Salisbury Historic District Commission
AGENDA

Wednesday, July 26, 2023 at 7:00 pm
Government Office Building Room 301

1. 7:00 P.M. - CALL TO ORDER – Scott Saxman, Chairman

2. ROLL CALL

3. APPROVAL OF MINUTES – April 26, 2023, May 24, 2023, & June 28, 2023

PUBLIC INPUT – Members of the public are welcome to make comment at this time, subject to a time allotment of two (2) minutes per person.

4. CONSENT DOCKET- None

5. OLD BUSINESS – None

6. NEW BUSINESS –

- **#23-16- *110 E William St- Solar Panels**
- **#23-17- 411 Wicomico St- New Construction**
- **#23-18- 226 Newton St- Alterations**
- **#23-19- 228 Newton St- Alterations**

*this indicates that the structure has been deemed a contributing structure by the SHDC
* this indicates that the structure has been deemed a Non-contributing structure by the SHDC

Times shown are approximate. The SHDC reserves the right to adjust the agenda as circumstances warrant.
The SHDC reserves the right to convene in Closed Session as permitted under the Annotated Code of Maryland, General Provisions Article, Section 3-305(b).

Salisbury Historic District Commission

Hearing Notification

Hearing Date:	July 26, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-16
Commission Considering:	Solar Panels
Owner's Name:	**Lucia Fuentes**
Applicant Name:	**Kadiedra Jarrett**
Agent/Contractor:	Not Indicated
Subject Property Address:	110 E William St
Historic District:	Newtown Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission

125 N. Division Street
Room 202
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application
$50 Fee Received 5/2/23 (date)

Date Submitted: 5/2/2023
Date Accepted as Complete: 7/7/23
Subject Location: 110 E William St Salisbury MD 21801
Application by: Kadeidra Jarrett
Applicant Address: 525 W Baseline Rd Mesa, AZ 85210
Applicant Phone: 980-285-3407

Case #: 23-16
Action Required By (45 days): 9/16/23

Owner Name: Lucia Fuentes
Owner Address: 110 E William St Salisbury MD 21801
Owner Phone: (410) 845-0824
Owner Email: luciasandoval@hotmail.es

Work Involves: ___Alterations ___New Construction ___Addition Other Roof Solar
___Demolition ___Sign ___Awning Estimated Cost $46,926.38

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

Rooftop Solar Installation 9.6kW(24 panels)

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ___Yes X No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ___Yes X No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on July, 26 2023 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature Kadeidra Jarrett Date 5/2/2023

Jessica Budd 6/8/23
Application Processor (Date)

Brian Soper 6/8/23
Secretary, S.H.D.C. (Date)


110

SCOPE OF WORK:
TO INSTALL A ROOF MOUNTED SOLAR PHOTOVOLTAIC SYSTEM AT THE OWNER RESIDENCE LOCATED AT
110 E. WILLIAM ST., SALISBURY, MD 21801,USA
THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID THROUGH THE EXISTING ELECTRICAL SERVICE EQUIPMENT.
THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES

EQUIPMENT SUMMARY

24	HYPERION HY-DH108P8 400W MODULES
01	SOLAREDGE SE7600H-US INVERTER
24	SOLAREDGE POWER OPTIMIZERS S440

PROJECT DESCRIPTION:

24 X 400 HYPERION HY-DH108P8 400W MODULES
ROOF MOUNTED SOLAR PHOTOVOLTAIC MODULES

SYSTEM SIZE:9.60 kW DC STC
ARRAY AREA: ROOF#1 - 147.07 SQ FT
ARRAY AREA: ROOF#2 - 105.05 SQ FT
ARRAY AREA: ROOF#3 - 252.12 SQ FT

AUTHORITIES HAVING JURISDICTION
BUILDING : SALISBURY CITY
ZONING : SALISBURY CITY
UTILITY : DELMARVA POWER

APPLICABLE CODES & STANDARDS:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRICAL CODE

DESIGN CRITERIA	
WIND SPEED	117 MPH VULT
RISK CATEGORY	II
EXPOSURE CATEGORY	C
MOUNTING METHOD	ROOF MOUNT
GROUND SNOW LOAD	20 PSF

SHEET INDEX

GENERAL NOTES:

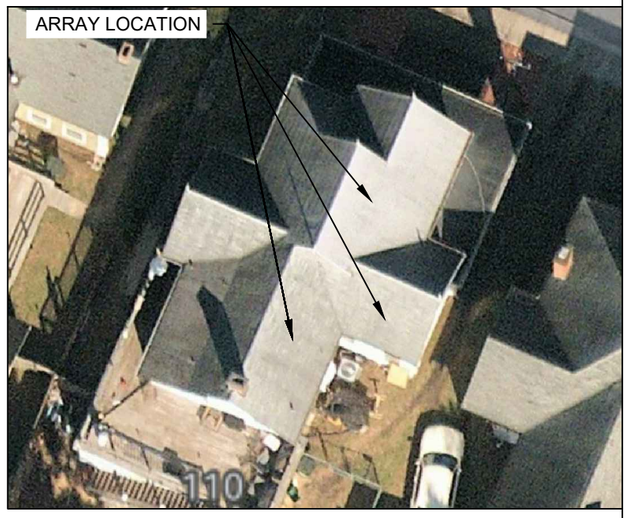
- THESE CONSTRUCTION DOCUMENTS HAVE BEEN BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS IN CONSTRUCTION DETAILS.
- ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT AT SITE.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, TOOLS, OBTAINS ALL PERMITS, LICENSES AND PAY ALL REQUIRED FEES AND COMPLETE INSTALLATION.
- CONTRACTOR HAS THE FULL RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY WORK STARTED BEFORE CONSULTATION AND ACCEPTANCE BY THE ENGINEER SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO CORRECTION BY THEM WITHOUT ADDITIONAL COMPENSATION.
- DAMAGE CAUSED TO THE EXISTING STRUCTURE, PIPES, DUCTS, WINDOWS, WALL, FLOORS, ETC. SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK WITH APPROVED MATERIALS.
- NO CHANGES ARE TO BE MADE WITHOUT THE CONSULTATION AND APPROVAL OF THE ARCHITECT.
- CONTRACTOR SHALL OBTAIN BUILDING PERMIT. NO WORK TO START UNLESS BUILDING PERMIT IS PROPERLY DISPLAYED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE OF FIRST QUALITY AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE MD BUILDING CODE, THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ALL PERTINENT AGENCIES.
- IT IS ESSENTIAL THAT ALL WORK PROCEED WITH THE MAXIMUM COOPERATION OF ALL PARTIES AND WITH MINIMUM INTERFERENCE TO THE OCCUPANTS WITHIN THE BUILDING. THE OWNER'S DIRECTIONS IN THIS REGARD SHALL BE FULLY COMPLIED WITH.
- ALL EXPOSED PLUMBING, HVAC, ELECTRICAL DUCTWORK, PIPING AND CONDUITS ARE TO BE PAINTED BY GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM THE WORK IN STRICT CONFORMANCE WITH THE LOCAL LAWS, REGULATIONS AND THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, AFFIDAVITS, CERTIFICATIONS, ETC. AND PAY ALL FEES AS REQUIRED BY THE LOCAL AUTHORITIES.
- CONTRACTORS SHALL OBTAIN FIRE CERTIF. UPON COMPLETION OF WORK.

WIRING AND CONDUIT NOTES:

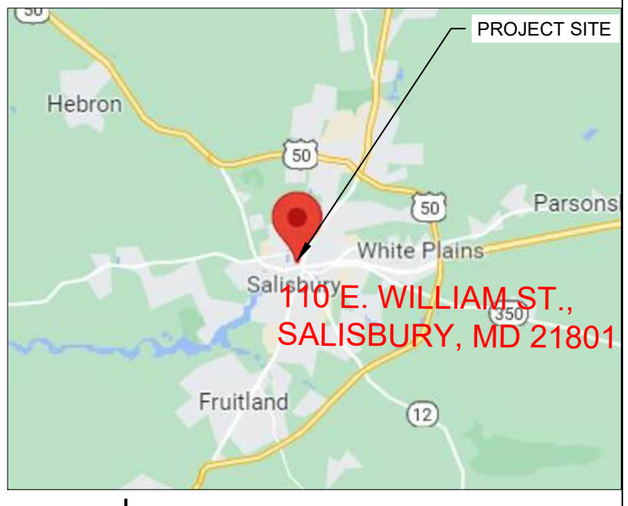
- ALL CONDUIT SIZES AND TYPES, SHALL BE LISTED FOR ITS PURPOSE AND APPROVED FOR THE SITE APPLICATIONS
- ALL PV CABLES AND HOMERUN WIRES BE #10AWG *USE-2, PV WIRE, OR PROPRIETARY SOLAR CABLING SPECIFIED BY MFR, OR EQUIVALENT; ROUTED TO SOURCE CIRCUIT COMBINER BOXES AS REQUIRED
- ALL CONDUCTORS AND OCPD SIZES AND TYPES SPECIFIED ACCORDING TO [NEC 690.8 (A)(1) & (B)(1)], [NEC 240] [NEC 690.7] FOR MULTIPLE CONDUCTORS
- ALL PV DC CONDUCTORS IN CONDUIT EXPOSED TO SUNLIGHT SHALL BE DERATED ACCORDING TO [NEC TABLE 310.15 (B)(2)(C)] BLACK ONLY**
- EXPOSED ROOF PV DC CONDUCTORS SHALL BE USE-2, 90°C RATED, WET AND UV RESISTANT, AND UL LISTED RATED FOR 600V, UV RATED SPIRAL WRAP SHALL BE USED TO PROTECT WIRE FROM SHARP EDGES
- 4-WIRE DELTA CONNECTED SYSTEMS HAVE THE PHASE WITH THE HIGHER VOLTAGE TO GROUND MARKED ORANGE OR IDENTIFIED BY OTHER EFFECTIVE MEANS
- ALL SOURCE CIRCUITS SHALL HAVE INDIVIDUAL SOURCE CIRCUIT PROTECTION
- VOLTAGE DROP LIMITED TO 2%
- AC CONDUCTORS >4AWG COLOR CODED OR MARKED: PHASE A OR L1- BLACK, PHASE B OR L2- RED, PHASE C OR L3- BLUE, NEUTRAL- WHITE/GRAY

ELECTRICAL NOTES:

- THE EQUIPMENT AND ALL ASSOCIATED WIRING AND INTERCONNECTION SHALL BE INSTALLED ONLY BY QUALIFIED PEOPLE. A QUALIFIED PERSON IS ONE WHO HAS SKILLS AND KNOWLEDGE RELATED TO THE CONSTRUCTION AND OPERATION OF THE ELECTRICAL EQUIPMENT AND INSTALLATIONS AND HAS RECEIVED SAFETY TRAINING TO RECOGNIZE AND AVOID THE HAZARDS INVOLVED. (NEC 690.4(C), NEC 2017)
- LOCAL UTILITY PROVIDER SHALL BE NOTIFIED PRIOR TO USE AND ACTIVATION OF ANY SOLAR PHOTOVOLTAIC INSTALLATION. FOR A LINE SIDE TAP CONNECTION, UTILITY NEEDS TO BE NOTIFIED WELL IN ADVANCE TO COORDINATE BUILDING ELECTRICAL SHUT OFF.
- NEW CONDUIT ROUTING SHOWN IS ESSENTIALLY SCHEMATIC. SUBCONTRACTOR SHALL LAY OUT RUNS TO SUIT FIELD CONDITIONS AND THE COORDINATION REQUIREMENTS OF OTHER TRADES.
- ARRAY WIRING SHOULD NOT BE READILY ACCESSIBLE EXCEPT TO QUALIFIED PERSONNEL.
- ALL EXTERIOR CONDUIT, FITTINGS, AND BOXES SHALL BE WATERTIGHT AND APPROVED FOR USE IN WET LOCATIONS. (NEC 690), NEC 2017.
- WIRING METHODS FOR PV SYSTEM CONDUCTORS AREN'T PERMITTED WITHIN 10 IN. OF THE ROOF DECKING OR SHEATHING EXCEPT WHERE LOCATED DIRECTLY BELOW THE ROOF SURFACE THAT'S COVERED BY PV MODULES AND ASSOCIATED EQUIPMENT WIRING
- BACK-FED BREAKER MUST BE AT THE OPPOSITE END OF BUS BAR FROM THE MAIN BREAKER OR MAIN LUG SUPPLYING CURRENT FROM THE UTILITIES.
- ALL CONDUCTORS AND WIRE TIES EXPOSED TO SUNLIGHT ARE LISTED AS UV RESISTANT.
- CONTRACTOR SHALL FOLLOW ALL ELECTRICAL EQUIPMENT LABELING REQUIREMENTS IN NEC 690
- PV SOURCE, OUTPUT AND INVERTER CIRCUITS SHALL BE IDENTIFIED AT ALL POINTS OF TERMINATION, CONNECTION, AND SPLICES. THE MEANS OF ID CAN BE SEPARATE COLOR CODING, MARKING TAPE, TAGGING ETC. (NEC 690.4), NEC 2017.
- MEASURE THE LINE-TO-LINE AND LINE-TO-NEUTRAL VOLTAGE OF ALL SERVICE ENTRANCE CONDUCTORS PRIOR TO INSTALLING ANY SOLAR EQUIPMENT. THE VOLTAGES FOR THE 240VAC RATED.



