use or density change unless the proposed zoning is "substantially different" OR denser by 50%. A municipality may obtain a waiver from the county to avoid the five-year wait until the new zoning classification applies, if necessary.
- 2. Annexation Plans Required.** An annexation plan is required that replaces the "outline" for the extension of services and public facilities prior to the public hearing for an annexation proposal. This section contains no additional language for the content of the annexation plan to be adopted, but does require it to be consistent with the municipal growth element for any annexations that begin after October 1, 2009 (unless extended for up to two six-month periods). The Plan must be provided to the County and the State (the Maryland Department of Planning) at least 30 days prior to the hearing.

IV. DEVELOPMENT SCENARIO:

A. Proposed Use:

The site is currently improved with two buildings, two paved driveways, paved parking spaces, gravel lots, concrete sidewalk serving building frontage, and two above ground fuel storage tanks. Prior use of this property included commercial and industrial truck sales, wholesale parts sales, and repair and service. The developer intends to continue the same use of this property.

B. Access:

The site will utilize the existing two paved driveways. Both driveways have access from the northbound land of North Salisbury Boulevard (U.S. 13).



City of Salisbury

John "Jack" R. Heath, Mayor

C. Configuration and Design:

The annexation area is fairly rectangular in shape and adjoins the existing City boundaries along N Salisbury Blvd and Centre Dr.

D. Estimated Development Impacts:

This site is already improved and the proposed use will remain consistent with the existing use. Impacts on the surrounding neighborhood, as well as the City's infrastructure will be minimal.

V. ZONING RECOMMENDATION:

The specific purpose of the Planning Commission's review is to make a zoning recommendation for the annexation area that is currently zoned C-2 General Commercial in the County.

The adopted Salisbury Comprehensive Plan designates this area and nearby areas as "Commercial", and the proposed use and requested zoning classification meet this designation by utilizing the General Commercial zoning classification. The proposed use of the site for equipment sales, rental, service, repair or maintenance facility for industrial, automotive, and construction equipment is an appropriate use within the requested zoning classification, as these uses are an inherently permitted use within the General Commercial district. The proposed zoning classification after City annexation is not substantially different from the existing zoning in the County.

Staff recommends that the Planning Commission forward a **Favorable** recommendation to the Mayor and City Council for this property to be zoned **General Commercial** upon annexation.

Real Property Data Search ()
 Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 05 Account Number - 049687

Owner Information

Owner Name: JDOLIVER LLC **Use:** COMMERCIAL
Mailing Address: 4303 LEWIS RD **Principal Residence:** NO
 HARRISBURG PA 17111- **Deed Reference:** /05139/ 00382

Location & Structure Information

Premises Address: 2407 N SALISBURY BLVD **Legal Description:** 13.49 AC
 SALISBURY 21801-0000 2407 N SALISBURY BLVD
 N OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0029	0011	0158	11002.23	0000				2023	Plat Ref:

Town: None

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1975	35,456 SF		13.4900 AC	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
		OFFICE BUILDING	/	C2			

Value Information

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2023	07/01/2022	07/01/2023
Land:	2,548,800	4,508,200		
Improvements	133,300	369,600		
Total:	2,682,100	4,877,800	2,682,100	3,414,000
Preferential Land:	0	0		

Transfer Information

Seller: CROSS LAKE LLC	Date: 08/09/2022	Price: \$5,000,000
Type: ARMS LENGTH IMPROVED	Deed1: /05139/ 00382	Deed2:
Seller: R S BARR FAMILY NO 1 LLC	Date: 10/17/2019	Price: \$2,750,000
Type: ARMS LENGTH IMPROVED	Deed1: /04541/ 00012	Deed2:
Seller: MARYLAND IH VENTURE	Date: 02/07/2000	Price: \$1,225,000
Type: ARMS LENGTH IMPROVED	Deed1: /01730/ 00324	Deed2:

Exemption Information

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**



MCALLISTER
DETAR
SHOWALTER
& WALKER

Ryan D Showalter
rshowalter@mdswwlaw.com
(410) 820-0259 Direct

March 8, 2023

VIA FEDERAL EXPRESS

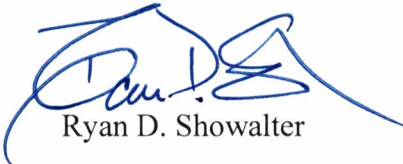
William Holland, Building Official
Infrastructure & Development
125 N. Division Street, B13
Salisbury, MD 21801

Re: 2407 N. Salisbury Blvd Proposed Annexation

Dear Mr. Holland:

Enclosed please find an Annexation Petition and Annexation Plat, which reflects the survey information of the existing improvements on the subject property, along with a check in the amount of \$15,000.00.