1 HOUSE PHOTO
PV-0 SCALE: NTS



2 VICINITY MAP
PV-0 SCALE: NTS

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
COVER SHEET

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-0

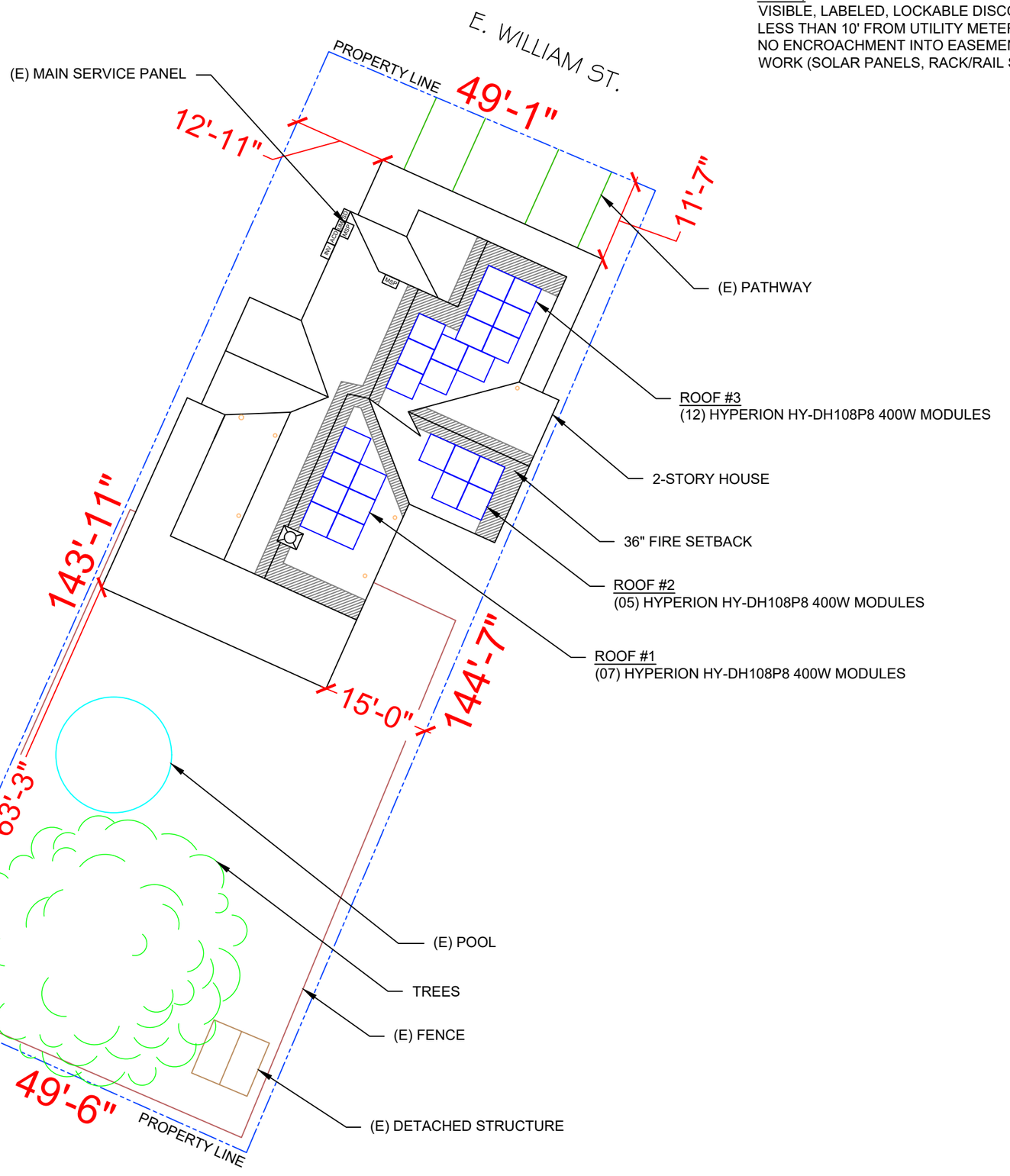
EQUIPMENT SUMMARY

24	HYPERION HY-DH108P8 400W MODULES
01	SOLAREDGE SE7600H-US INVERTER
24	SOLAREDGE POWER OPTIMIZERS S440

SYSTEM SIZE:9.60 kW DC STC
SYSTEM SIZE:7.60 kW AC STC

METER NO: IND357812435

NOTE ;
VISIBLE, LABELED, LOCKABLE DISCONNECT LOCATED LESS THAN 10' FROM UTILITY METER
NO ENCROACHMENT INTO EASEMENTS BY NEW SCOPE OF WORK (SOLAR PANELS, RACK/RAIL SYSTEMS & EQUIPMENT).



1 PLOT PLAN
PV-1 SCALE: 1/16" = 1'-0"

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RESIDENCE
110 E. WILLIAM ST.,
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PH#.:(410) 845-0824

SHEET NAME
PLOT PLAN

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-1

MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 24 MODULES
MODULE TYPE = HYPERION HY-DH108P8 400W MODULES
MODULE WEIGHT = 49.82 LBS / 22.6 KG.
MODULE DIMENSIONS = 67.79"x 44.64" = 21.01 SF
UNIT WEIGHT OF ARRAY = 2.37 PSF

SYSTEM SIZE:9.60 kW DC STC
SYSTEM SIZE:7.60 kW AC STC

METER NO: IND357812435

EQUIPMENT SUMMARY

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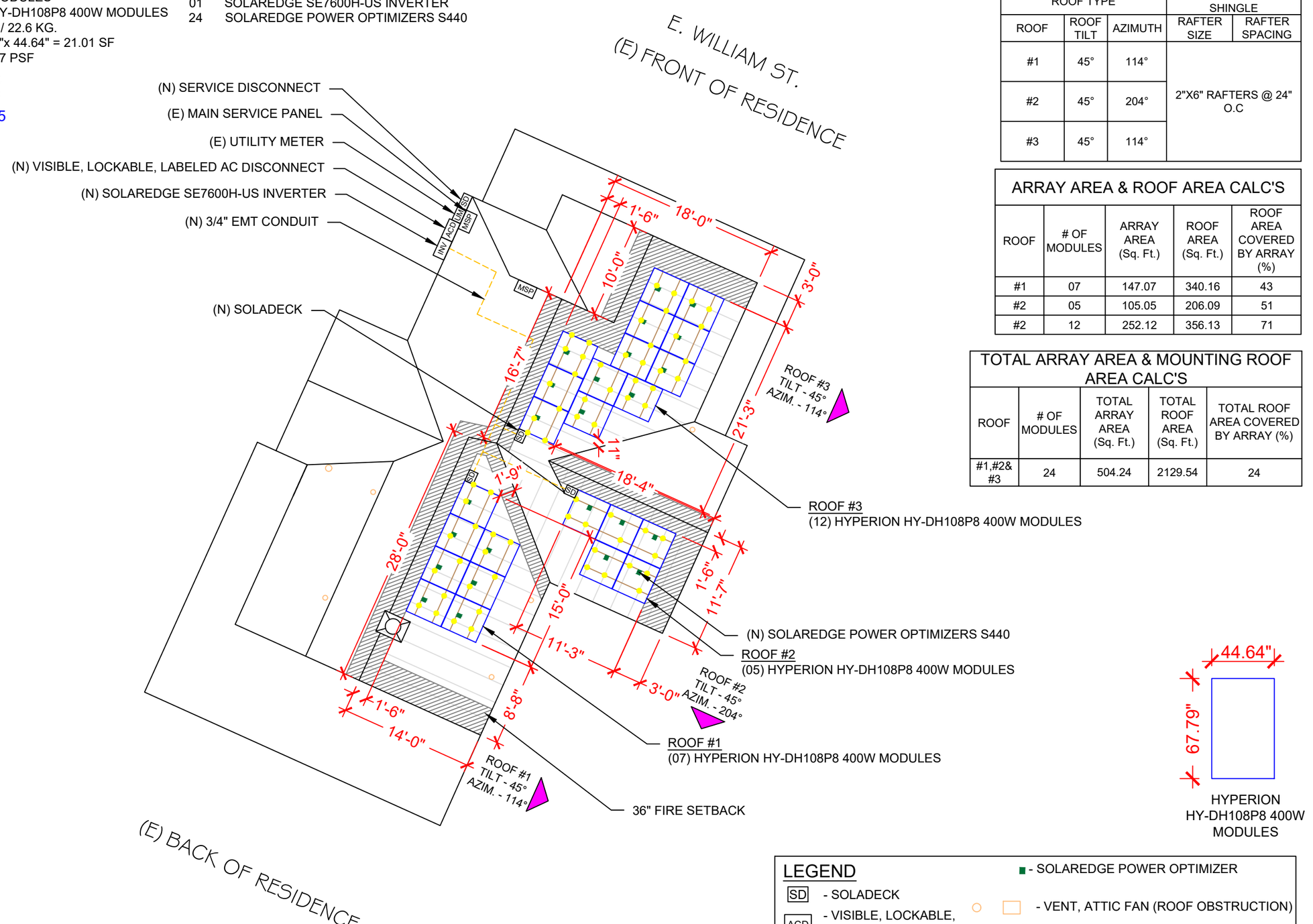
01	SOLAREDGE SE7600H-US INVERTER
24	SOLAREDGE POWER OPTIMIZERS S440



ROOF DESCRIPTION

ROOF TYPE			COMPOSITION SHINGLE	
ROOF	ROOF TILT	AZIMUTH	RAFTER SIZE	RAFTER SPACING
#1	45°	114°	2"X6" RAFTERS @ 24" O.C	
#2	45°	204°		
#3	45°	114°		

ARRAY AREA & ROOF AREA CALC'S

ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	07	147.07	340.16	43
#2	05	105.05	206.09	51
#2	12	252.12	356.13	71

TOTAL ARRAY AREA & MOUNTING ROOF AREA CALC'S

ROOF	# OF MODULES	TOTAL ARRAY AREA (Sq. Ft.)	TOTAL ROOF AREA (Sq. Ft.)	TOTAL ROOF AREA COVERED BY ARRAY (%)
#1,#2& #3	24	504.24	2129.54	24

HYPERION
HY-DH108P8 400W
MODULES

LEGEND

- SD - SOLADECK
- ACD - VISIBLE, LOCKABLE, LABELED AC DISCONNECT
- MSP - MAIN SERVICE PANEL
- INV - INVERTER
- ■ - SOLAREDGE POWER OPTIMIZER
- ○ □ - VENT, ATTIC FAN (ROOF OBSTRUCTION)
- ● - ROOF ATTACHMENT
- — — - RAFTERS
- - - - - - CONDUIT
- SD - SERVICE DISCONNECT

1 ROOF PLAN & MODULES
PV-2
SCALE: 3/32" = 1'-0"

TITAN SOLAR POWER
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TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
ROOF PLAN & MODULES

SHEET SIZE
ANSI B
11" X 17"

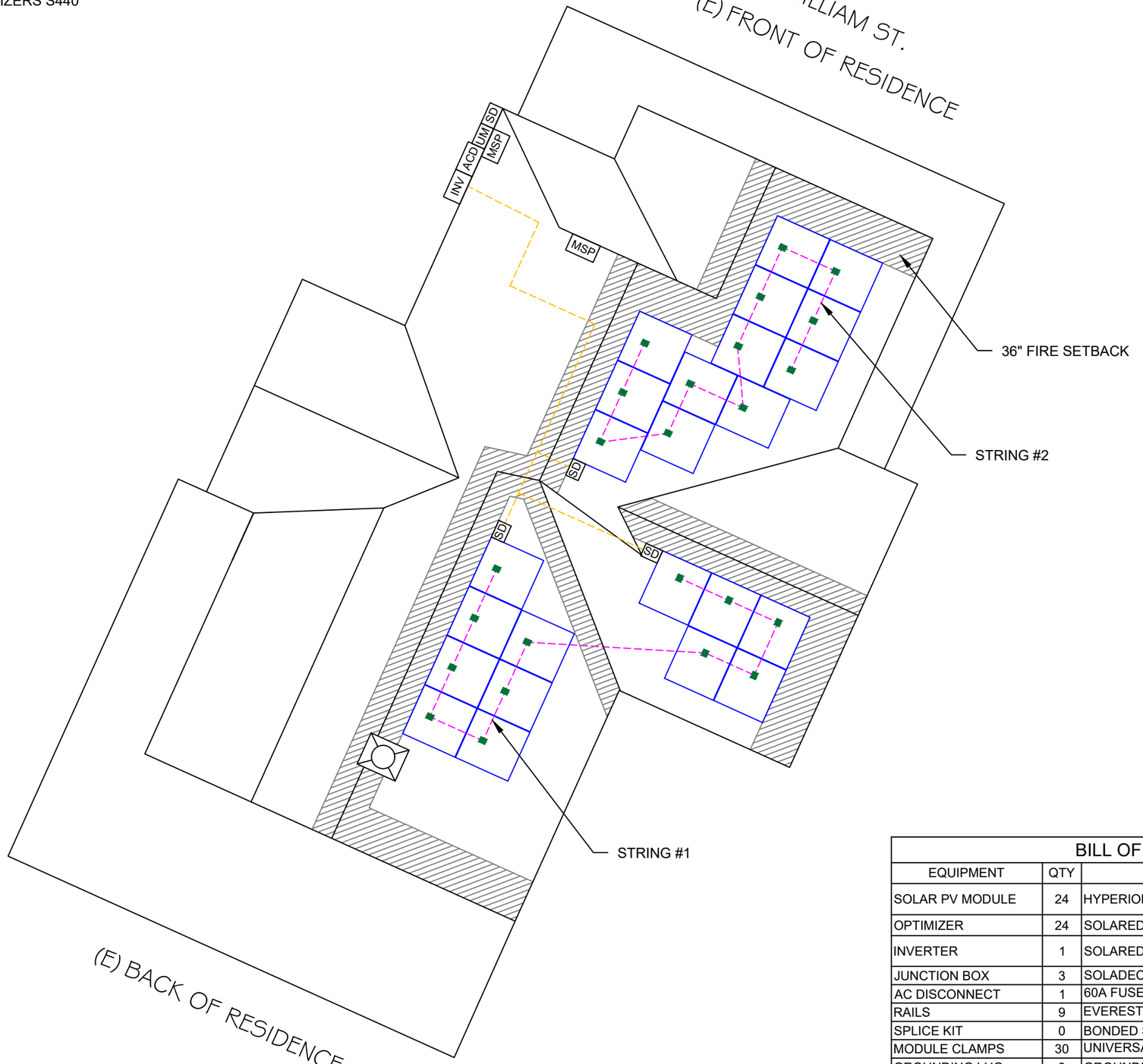
SHEET NUMBER
PV-2

EQUIPMENT SUMMARY

24 HYPERION HY-DH108P8 400W MODULES
01 SOLAREDGE SE7600H-US INVERTER
24 SOLAREDGE POWER OPTIMIZERS S440

SYSTEM SIZE:9.60 kW DC STC
SYSTEM SIZE:7.60 kW AC STC

METER NO: IND357812435



1 STRING LAYOUT
PV-2A SCALE: 1/8" = 1'-0"

BILL OF MATERIALS		
EQUIPMENT	QTY	DESCRIPTION
SOLAR PV MODULE	24	HYPERION HY-DH108P8 400W MODULES
OPTIMIZER	24	SOLAREDGE POWER OPTIMIZERS S440
INVERTER	1	SOLAREDGE SE7600H-US INVERTER
JUNCTION BOX	3	SOLADECKS 600 V, NEMA 3R UL LISTED
AC DISCONNECT	1	60A FUSED (2) 40A FUSES, 240V, NEMA 3R, UL LISTED
RAILS	9	EVEREST CROSSRAIL 44-X (166")
SPLICE KIT	0	BONDED SPLICE
MODULE CLAMPS	30	UNIVERSAL FASTENING OBJECT(UFO)
GROUNDING LUG	9	GROUNDING LUG
END CLAMPS	36	MODULES CLAMPS (END CLAMPS)
ATTACHMENT	62	K2 SPLICE FOOT X ATTACHMENT

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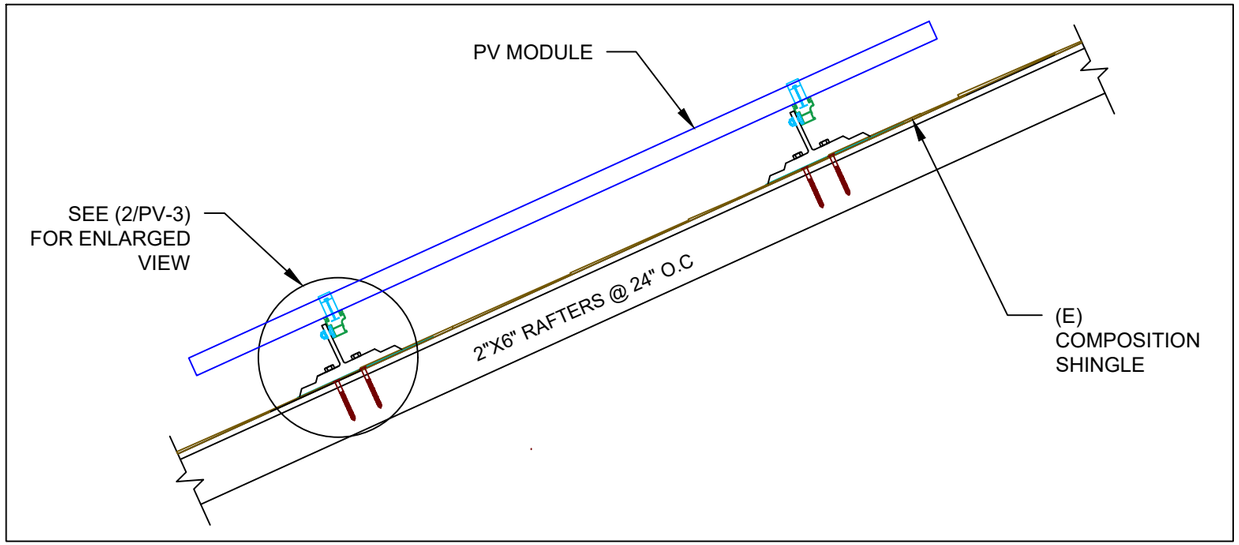
PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
STRING LAYOUT

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-2A



1 ATTACHMENT DETAIL

PV-3

SCALE: NTS

2 ATTACHMENT DETAIL (enlarged view)

PV-3

SCALE: NTS

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PH#.:(410) 845-0824

SHEET NAME
ATTACHMENT DETAIL

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-3

(24) HYPERION HY-DH108P8 400W MODULES
(2) STRINGS OF 12 MODULES CONNECTED IN SERIES

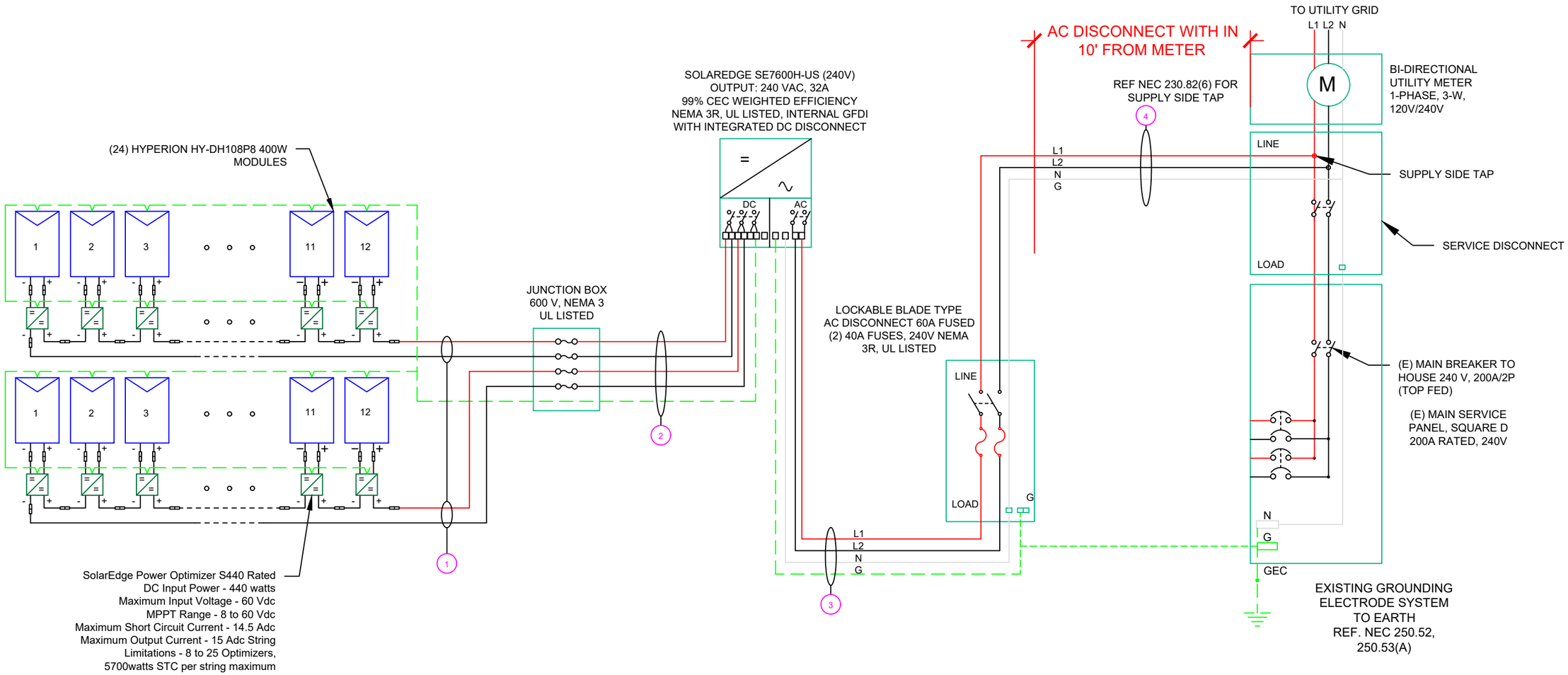
SYSTEM SIZE:9.60 kW DC STC
SYSTEM SIZE:7.60 kW AC STC

METER NO: IND357812435

SERVICE INFO	
UTILITY PROVIDER:	DELMARVA POWER
MAIN SERVICE VOLTAGE:	240V
MAIN PANEL BRAND:	SQUARE D
MAIN SERVICE PANEL:	200A
MAIN CIRCUIT BREAKER RATING:	200A
MAIN SERVICE LOCATION:	NORTH-WEST
SERVICE FEED SOURCE:	OVERHEAD

WIRE LEGEND

- PV ARRAY +VE CONDUCTOR AND L1
- PV ARRAY -VE CONDUCTOR AND L2
- NEUTRAL CONDUCTOR
- EGC AND GEC
- SINGLE TWISTED PAIR, CAT 5 WIRE



	QTY	CONDUCTOR INFORMATION		CONDUIT TYPE	CONDUIT SIZE
1	(4)	#10AWG -	PV WIRE/USE-2	N/A	N/A
	(1)	#6AWG -	BARE COPPER IN FREE AIR		
2	(4)	#10AWG -	THWN-2	EMT OR FLEX	3/4"
	(1)	#8AWG -	THWN-2 GND		
3	(3)	#6AWG -	THWN-2	EMT OR FLEX	3/4"
	(1)	#8AWG -	THWN-2 GND		
4	(3)	#6AWG -	THWN-2	EMT OR FLEX	3/4"

1 ELECTRICAL LINE DIAGRAM

PV-4 SCALE: NTS

TITAN SOLAR POWER
160 N MCQUEEN RD,
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PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#:(410) 845-0824

SHEET NAME
ELECTRICAL LINE DIAGRAM

SHEET SIZE
ANSI B
11" X 17"

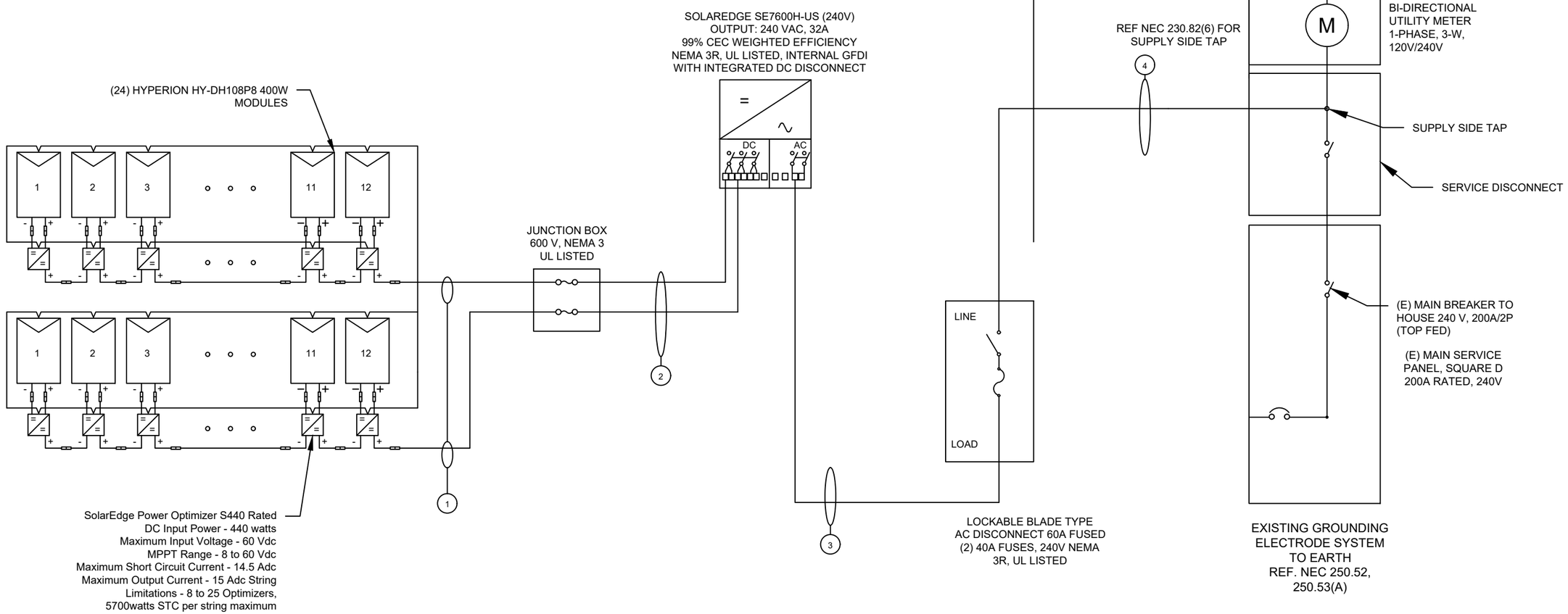
SHEET NUMBER
PV-4

(24) HYPERION HY-DH108P8 400W MODULES
(2) STRINGS OF 12 MODULES CONNECTED IN SERIES

SYSTEM SIZE:9.60 kW DC STC
SYSTEM SIZE:7.60 kW AC STC

METER NO: IND357812435

SERVICE INFO	
UTILITY PROVIDER:	DELMARVA POWER
MAIN SERVICE VOLTAGE:	240V
MAIN PANEL BRAND:	SQUARE D
MAIN SERVICE PANEL:	200A
MAIN CIRCUIT BREAKER RATING:	200A
MAIN SERVICE LOCATION:	NORTH-WEST
SERVICE FEED SOURCE:	OVERHEAD