Very truly yours,



Ryan D. Showalter

RDS/kab

cc: Heather Konyar, Esq. (via electronic mail)

CITY OF SALISBURY

PETITION FOR ANNEXATION

To the Mayor and Council of the City of Salisbury:

WHEREAS, JDOLiver, LLC (the “Applicant”) owns that certain lot or parcel of land located at 2407 N. Salisbury Blvd., Salisbury, Maryland 21801, further described as Tax Map 29, Grid 11, Parcel 158, and identified as “Lands now or formerly of JDOLiver, LLC, Liber 5139, folio 382, 13.49 acres” on an annexation plat entitled “ANNEXATION PLAT OF PARCEL 158 FOR JDOLIVER, LLC, SITUATE AT 2407 NORTH SALISBURY BOULEVARD, SALISBURY, WICOMICO COUNTY, MARYLAND,” prepared by Frederick, Seibert & Associates, Inc., dated February 16, 2023 (the “Annexation Plat”), consisting of 13.49 acres, more or less (the “JDOLiver Property”); and,

WHEREAS, as shown on the Annexation Plat, a small portion of the JDOLiver Property comprised of 0.02 acres, more or less, is located within the municipal boundaries of the City of Salisbury, Maryland (the “City”) while the balance of the JDOLiver Property comprised of 13.47 acres, more or less, is located adjacent to and outside the City’s municipal boundaries; and,

WHEREAS, the Applicant desires the City to annex substantially all of the JDOLiver Property into the City, save for a small strip of land along the Property’s eastern boundary identified on the Annexation Plat as “AREA TO REMAIN IN COUNTY 0.15 AC.”, consisting of 0.15 acres more or less, which strip is necessary in order to prevent the creation of an illegal enclave of unincorporated County land immediately north of the JDOLiver Property; and,

WHEREAS, to avoid the creation of an illegal enclave and to refine the City’s municipal boundary, the Applicant is requesting that the City incorporate the following additional areas of land as shown and described on the Annexation Plat: (1) a 0.19 acre area, more or less, identified on the Annexation Plat as “AREA TO BE ANNEXED 0.19 AC.”, being “LANDS OF CROSS LAKE, LLC, LIBER 4868, FOLIO 225, PARCEL 3, PLAT CABINET 8, FOLIOS 75-298”; (2) a 0.37 acre area, more or less, identified on the Annexation Plat as “AREA TO BE ANNEXED 0.37 AC.”, being “LANDS OF SALISBURY MALL REALTY HOLDING, LLC, PARCEL 5 OF LIBER 4811, FOLIO 43, PARCEL B, PLAT CABINET 8, FOLIOS 75-298”; and, (3) a 0.20 acre area, more or less, identified on the Annexation Plat as “AREA TO BE ANNEXED 0.20 AC.”, being “LANDS OF SALISBURY MALL REALTY HOLDING, LLC, PARCEL 2 OF LIBER 4811, FOLIO 43, PARCEL 4, PLAT CABINET 8, FOLIOS 75-298” (collectively, the “Additional Property”); and,

WHEREAS, the Applicant is the owner of at least 25% of the assessed valuation of real property in the area to be annexed, and there are no registered voters who are residents in the area to be annexed; and,

WHEREAS, the Applicant desires the City to annex the JD Oliver Property and the Additional Property into City of Salisbury, Maryland.

NOW, THEREFORE, I/We request annexation of my/our land to the City of Salisbury.

Parcel(s) Tax Map 29, Parcel 158 (JD Oliver, LLC)
(13.32 AC± area to be annexed);

Together with the following additional areas of land owned by others:

Tax Map 119, Parcel 237 (Parcel 3) (Cross Lake, LLC)
(0.19 AC± area to be annexed);

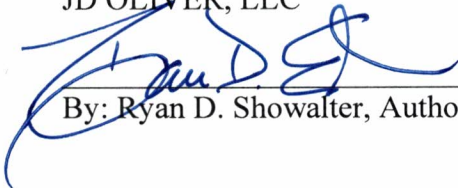
Tax Map 119, Parcel 237 (Parcel B) (Salisbury Mall Realty Holding, LLC)
(0.37 AC± area to be annexed); and,

Tax Map 119, Parcel 237 (Lot 4) (Salisbury Mall Realty Holding, LLC)
(0.20 AC± area to be annexed).

SIGNATURE

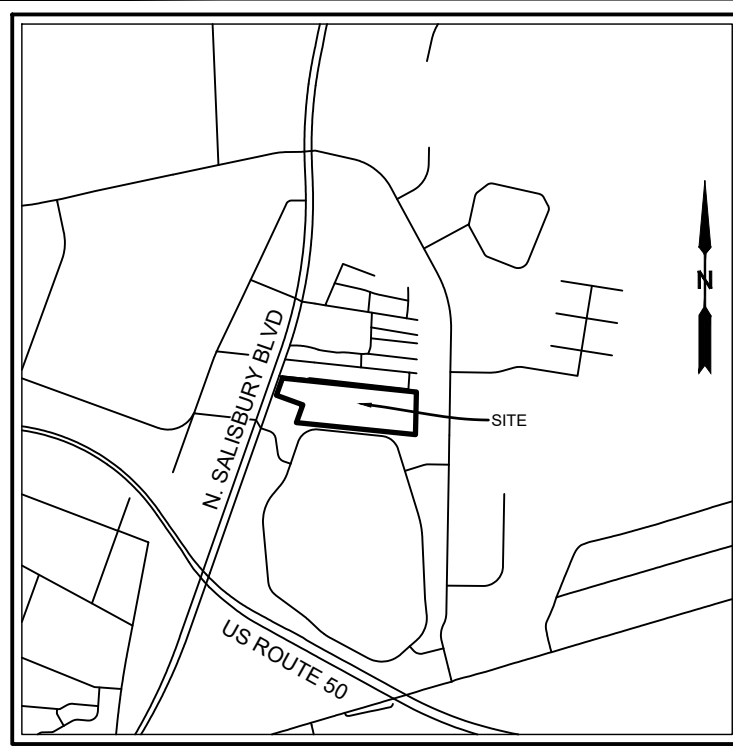
APPLICANT:

JD OLIVER, LLC



By: Ryan D. Showalter, Authorized Person

3/8/23
Date



VICINITY MAP
SCALE 1"=2000'

LEGEND	
	= PROPERTY LINE
	= CORPORATE BOUNDARY LINE
	= CORPORATE BOUNDARY TO BE VACATED
	= PROPOSED CORPORATE BOUNDARY
BL	= BOUNDARY LINE
CBL	= CORPORATE BOUNDARY LINE

ANNEXATION TABLE	
Lands of JDOliver, LLC	13.32 Acres
Lands of Cross Lake, LLC	0.19 Acre
Lands of Salisbury Mall Realty Holdings (Parcel 5)	0.35 Acre
Lands of Salisbury Mall Realty Holdings (Parcel 2)	0.19 Acre
Total New Annexation	14.05 Acres