NOTE:

- VISIBLE LOCKABLE LABELED AC DISCONNECT TO BE PLACED WITHIN 10' OF UTILITY METER.
- MEETS UL2703 SYSTEM EQUIPMENT GROUNDING AND BONDING STANDARD.
- INVERTER(S) EQUIPPED WITH RAPID SHUTDOWN PER NEC 690.12.

	QTY	CONDUCTOR INFORMATION		CONDUIT TYPE	CONDUIT SIZE
1	(4)	#10AWG -	PV WIRE/USE-2	N/A	N/A
	(1)	#6AWG -	BARE COPPER IN FREE AIR		
2	(4)	#10AWG -	THWN-2	EMT OR FLEX	3/4"
	(1)	#8AWG -	THWN-2 GND		
3	(3)	#6AWG -	THWN-2	EMT OR FLEX	3/4"
	(1)	#8AWG -	THWN-2 GND		
4	(3)	#6AWG -	THWN-2	EMT OR FLEX	3/4"

1 ONE LINE DIAGRAM

PV-4A SCALE: NTS

TITAN SOLAR POWER
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GILBERT, AZ 85233, USA
PHONE: (808) 371-5338

TITAN SOLAR POWER

CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#:(410) 845-0824

SHEET NAME
ONE LINE
DIAGRAM

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-4A

SOLAR MODULE SPECIFICATIONS	
MANUFACTURER / MODEL #	HYPERION HY-DH108P8 400W
VMP	31.01V
IMP	12.90A
VOC	37.07V
ISC	13.79A
TEMP. COEFF. VOC	-0.304%/°C
PTC RATING	371.7W
MODULE DIMENSION	67.97"L x 44.64"W x 1.37"D (In Inch)

INVERTER #1 SPECIFICATIONS	
MANUFACTURER / MODEL #	SOLAREDGE SE7600H-US
NOMINAL AC POWER	7.6 KW
NOMINAL OUTPUT VOLTAGE	240 VAC
NOMINAL OUTPUT CURRENT	32.0 A

POWER OPTIMIZER (OPTIMIZER S440-2NM4ARS)	
MAXIMUM INPUT POWER	440W
MINIMUM INPUT VOLTAGE	8 VDC
MAXIMUM INPUT VOLTAGE	60VDC
MAXIMUM MODULE ISC	14.5 ADC
MAXIMUM OUTPUT CURRENT	15 ADC

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
0.80	4-6
0.70	7-9
0.50	10-20

AMBIENT TEMPERATURE SPECS	
RECORD LOW TEMP	-10°
AMBIENT TEMP (HIGH TEMP 2%)	34°
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	90°
CONDUCTOR TEMPERATURE RATE	56°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.304%/°C

DC CONDUCTOR AMPACITY CALCULATIONS: ARRAY TO JUNCTION BOX:

EXPECTED WIRE TEMP (In Celsius)	34°
TEMP. CORRECTION PER TABLE (310.16)	0.96
NO. OF CURRENT CARRYING CONDUCTORS	4
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a)	0.80
CIRCUIT CONDUCTOR SIZE (AWG)	10
CIRCUIT CONDUCTOR AMPACITY (A)	40
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B) 1.25 X Isc (A)	18.75
DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.16	30.72
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a) X CIRCUIT CONDUCTOR AMPACITY (A)	
Result should be greater than (18.75A) otherwise less the entry for circuit conductor size and ampacity	

DC CONDUCTOR AMPACITY CALCULATIONS: FROM JUNCTION BOX TO INVERTER:

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT, PER NEC 310.15(B)(2)(c)	22°
EXPECTED WIRE TEMP (In Celsius)	34°+22° = 56°
TEMP. CORRECTION PER TABLE (310.16)	0.71
NO. OF CURRENT CARRYING CONDUCTORS	4
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a)	0.80
CIRCUIT CONDUCTOR SIZE (AWG)	10
CIRCUIT CONDUCTOR AMPACITY (A)	40
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B) 1.25 X Isc (A)	18.75
DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.16	22.72
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a) X CIRCUIT CONDUCTOR AMPACITY (A)	
Result should be greater than (18.75A) otherwise less the entry for circuit conductor size and ampacity	

AC CONDUCTOR AMPACITY CALCULATIONS:

No. OF INVERTER	1
EXPECTED WIRE TEMP (In Celsius)	34°
TEMP. CORRECTION PER TABLE (310.16)	0.94
NO. OF CURRENT CARRYING CONDUCTORS	3
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a)	1
CIRCUIT CONDUCTOR SIZE (AWG)	6AWG
CIRCUIT CONDUCTOR AMPACITY (A)	65
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B) 1.25 X Isc (A)	40
DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.16	61.10
TEMP. CORRECTION PER TABLE (310.16) X CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a) X CIRCUIT CONDUCTOR AMPACITY (A)	
Result should be greater than (40.00A) otherwise less the entry for circuit conductor size and ampacity	

1.) ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
2.) ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
3.) WIRING, CONDUIT, AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO, AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.
4.) WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
5.) DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
6.) WHERE SIZES OF SOLADECK, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
7.) ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
8.) MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION.
9.) MODULE SUPPORT RAIL TO BE BONDED TO CONTINUOUS COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
10.) THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

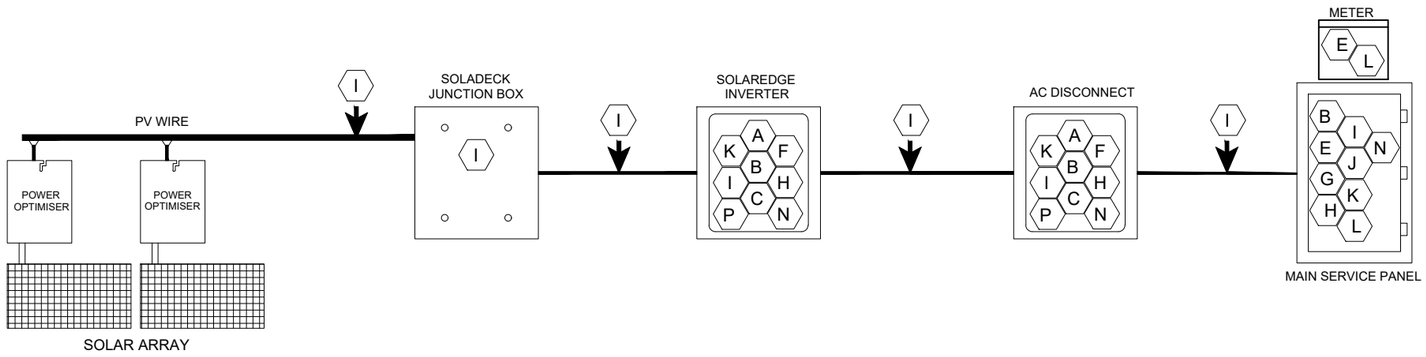
LUCIA FUENTES RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
WIRING CALCULATIONS

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-5

SIGNAGE REQUIREMENTS:
· RED BACKGROUND
· WHITE LETTERING
· MINIMUM 3/8" LETTER HEIGHT
· ALL CAPITAL LETTERS
· ARIAL OR SIMILAR FONT
· REFLECTIVE WEATHER RESISTANT MATERIAL, UL969



⚠ WARNING
ELECTRIC SHOCK HAZARD
TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION
(A)

LABEL LOCATION:
AC & DC DISCONNECT AND SUB PANEL
(PER CODE: NEC 690.17(E)

⚠ WARNING
ELECTRIC SHOCK HAZARD
TERMINALS ON BOTH LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION
DC VOLTAGE IS ALWAYS PRESENT WHEN SOLAR MODULES ARE EXPOSED TO SUNLIGHT
(B)

LABEL LOCATION:
DC DISCONNECT, POINT OF INTERCONNECTION
(PER CODE: NEC 690.17(E)

WARNING
ELECTRIC SHOCK HAZARD
IF GROUND FAULT IS INDICATED ALL NORMALLY GROUNDED CONDUCTORS MAY BE UNGROUNDED AND ENERGIZED
(C)

LABEL LOCATION:
AC & DC DISCONNECT AND SUB PANEL
(PER CODE: NEC 690.5(C)

PHOTOVOLTIC AC DISCONNECT
RATED AC OUTPUT CURRENT: 32A
NOMINAL OPERATING AC VOLTAGE: 240V
(D)
NEC 690.54

⚠ WARNING DUAL POWER SOURCE SECOND SOURCE IS PHOTOVOLTAIC SYSTEM
(E)

LABEL LOCATION:
MAIN SERVICE PANEL & NET METER
(PER CODE: NEC 705.12(G)(3), NEC 705.12(B)(3-4) & NEC 690.59)

⚠ WARNING
THE DISCONNECTION OF THE GROUNDED CONDUCTOR(S) MAY RESULT IN OVERVOLTAGE ON THE EQUIPMENT
(F)

LABEL LOCATION:
INVERTER
(PER CODE: NEC 690.31(I)

⚠ CAUTION
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED
(G)

LABEL LOCATION:
MSP
(PER CODE: NEC 690.13 (F), NEC 705.12(B)(3-4) & NEC 690.59)

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM
(H)

LABEL LOCATION:
RAPID SHUTDOWN
(PER CODE: NEC 690.56(C)(3)

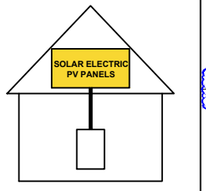
PHOTOVOLTAIC POWER SOURCE
(I)

LABEL LOCATION:
CONDUIT, COMBINER BOX
(PER CODE: NEC690.31(D)(2)

⚠ WARNING
POWER SOURCE OUTPUT CONNECTION
DO NOT RELOCATE THIS OVERCURRENT DEVICE
(J)

LABEL LOCATION:
SERVICE PANEL IF SUM OF BREAKERS EXCEEDS PANEL RATING
(PER CODE: NEC 705.12 (B)(2)(b)

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN
TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUTDOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN ARRAY



(K)

LABEL LOCATION:
AC DISCONNECT, DC DISCONNECT, POINT OF INTERCONNECTION
(PER CODE: 605.11.3.1(1) & 690.56(C)(1)(a))

INVERTER
PHOTOVOLTAIC DC DISCONNECT
MAXIMUM VOLTAGE: 480V
MAXIMUM CIRCUIT CURRENT: 20A
MAX RATED OUTPUT CURRENT OF DC-TO-DC CONVERTER: 30A
(P)

LABEL LOCATION:
PV DC DISCONNECT NEC 690.53 (ON INVERTER)

MAIN PHOTOVOLTAIC SYSTEM DISCONNECT
(L)

LABEL LOCATION:
MAIN SERVICE DISCONNECT / UTILITY METER
(PER CODE: NEC 690.13(B))

PHOTOVOLTAIC
AC DISCONNECT
(M)

LABEL LOCATION:
AC DISCONNECT
NEC 690.13(B)

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CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

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PROJECT NAME & ADDRESS

LUCIA FUENTES RESIDENCE
110 E. WILLIAM ST.,
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PH#.:(410) 845-0824

SHEET NAME
LABELS

SHEET SIZE
ANSI B
11" X 17"

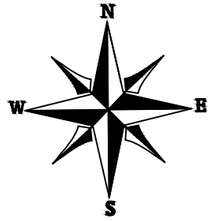
SHEET NUMBER
PV-6

CAUTION:

MULTIPLE SOURCES OF POWER

POWER TO THIS BUILDING IS ALSO SUPPLIED FROM THE
FOLLOWING SOURCES WITH DISCONNECTS LOCATED AS SHOWN

MAIN SERVICE PANEL & UTILITY METER
AC DISCONNECT
INVERTER



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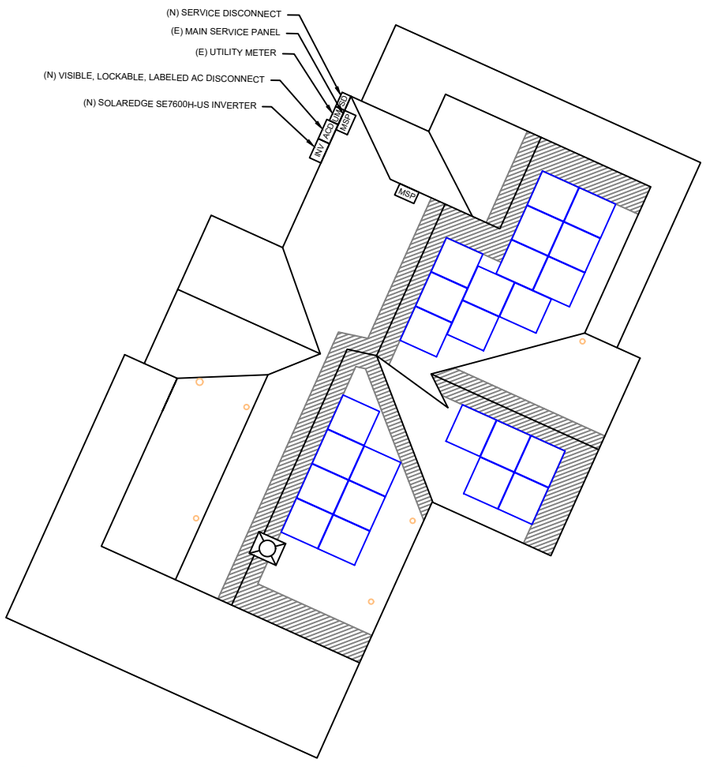

PER CODE(S): NEC 2017: 705.10 + 710.10

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RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

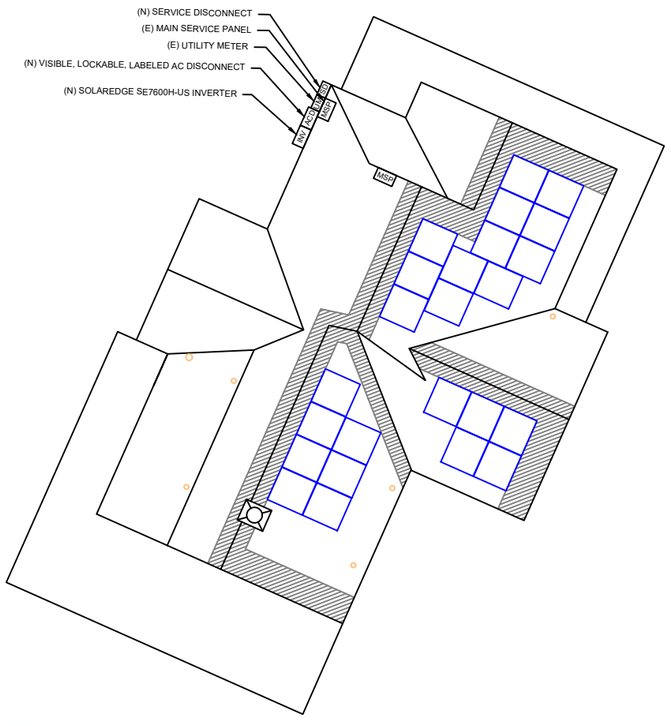
SHEET NAME
PLACARDS

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-6A

JOB SAFETY PLAN

110 E. WILLIAM ST.,SALISBURY, MD 21801



PER CODE(S): NEC 2017: 705.10 + 710.10

LOCATION OF NEAREST URGENT CARE FACILITY
NAME:
ADDRESS:
PHONE NUMBER:

NOTES:

· INSTALLER SHALL DRAW IN DESIGNATED SAFETY AREA AROUND HOME

· INSTALLER SHALL UPDATE NAME, ADDRESS, AND PHONE NUMBER OF NEAREST URGENT CARE FACILITY RELATIVE TO THE JOB SITE BEFORE STARTING WORK.

PRINT NAME	INITIAL	YES	NO

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PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
SAFETY PLAN

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-7

390-410W

HY-DH108P8
108 HALF-CELL BIFACIAL MODULE

High conversion efficiency

Module efficiency up to 21.0% achieved through advanced cell technology and manufacturing process

Excellent weak light performance

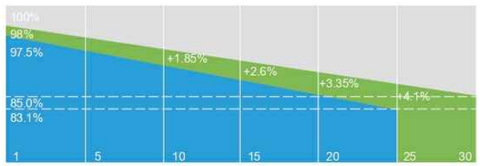
More power output in weak light condition, such as cloudy, morning and sunset

Extended mechanical performance

Module certified to withstand extreme wind (2400 Pa) and snow loads (5400 Pa)

Quality guarantee

High module quality ensures long-term reliability



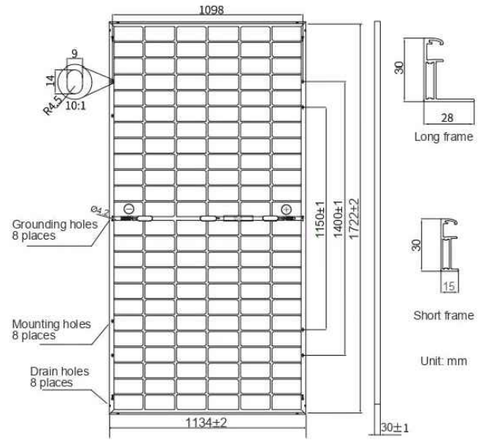
First year power degradation Annual power degradation

12 Years warranty for materials and processing

30 Years warranty for extra linear power output

info@hyperion-usa.com
Producer Address: Amata City Industrial Estate, Mapyangphon Subdistrict, Pluak Daeng District, Rayong Province, Thailand

HY-DH108P8 390-410W(B)



Mechanical Characteristics

Solar Cell	Mono PERC 182 mm
No. of Cells	108 (6 × 18)
Dimensions	1722±2 × 1134±2 × 35±1 mm
Weight	22.6kg (±3%)
Cable Cross Section Size	4mm²(IEC),12 AWG(UL)
Junction Box	IP68 rated (3 bypass diodes)
Output Cables	Portrait: (-)350 mm and (+)160 mm in length or customized length
Front/Back Glass	2.0mm AR Tempered glass 2.0mm Semi-tempered glass
Container	36 pcs/Pallet, 936 pcs/ 40'HQ

Operating Parameters

Max. System Voltage	DC 1500V
Operating Temperature	-40℃ ~ +85℃
Max. Fuse Rated Current	30A
Front Static Load(snow,wind)	5400Pa(112lb/ft²)
Back Static Load(wind)	2400Pa(50lb/ft²)
Bifaciality	70%±10%
Fire Resistance	UL Type 29

Electrical Characteristics

Maximum Power at STC (Pmax)	410W	405W	400W	395W	390W
Optimum Operating Voltage (Vmp)	31.45V	31.21V	31.01V	30.84V	30.64V
Optimum Operating Current (Imp)	13.04A	12.98A	12.90A	12.81A	12.73A
Open Circuit Voltage (Voc)	37.32V	37.23V	37.07V	36.98V	36.85V
Short Circuit Current (Isc)	13.95A	13.87A	13.79A	13.70A	13.61A
Module Efficiency	21.0%	20.7%	20.5%	20.2%	20.0%
Operating Module Temperature	-40 °C to +85 °C		Maximum Series Fuse Rating		25 A
Maximum System Voltage	1500 V DC (IEC)		Power Tolerance		0/+5 W

NMOT

Maximum Power at NMOT (Pmax)	309.4W	305.8W	302.2W	298.5W	294.8W
Optimum Operating Voltage (Vmp)	29.2V	29.0V	28.8V	28.6V	28.4V
Optimum Operating Current (Imp)	10.67A	10.63A	10.58A	10.53A	10.47A
Open Circuit Voltage (Voc)	35.21V	35.00V	34.77V	34.61V	34.43V
Short Circuit Current (Isc)	11.22A	11.18A	11.13A	11.08A	11.02A

Irradiance 800 W/m², ambient temperature 20 °C, AM=1.5, wind speed 1 m/s.

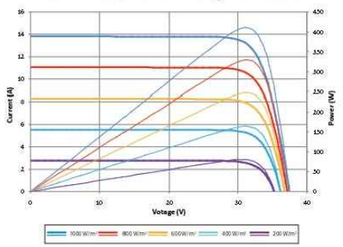
Electrical Characteristics with Different Rearside Power Gain (Reference to 405W Front)

Rearside Power Gain	5%	15%	25%
Maximum Power at STC (Pmax)	425W	466W	506W
Optimum Operating Voltage (Vmp)	31.41V	31.41V	31.40V
Optimum Operating Current (Imp)	13.59A	14.88A	16.18A
Open Circuit Voltage (Voc)	37.22V	37.23V	37.23V
Short Circuit Current (Isc)	14.48A	15.86A	17.24A
Module Efficiency	21.68%	23.74%	25.81%

Temperature Characteristics

Nominal Module Operating Temperature (NMOT)	42 ± 2 °C
Nominal Cell Operating Temperature	45 ± 2 °C
Temperature Coefficient of Pmax	-0.36%/°C
Temperature Coefficient of Voc	-0.304%/°C
Temperature Coefficient of Isc	0.050%/°C

Current-Voltage & Power-Voltage Curve (410S)



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SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-8

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US

INVERTERS

12-25 YEAR WARRANTY

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014, NEC 2017 and NEC 2020 per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

solaredge.com

solaredge

Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5(1)							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, Adjustable - 0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380				400			Vdc
Maximum Input Current @240V(2)	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V(2)	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600kΩ Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

(1) For other regional settings please contact SolarEdge support
(2) A higher current source may be used; the inverter will limit its input current to the values stated

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SHEET NAME
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11" X 17"

SHEET NUMBER
PV-9

Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/ SE7600H-US / SE10000H-US / SE11400H-US

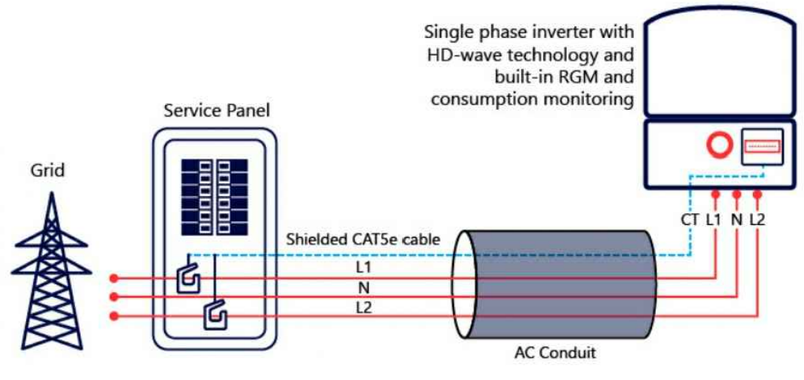
MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
ADDITIONAL FEATURES								
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)							
Revenue Grade Metering, ANSI C12.20	Optional[3]							
Consumption metering								
Inverter Commissioning	With the SetApp mobile application using Built-in Wi-Fi Access Point for Local Connection							
Rapid Shutdown - NEC 2014, NEC 2017 and NEC 2020, 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect							
STANDARD COMPLIANCE								
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07							
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (HI)							
Emissions	FCC Part 15 Class B							
INSTALLATION SPECIFICATIONS								
AC Output Conduit Size / AWG Range	1" Maximum / 14-6 AWG					1" Maximum /14-4 AWG		
DC Input Conduit Size / # of Strings / AWG Range	1" Maximum / 1-2 strings / 14-6 AWG					1" Maximum / 1-3 strings / 14-6 AWG		
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174					21.3 x 14.6 x 7.3 / 540 x 370 x 185		in / mm
Weight with Safety Switch	22 / 10		25.1 / 11.4	26.2 / 11.9		38.8 / 17.6		lb / kg
Noise	< 25				<50			dBA
Cooling	Natural Convection							
Operating Temperature Range	-40 to +140 / -40 to +60[4]							°F / °C
Protection Rating	NEMA 4X (Inverter with Safety Switch)							

(3) Inverter with Revenue Grade Meter P/N: SExxxxH-US000BNC4; Inverter with Revenue Grade Production and Consumption Meter P/N: SExxxxH-US000BNI4 . For consumption metering, current transformers should be ordered separately: SEACT0750-200NA-20 or SEACT0750-400NA-20. 20 units per box

(4) Full power up to at least 50°C / 122°F; for power de-rating information refer to: https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf

How to Enable Consumption Monitoring

By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills



RoHS

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-9A

Power Optimizer

For Residential Installations

S440 / S500 / S500B

POWER OPTIMIZER

Enabling PV power optimization at the module level

- Specifically designed to work with SolarEdge residential inverters
- Detects abnormal PV connector behavior, preventing potential safety issues*
- Module-level voltage shutdown for installer and firefighter safety
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
- Faster installations with simplified cable management and easy assembly using a single bolt
- Flexible system design for maximum space utilization
- Compatible with bifacial PV modules

*Functionality subject to inverter model and firmware version

solaredge.com

solaredge

Power Optimizer

For Residential Installations

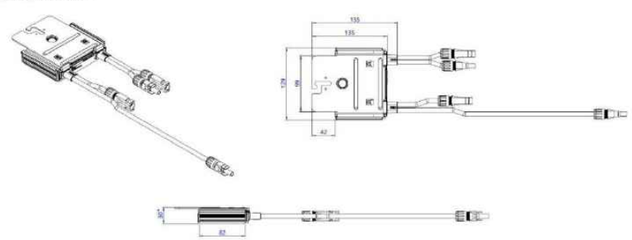
S440 / S500 / S500B

	S440	S500	S500B	UNIT
INPUT				
Rated Input DC Power(1)	440	500		W
Absolute Maximum Input Voltage (Voc)	60		125	Vdc
MPPT Operating Range	8 – 60		12.5 – 105	Vdc
Maximum Short Circuit Current (Isc) of Connected PV Module	14.5	15		Adc
Maximum Efficiency	99.5			%
Weighted Efficiency	98.6			%
Overvoltage Category	II			
OUTPUT DURING OPERTION				
Maximum Output Current	15			Adc
Maximum Output Voltage	60		80	Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM INVERTER OR INVERTER OFF)				
Safety Output Voltage per Power Optimizer	1 ± 0.1			Vdc
STANDARD COMPLIANCE(2)				
EMC	FCC Part 15 Class B, IEC61000-6-2, IEC61000-6-3, CISPR11, EN-55011			
Safety	IEC62109-1 (class II safety), UL1741			
Material	UL94 V-0, UV Resistant			
RoHS	Yes			
Fire Safety	VDE-AR-E 2100-712:2013-05			
INSTALLATION SPECIFICATIONS				
Maximum Allowed System Voltage	1000			Vdc
Dimensions (W x L x H)	129 x 155 x 30		129 x 155 x 45	mm
Weight (including cables)	655			gr
Input Connector	MC4(3)			
Input Wire Length	0.1			m
Output Connector	MC4			
Output Wire Length	(+) 2.3, (-) 0.10			m
Operating Temperature Range(4)	-40 to +85			°C
Protection Rating	IP68			
Relative Humidity	0 – 100			%

(1) Rated power of the module at STC will not exceed the Power Optimizer Rated Input DC Power. Modules with up to +5% power tolerance are allowed.
(2) For details about CE compliance, see Declaration of Conformity – CE.
(3) For other connector types please contact SolarEdge.
(4) For ambient temperature above +70°C power de-rating is applied. Refer to Power Optimizers Temperature De-Rating Technical Note for details.

PV System Design Using a SolarEdge Inverter(5)		SolarEdge Home Wave Single Phase	Three Phase SExxK-RWB	Three Phase for 230/400V Grid	Three Phase for 277/480V Grid	
Minimum String Length (Power Optimizers)	S440, S500	8	9	16	18	
	S500B	6	8	14		
Maximum String Length (Power Optimizers)		25	20	50		
Maximum Continuous Power per String		5700	5625	11250	12750	W
Maximum Allowed Connected Power per String (Permitted only when the power difference between strings is less than 2,000W)		See(6)	See(6)	13500	15000	W
Parallel Strings of Different Lengths or Orientations		Yes				

(5) It is not allowed to mix S-series and P-series Power Optimizers in new installations.
(6) If the inverter's rated AC power ≤ maximum nominal power per string, then the maximum power per string will be able to reach up to the inverters maximum input DC power. Refer to Application Note: Single String Design Guidelines.



* 45mm for S500B

CE RoHS

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-10

We support PV systems
Formerly Everest Solar Systems

Splice Foot X

Patent Pending

TECHNICAL SHEET

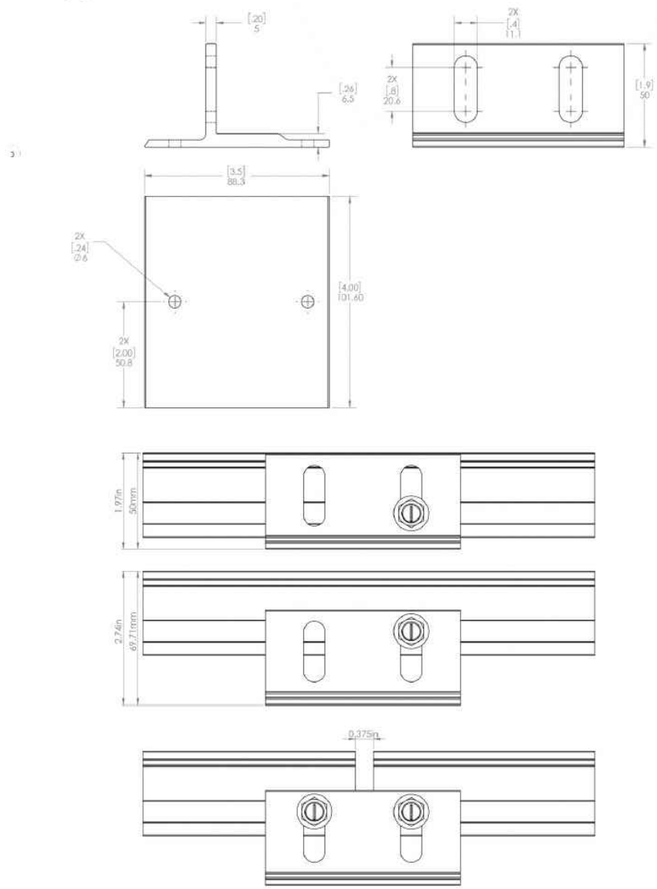
Item Number	Description	Part Number
1	Splice Foot X	4000113 | Splice Foot X Kit, Mill
2	K2 FlexFlash Butyl	
3	M5 x 60 lag screws	
4	T-Bolt & Hex Nut Set	

Technical Data

	Splice Foot X
Roof Type	Composition shingle
Material	Aluminum with stainless steel hardware
Finish	Mill
Roof Connection	M5 x 60 lag screws
Code Compliance	UL 2703
Compatibility	CrossRail 44-X, 48-X, 48-XL, 80

We support PV systems
Formerly Everest Solar Systems

Units: [in] mm



TITAN SOLAR POWER
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GILBERT, AZ 85233, USA
PHONE: (808) 371-5338

TITAN SOLAR POWER

CONTRACTOR LIC# 14480 AND 150562

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DATE: 03/23/2023

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110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

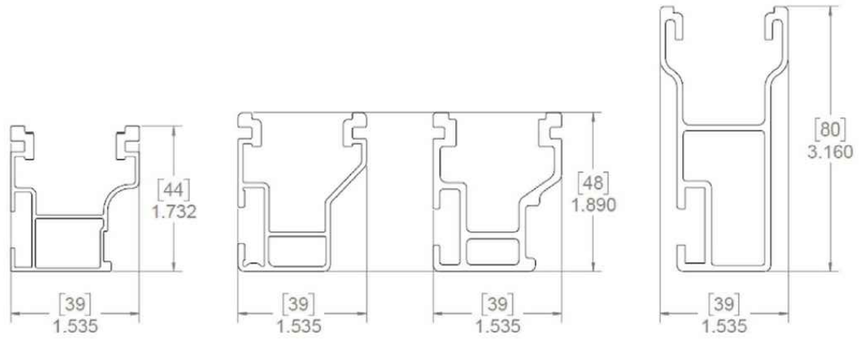
SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-11

CONNECTING STRENGTH

Units: [mm] in



Technical Data

	CrossRail System
Roof Type	Composition shingle, tile, standing seam
Material	High corrosion resistance stainless steel and high grade aluminum
Flexibility	Modular construction, suitable for any system size, height adjustable
PV Modules	For all common module types
Module Orientation	Portrait and landscape
Roof Connection	Drill connection into rafter
Structural Validity	IBC compliant, stamped engineering letters available for all solar states
Warranty	25 years

CONNECTING STRENGTH

CROSSRAIL 44-X

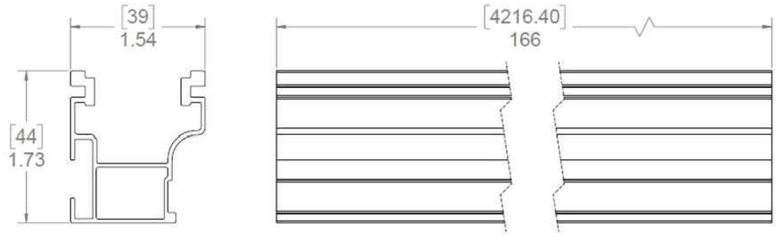
Mechanical Properties

	CrossRail 44-X
Material	6000 Series Aluminum
Ultimate Tensile Strength	37.7 ksi (260 MPa)
Yield Strength	34.8 ksi (240 MPa)
Weight	0.47 lbs/ft (0.699 kg/m)
Finish	Mill or Dark Anodized

Sectional Properties

	CrossRail 44-X
Sx	0.1490 in3 (0.3785 cm3)
Sy	0.1450 in3 (0.3683 cm3)
A (X-Section)	0.4050 in2 (1.0287 cm2

Units: [mm] in



Notes:

- Structural values and span charts determined in accordance with Aluminum Design Manual and ASCE 7-16
- UL2703 Listed System for Fire and Bonding

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
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TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

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DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-12

intertek
Total Quality. Assured.

Intertek
3933 US Route 11
Cortland, NY 13045
Telephone: 607-753-7311
www.intertek.com

Subject: ETL Evaluation of SolarEdge Products to Rapid Shutdown Requirements

To, whom it may concern

This letter represents the testing results of the below listed products to the requirements contained in the following standards:

The evaluation was done on the PV Rapid Shutdown System (PVRSS), and covers installations consisting of optimizers and inverters with part numbers listed below.

The testing done has verified that controlled conductors are limited to:

- Not more than 30 volts and 240 voltamperes within 30 seconds of rapid shutdown initiation outside the array.
- Not more than 80 volts and 240 voltamperes within 30 seconds of rapid shutdown initiation inside the array.

The rapid shutdown initiation is performed by either disconnecting the AC feed to the inverter, or – if the inverter DC Safety switch is readily accessible – by turning off the DC Safety switch.

Applicable products:

(1) Power optimizers:

PB followed by 001 to 350; followed by -AOB or -TFI.
OP followed by 001 to 500; followed by -LV, -MV, -IV or -EV.
P followed by 001 to 1100.
SP followed by 001 to 350.

When optimizers are connected to 2 or more modules in series, the max input voltage may exceed 80V. Following the implementation of the NEC 2017 rapid shutdown value of 80V max inside of the array at the beginning of 2019, modules exceeding this combined input max voltage will be required to use optimizers with parallel inputs. Also meeting NEC 2020 rapid shutdown requirement.

(2) 1 -PH Inverters

SE3000A-US / SE3800A-US / SE5000A-US / SE6000A-US / SE7600A-US / SE10000A-US / SE11400A-US / SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US when the following label is labeled on the side of the inverter:

Inverter part number may be followed by a suffix.

(3) 3 -PH Inverters

intertek
Total Quality. Assured.

Intertek
3933 US Route 11
Cortland, NY 13045
Telephone: 607-753-7311
www.intertek.com

SE9KUS / SE10KUS / SE14.4KUS/ SE16.7kUS / SE17.3kUS / SE20KUS/ SE24KUS / SE30KUS / SE33.3KUS / SE40KUS / SE43.2KUS / SE50KUS / SE66.6KUS / SE80KUS / SE85KUS / SE100KUS / SE120KUS; when the following label is labeled on the side of the inverter:

Please note, this Letter Report does not represent authorization for the use of any Intertek certification marks.

Brand Name(s)	SolarEdge
Relevant Standard(s)	UL 1741, UL 1741 CRD for rapid shutdown National Electric Code, 2020, Section 690.12 requirement for rapid shutdown
Verification Issuing Office	3933 US Route 11, Cortland, NY 13045

Signature:

Name: Mukund Rana
Position: Staff Engineer
Date:5/17/2021

intertek
Total Quality. Assured.