Land Surveyor's Certification

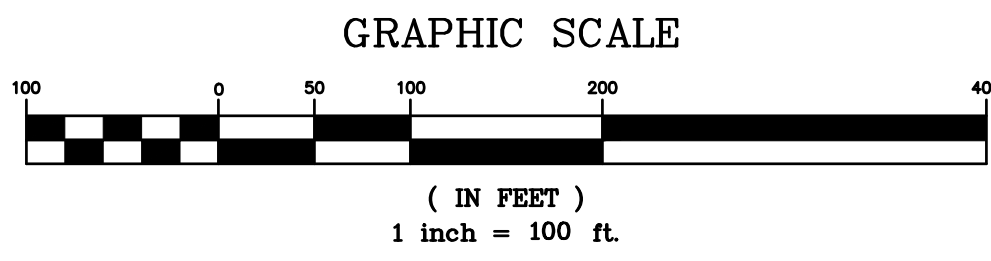
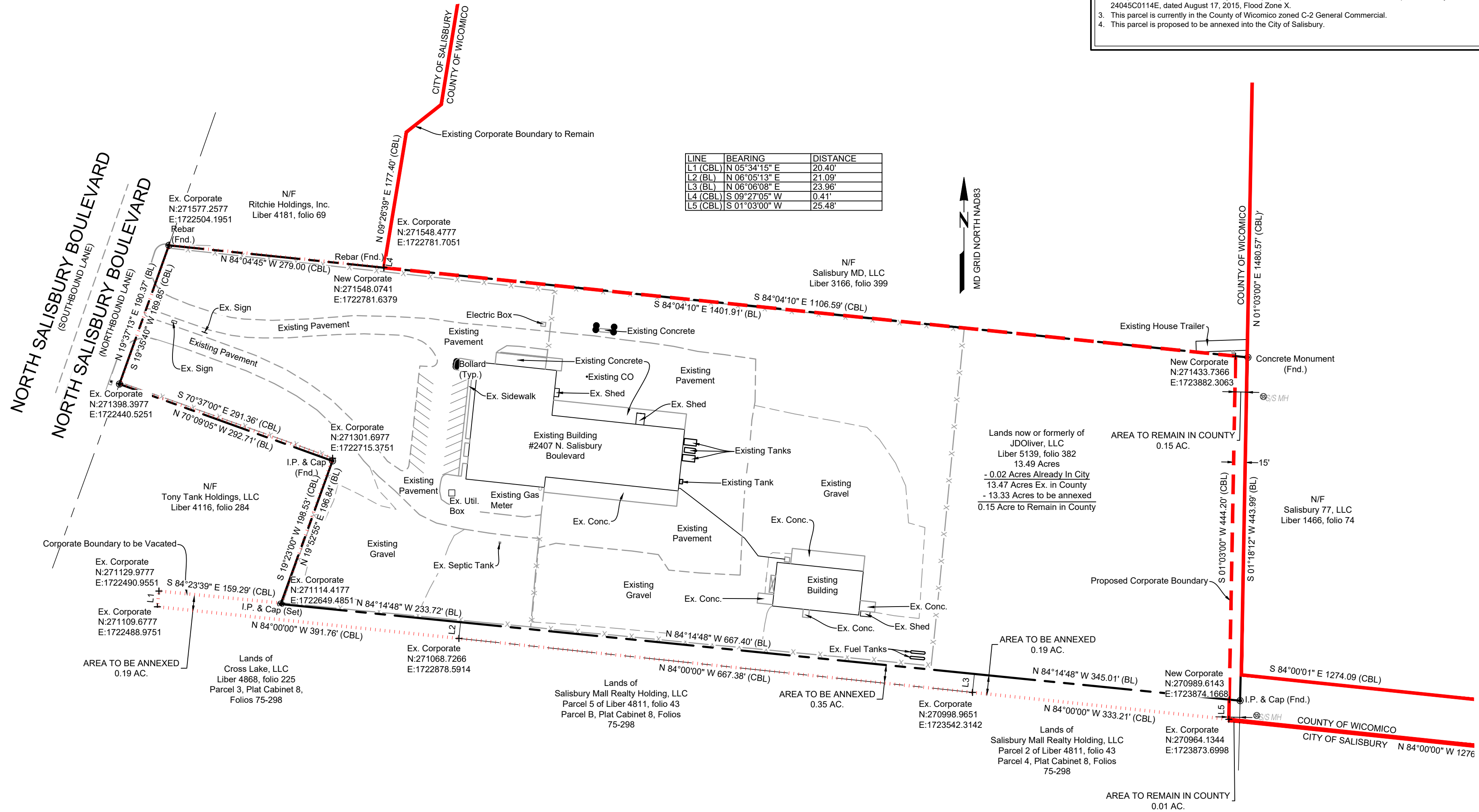
I hereby certify to the best of my professional knowledge and belief that the plat shown hereon is correct; that it is part of the land described in a deed from Cross Lake, LLC, to JDOliver LLC, dated July 29, 2022, recorded among the Land Records of Wicomico County, Maryland, in Liber 5139, folio 382, part of Parcels 2 and 5 of the land described in a deed from RPI Salisbury Mall, LLC, to Salisbury Mall Realty Holding, LLC, dated February 10, 2021, recorded among the Land Records of Wicomico County, Maryland in Liber 4811, folio 43, and of part of the land described in a deed from Freeze Enterprises, LLC, to Cross Lake, LLC, dated May 28, 2021, recorded among the Land Records of Wicomico County, Maryland in Liber 4868, folio 225; that this boundary survey was personally prepared by me or that I was in responsible charge over its preparation; and the surveying work reflected hereon is in compliance with the requirements set forth in COMAR 09.13.06.03 in effect at the time this survey was performed.

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional land surveyor under the laws of the State of Maryland, License No. 10731, Expiration Date: January 16, 2024.

3/1/2023
Date Professional Land Surveyor

General Notes

- Bearings, distances and coordinates are based on MD Grid NAD83.
- This parcel does not lie in the 100 year flood plain per FEMA Flood Insurance Rate Map, Community Panel No. 24045C0114E, dated August 17, 2015, Flood Zone X.
- This parcel is currently in the County of Wicomico zoned C-2 General Commercial.
- This parcel is proposed to be annexed into the City of Salisbury.



FSA

FREDERICK SEIBERT & ASSOCIATES, INC.
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CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3600

16 EAST MAIN STREET
NEW BLOOMFIELD, PA 17088
717.276.7301

506 SOUTH HANOVER STREET
CHARLESLE, PA 17013
717.701.6111

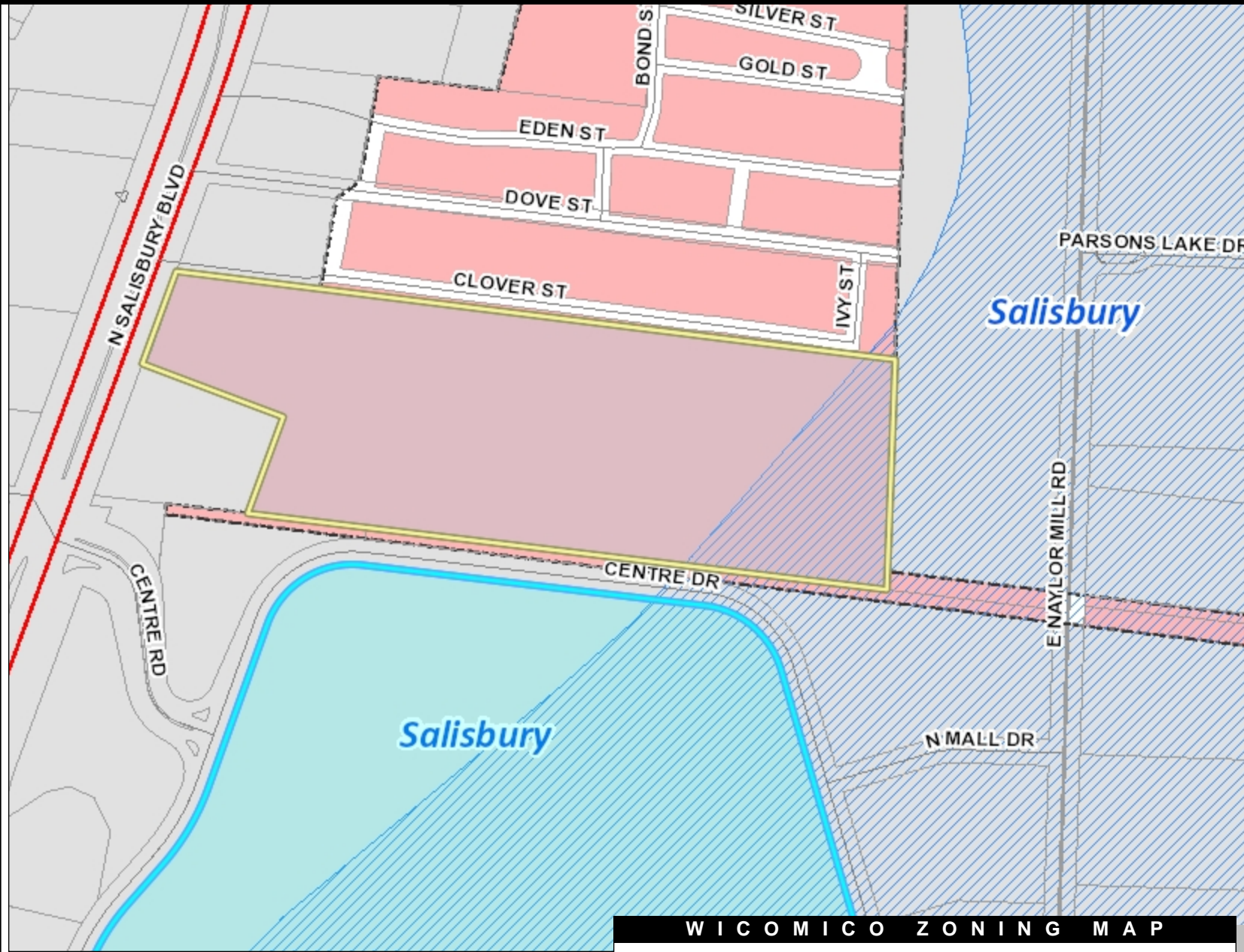
ANNEXATION PLAT
OF
PARCEL 158
FOR
JDOliver, LLC
SITUATE AT 2407 NORTH SALISBURY BOULEVARD
SALISBURY
WICOMICO COUNTY, MARYLAND