Intertek
3933 US Route 11
Cortland, NY 13045
Telephone: 607-753-7311
www.intertek.com

Date	Engineer / Reviewer	Description
5/17/2021 G104683664CRT	Dishant Patel	Added New 3-PH Inverter model SE50KUS, SE80KUS, SE85KUS and SE120KUS.
	Mukund Rana	Updated Power optimizers from "P followed by 001 to 960" to "P followed by 001 to 1100" Updated NEC standard from "National Electric Code, 2017, Section 690.12 requirement for rapid shutdown" To "National Electric Code, 2020, Section 690.12 requirement for rapid shutdown"

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GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

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DATE: 03/23/2023

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LUCIA FUENTES
RESIDENCE

110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-13

RECOMMENDED OCPD SIZE PER GRID:

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	Unit
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
Max AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400	VA
AC Output Voltage Min.-Nom.-Max.(183 - 208 - 229)	-	✓	-	✓	-	-	-	Vac
AC Output Voltage Min.-Nom.-Max.(211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5[1]							Hz
Maximum Continuous Output Current 208V	-	16	-	25	-	-	-	A
Maximum Continuous Output Current 240V	12.5	16	21	25	32	42	47.5	A
Max. output fault current and duration @208V	-	17.5 / 20	-	27.5 / 20	-	-	-	A / ms
Max. output fault current and duration @240V	14 / 20	17.5 / 20	23 / 20	27.5 / 20	40 / 20	56.6 / 20		A / ms
Inrush current AC (Peak/ Duration)	2.8 / 20					3.45 / 20		Aac (rms) / ms
Max. output overcurrent protection	35		48		55	80		A

TITAN SOLAR POWER
160 N MCQUEEN RD,
GILBERT, AZ 85233, USA
PHONE: (808) 371-5338
TITAN SOLAR POWER
CONTRACTOR LIC# 14480 AND 150562

REVISIONS

DESCRIPTION	DATE	REV

SIGNATURE WITH SEAL

DATE: 03/23/2023

PROJECT NAME & ADDRESS

LUCIA FUENTES
RESIDENCE
110 E. WILLIAM ST.,
SALISBURY, MD 21801
PH#.:(410) 845-0824

SHEET NAME
EQUIPMENT SPECIFICATION

SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-14

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of July 26, 2023

Case Number:	#23-16
Commission Considering:	Solar Panels
Owner Name:	Lucia Fuentes
Owners Address:	110 E William St Salisbury, MD 21801
Applicant Name:	**Kadeidra Jarrett**
Applicant's Address:	525 W Baseline Road Mesa, AZ 85210
Agent/Contractor:	Titan Solar Panel
Subject Property Address:	110 E William St
Historic District:	Newtown Historic District
Use Category:	Commercial
Zoning Classification:	R – 5
Structure / Site Description:	
Built Date:	1920
Enclosed Area:	2,792 sq. ft.
Lot Size:	6,958 sq. ft.
Number of Stories:	2
Contributing Structure:	Yes 8/22/2012

Wicomico County Historic Survey on file: No

Nearby Properties on County Survey: Yes

Including but not limited to:

112 E wiiliam St- J. Clarence Parker House
106 E William St- Albert. W Lankford

Explanation of Request: The applicant is seeking approval to add 24 Solar Panels to roof.

Areas of Historic Guidelines to be considered:

Guideline 31: Solar Panels
a. Solar panels should be installed in a location that minimizes their visibility as much as possible. Flat roofs, and rear sloping roofs are the best candidates.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd
Infrastructure and Development
125 N Division Street, Suite 202
Salisbury, MD 21801
(410) 548-3170
Date: July 17, 2023

Real Property Data Search ( )
Search Result for WICOMICO COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recaptures: None

Account Identifier: **District - 03 Account Number -** 039049

Owner Information

Owner Name: FUENTES-SCOTT LUCIA G
Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 110 E WILLIAM ST SALISBURY MD 21801-
Deed Reference: /04121/ 00039

Location & Structure Information

Premises Address: 110 E WILLIAM ST SALISBURY 21801-0000
Legal Description: 6,938 SQFT 110 E WILLIAM ST CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0107	0003	0818	9000166.03	0000				2022	Plat Ref:

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1920	2,752 SF		6,938 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	SIDING/	3	3 full		

Value Information

	Base Value	Value	Phase-in Assessments	
		As of 01/01/2022	As of 07/01/2022	As of 07/01/2023
Land:	17,600	17,600		
Improvements:	72,600	118,200		
Total:	87,600	135,800	104,067	120,233
Preferential Land:	0	0		

Transfer Information

Seller: MCNEIL RODERICK C IV	**Date:** 02/02/2017	**Price:** $90,000
Type: ARMS LENGTH IMPROVED	**Deed1:** /04121/ 00039	**Deed2:**
Seller: SMMR INC	**Date:** 01/13/2006	**Price:** $159,000
Type: ARMS LENGTH IMPROVED	**Deed1:** /02039/ 00253	**Deed2:**
Seller: ZIRPEL, H WERNER	**Date:** 10/19/2001	**Price:** $80,000
Type: ARMS LENGTH IMPROVED	**Deed1:** /01961/ 00018	**Deed2:**

Exemption Information

Partial Exempt Assessments:	**Class**	01/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00	0.00

Special Tax Recaptures: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

Salisbury Historic District Commission

Hearing Notification

Hearing Date:	July 26, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-17
Commission Considering:	New Construction
Owner's Name:	**St Francis De Sales**
Applicant Name:	**Chris Mills**
Agent/Contractor:	Not Indicated
Subject Property Address:	411 Wicomico St
Historic District:	Camden Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission

125 N. Division Street
Room 202
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application
$50 Fee Received 6/12/23 (date)
CK # 1471

Date Submitted: 6/12/23
Date Accepted as Complete: 7/7/23
Case #: #23-17
Action Required By (45 days): 8/21/23

Subject Location: 411 Wicomico Street
Application by: Chris Mills
Applicant Address: 8467 Rum Ridge Rd Delmar
Applicant Phone: Md 21875 443-944-4797

Owner Name: St Frances de Sales
Owner Address: 514 Camden Ave.
Owner Phone: 410-742-6443
Owner Email: Soccermom42kids@aol.com

Work Involves: ___Alterations X New Construction ___Addition Other Replacement
X Demolition ___Sign ___Awning Estimated Cost 175K

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

See Submitted description and pictures on the attached sheet

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ___Yes X No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ___Yes X No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on as Scheduled by Commission (date). Will be out S. Korea June 16-22 Montana July 19-24th WV Aug 10-14th

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature Chris Mills Date 6/12/23

Application Processor (Date) 7/7/23

Brian Soper 7/18/23
Secretary, S.H.D.C. (Date)

C.E. MILLS GENERAL CONTRACTORS, INC.
8467 RUM RIDGE ROAD
DELMAR, MARYLAND 21875
Email- cemillsbuilding@comcast.net
Website- www.cemillsbuilding.com
Office/Fax- 410-341-0017
Cell- 443-944-4797
MHIC# 0083098
MHBR# 8612

June 08, 2023

To Whom It May Concern:

We propose to construct a 2,200 square foot non-heated grounds building on Parcel 1506 at 411 Wicomico Street, Salisbury, Maryland to be utilized to maintain parcels 1501, 1502, 1503, 1506, 1507, and 1508 that are all owned by St. Francis de Sales Church. The North boundary lot of 1508, East boundary lot of 1507, and West boundary lots of 1501 and 1503 border the proposed building lot of 1506.

The grounds building will replace a building destroyed by a storm fallen tree and a badly deteriorated 20' by 20' shed. We propose to demolish and replace the 20' x 20' shed utilizing the same footprint. The new 20' x 20' grounds building will attach to the 30' x 60' grounds building as depicted in the drawings.

The new building will consist of a vinyl Carolina beaded clay colored siding on the South, East, and West sides. Clay colored Hardy board will be used on the North and West sides where there is a walkway. Matching clay colored garage doors will be installed with stable door hardware.

C.E. MILLS GENERAL CONTRACTORS, INC.
8467 RUM RIDGE ROAD
DELMAR, MARYLAND 21875
Email- cemillsbuilding@comcast.net
Website- www.cemillsbuilding.com
Office/Fax- 410-341-0017
Cell- 443-944-4797
MHIC# 008309
MHBR# 8612

July 7, 2023

To: Wicomico Historic District Commission/Review Committee
Government Office Building
Room 301
125 N. Division St.
Salisbury, MD 21801

Grounds Building Replacement
at St. Francis de Sales on Riverside Drive

1. Clay color Certain Teed collection 6 1/2" Carolina Beaded siding.
2. Pebblestone clay color Georgia Pacific (GP) vented soffit.
3. Clay color GP beaded T2 solid porch ceiling soffit.
4. Clay color James Hardiboard on porch front areas.
5. Clay cottage style collection garage doors.
6. Matching GP charcoal black architectural shingles.
7. Colonial White 8" Board & Batten vertical siding by Vinyl Carpentry over porch gable.
8. White aluminum vinyl on fascia and rake gable boards.
9. White guttering and downspouts.
10. White vinyl 6"x 6" post sleeves over front porch post.

*Note samples of the following products will be brought to the July 26th meeting for review.

Wicomico County

New Search (https://sdat.dat.maryland.gov/RealProperty)

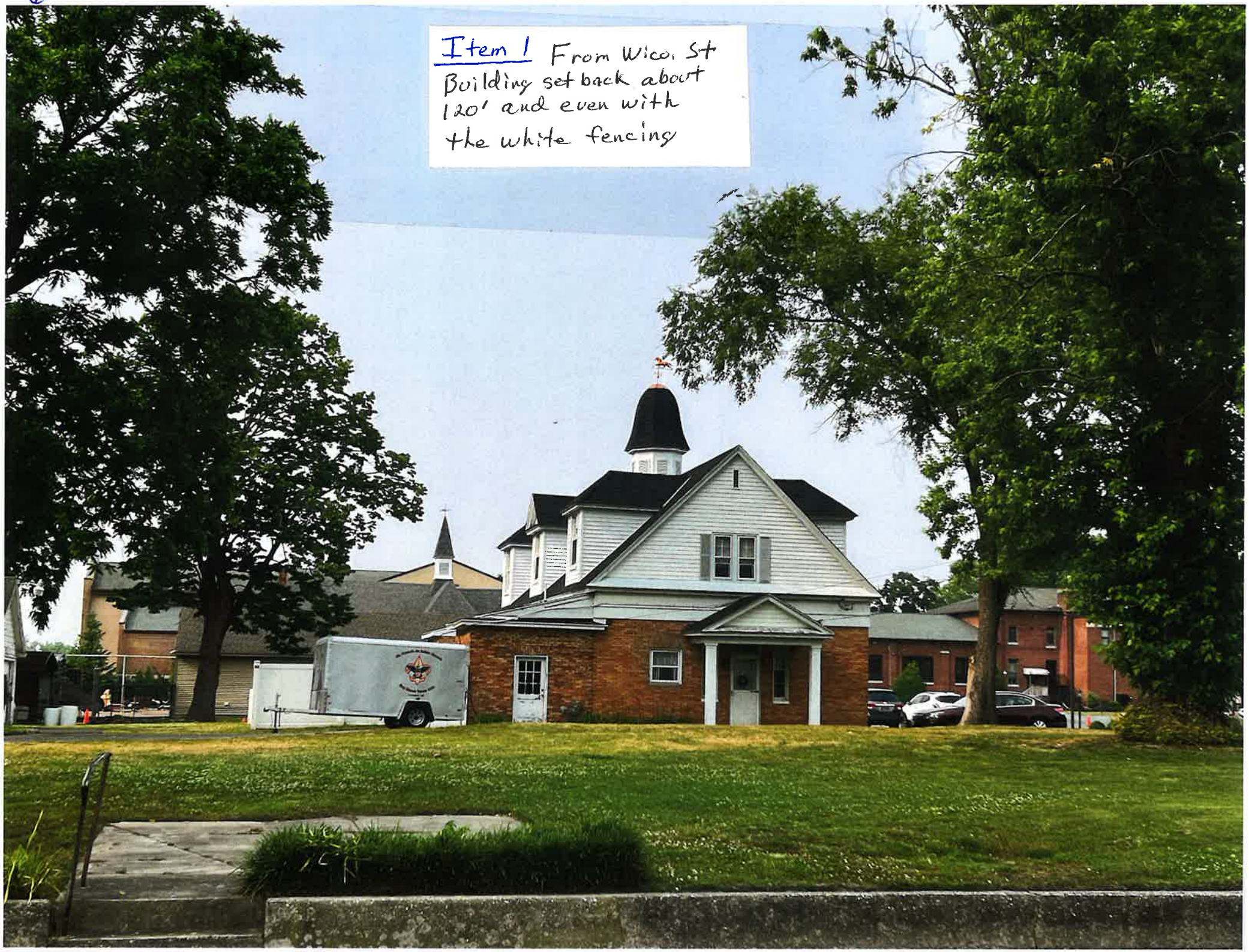
District: 13 **Account Number: 053456**

The information shown on this map has been compiled from deed descriptions and plats and is not a property survey. The map should not be used for legal descriptions. Users noting errors are urged to notify the Maryland Department of Planning Mapping, 301 W. Preston Street, Baltimore MD 21201.

If a plat for a property is needed, contact the local Land Records office where the property is located. Plats are also available online through the Maryland State Archives at **www.plats.net (http://www.plats.net)**.

Property maps provided courtesy of the Maryland Department of Planning.

For more information on electronic mapping applications, visit the Maryland Department of Planning web site at **http://planning.maryland.gov/Pages/OurProducts/OurProducts.aspx (http://planning.maryland.gov/Pages/OurProducts/OurProducts.aspx)**.