PROJECT NO.	2022-0020
DWN BY	LEJ
DATE	2.16.2023
PROJECT MANAGER	JTD
EMAIL	JDoty@fisa-inc.com
ELECTION DISTRICT	05
PROPERTY INFORMATION	29-11-158/237
ACCOUNT NO.	05-049687/107180/107172/107199
SCALE	1" = 100'
SHEET TITLE	

ANNEXATION PLAT

SHEET 01 OF 01

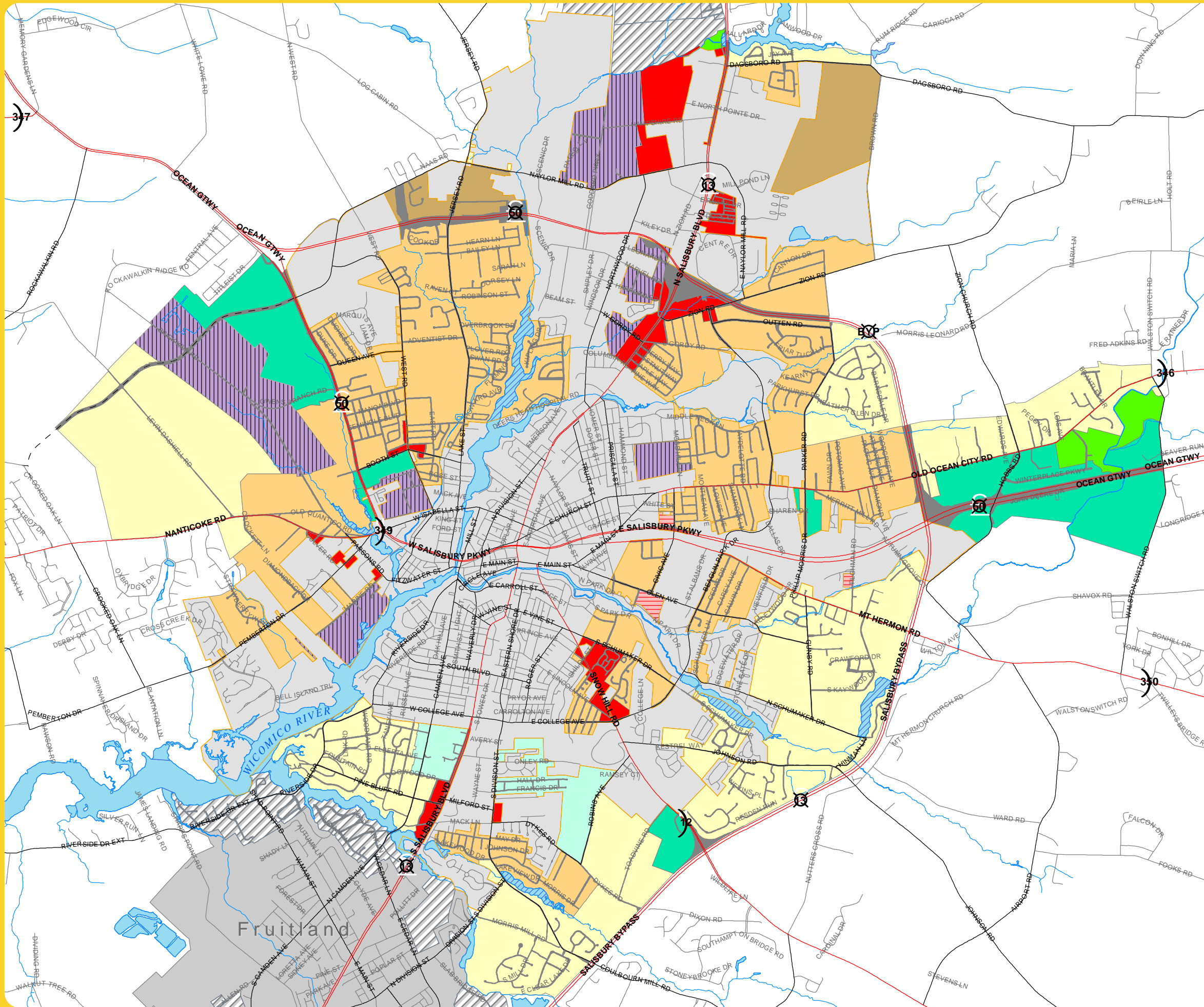
WICOMICO COUNTY



- ### Legend
- Parcels
 - Municipal Areas
 - County Boundary
 - Show Street Address
 - Chesapeake Bay Critical Area
 - Historic Districts
 - 8000 ft Turning Radius
 - Paleochannel
 - Airport Overlay District
 - Neighborhood Preservation
 - Salisbury Critical Area
- ### Wicomico County Zoning
- A - 1 Agricultural - Rural
 - Airport Business Park
 - C - 1 Select Commercial
 - C - 2 General Commercial
 - C - 3 Regional Commercial
 - CID Corporate Industrial District
 - I - 1 Light Industrial
 - I - 2 Heavy Industrial
 - LB - 1 Light Business & Institutional
 - LB - 2 Light Business & Residential
 - R - 8 Residential
 - R - 15 Residential
 - R - 20 Residential
 - R - 30 Residential
 - REC Residential, Educational & Community
 - TT Town Transitional
 - VC Village Conservation
 - Municipality

W I C O M I C O Z O N I N G M A P

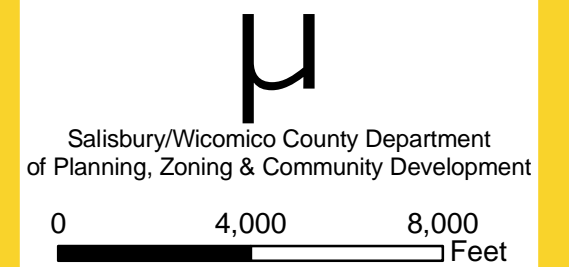




City of Salisbury
Comprehensive Plan

- Major Roads
- Minor Roads
- Local Roads
- Westside Collector
- Streams
- Waterbodies
- Salisbury Corporate Limits
- Fruitland/Delmar Growth Areas
- Low Density Residential-3926.55 ac (31.95%)
- Medium Density Residential-3791.97 ac (30.85%)
- High Density Residential-448.38 ac (3.65%)
- Business and Institutional-28.83 ac (0.23%)
- Commercial-407.2 ac (3.31%)
- Industrial-998.68 ac (8.13%)
- Mixed Use-1069.23 ac (8.7%)
- Parks and Open Space-144.76 ac (1.18%)
- Salisbury University-261.35 ac (2.13%)
- Medians and ROW-1073.56 ac (8.74%)
- Waterbodies-139.36 ac (1.13%)

Sources:
*Salisbury/Wicomico Department of Planning,
Zoning & Community Development



**Map 11-3: Growth Area
Future Land Use**



City of Salisbury, Maryland
2010 Comprehensive Plan