Item 1 From Wico. St
Building set back about
120' and even with
the white fencing

(2)

(3)

④


Item 4 Right side on
Same parcel with 15'
Seperation between buildings

(5)


Item 5 Left side
Showing 2 parcels owned
by St. Frances de Sales

(6)


Item 6 To replace shed within the footprint of the existing Structure.
Maintenance

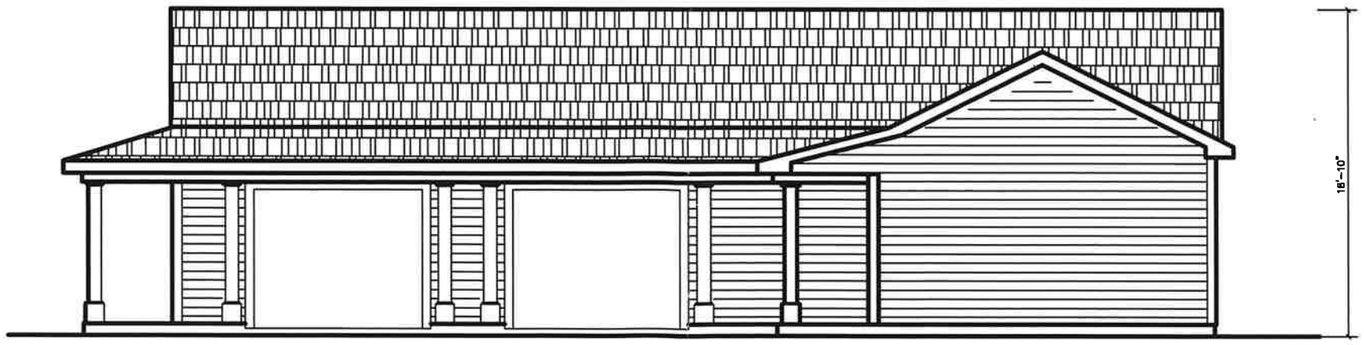
(7)


Item 8 To install
2 similar stable design
garage doors.

NOTE; ALL WALLS TO BE 8" CONC. BLOCK, SEE WALL SECTION. INSTALL # 4 REBARS VERTICAL THRU 8" CONC. BLOCK 1'-0" FROM ALL CORNERS AND (TYP) 4'-0" O.C. ON THE ENTIRE FOOTPRINT OF THE FOUNDATION. TIE REBARS INTO (E) BLOCK WALLS. ALL FOOTINGS SHALL BE PLACED ON SOLID UNDISTURBED SOIL.

NOTE; ALL HEADERS SHALL BE 2-2"X10" UNLESS NOTED.

LEFT SIDE ELEVATION



FRONT ELEVATION

REVISED; 2-3-2023
REVISED; 2-2-2023

CONSTRUCTION CODE ANALYSIS:		
USE GROUP	C-1	
CONSTRUCTION TYPE	V-B	
NUMBER OF STORIES	1	
HEIGHT	21'-0"	
TOTAL BUILDING AREA		2200 sq. ft
VOLUME OF NEW STRUCTURE		19,800 cu. ft

WILLIAM STUBBS STUDIO
ARCHITECTURAL DESIGN

ST. FRANCIS DE SALES CHURCH
514 CAMDEN AVE. SALISBURY, MD

ELEVATIONS

FEB 7, 2023

04

NOTE; CONTRACTOR IS TO VERIFY ALL BEAM LOCATIONS, LOLLY COLUMN LOCATIONS, AND ALL DIMENSIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. DO NOT SCALE DRAWING

NOTE;

CONTRACTOR IS TO SUPPLY SHOP DRAWINGS FOR ALL FLOOR JOIST, BEAMS, OPEN WEB WOOD FLOOR JOIST AND ALL ROOF TRUSSES.

ALL SHOP DRAWINGS SHALL BE SIGNED BY A LICENSED STRUCTURAL ENGINEER.

NOTE; ALL WALLS TO BE 8" CONC. BLOCK, SEE WALL SECTION. INSTALL # 4 REBARS VERTICAL THRU 8" CONC. BLOCK 1'-0" FROM ALL CORNERS AND (TYP) 4'-0" O.C. ON THE ENTIRE FOOTPRINT OF THE FOUNDATION. TIE REBARS INTO (E) BLOCK WALLS. ALL FOOTINGS SHALL BE PLACED ON SOLID UNDISTURBED SOIL.

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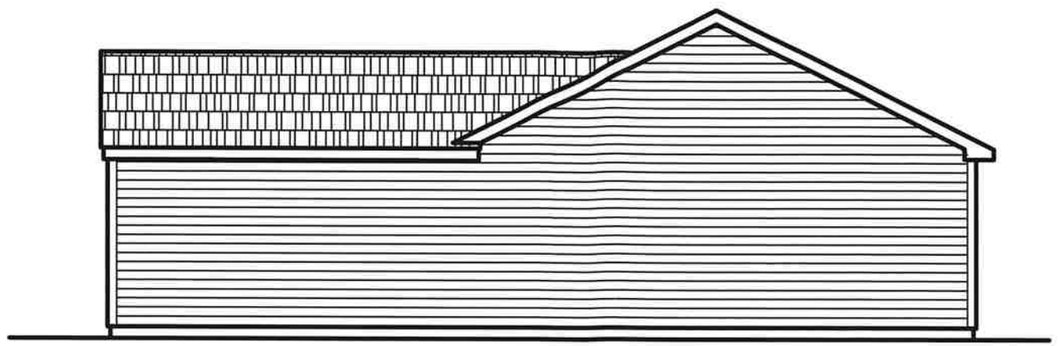
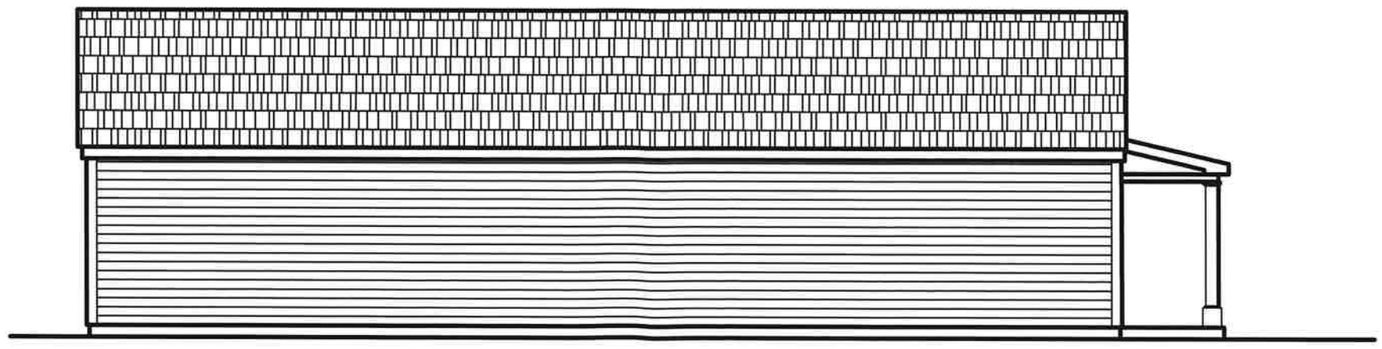


RIGHT SIDE ELEVATION



REAR ELEVATION

REVISED; 2-3-2023

REVISED; 2-2-2023

CONSTRUCTION CODE ANALYSIS:

USE GROUP	C-1
CONSTRUCTION TYPE	V-B
NUMBER OF STORIES	1
HEIGHT	21'-0"
TOTAL BUILDING AREA	2,200 sq. ft
VOLUME OF NEW STRUCTURE	19,800 cu. ft

WILLIAM STUBBS STUDIO
ARCHITECTURAL DESIGN

ST. FRANCIS DE SALES CHURCH
514 CAMDEN AVE. SALISBURY, MD

ELEVATIONS
FEB 7, 2023

03

NOTE; CONTRACTOR IS TO VERIFY ALL BEAM LOCATIONS, LOLLY COLUMN LOCATIONS, AND ALL DIMENSIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. DO NOT SCALE DRAWING

NOTE;

CONTRACTOR IS TO SUPPLY SHOP DRAWINGS FOR ALL FLOOR JOIST, BEAMS, OPEN WEB WOOD FLOOR JOIST AND ALL ROOF TRUSSES.

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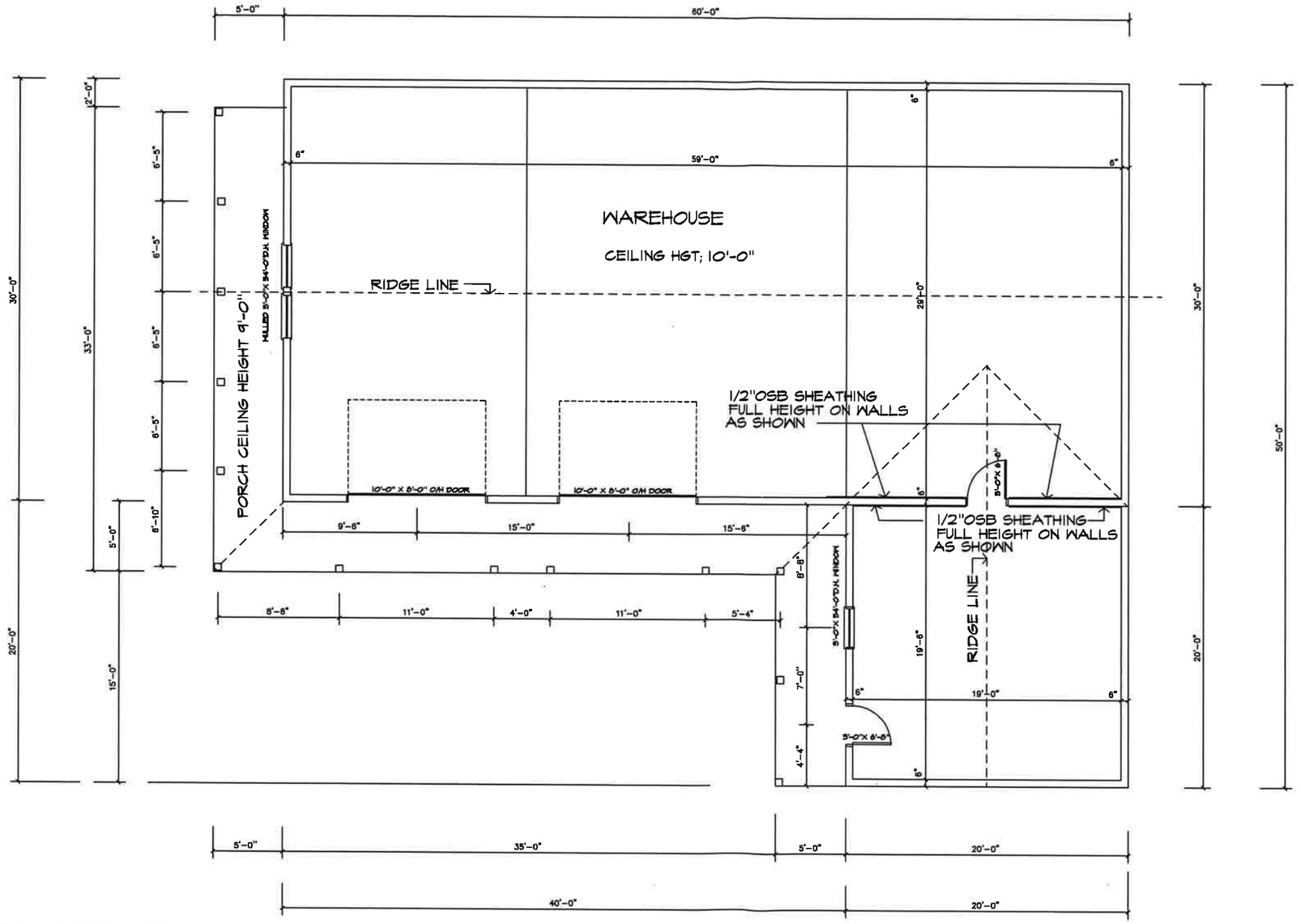
NOTE; ALL HEADERS SHALL BE 2-2"X10" UNLESS NOTED.



NOTE;
ALL SELECTIONS OF MATERIAL, FLOORING CABINETS, SIDING, ROOFING AND WINDOWS ARE BY OWNER.

FIRST FLOOR PLAN

CONSTRUCTION CODE ANALYSIS

USE GROUP	C-1
CONSTRUCTION TYPE	V-B
NUMBER OF STORIES	1
HEIGHT	27'-0"
TOTAL BUILDING AREA	2,200 sq ft
VOLUME OF NEW STRUCTURE	19,800 cu ft

WILLIAM STUBBS STUDIO
ARCHITECTURAL DESIGN

ST. FRANCIS DE SALES CHURCH
514 CAMDEN AVE. SALISBURY, MD

FLOOR PLANS

FEB 7, 2023

02

ed
OBAIN

Street™

MainStreet™

Autumn Red
(Deluxe Color)

Sable Brown
(Deluxe Color)

Hearthstone
(Deluxe Color)

Spruce
(Deluxe Color)

Forest
(Deluxe Color)

Pacific Blue
(Deluxe Color)

Wedgewood Blue

Flagstone
(Deluxe Color)

Charcoal Gray
(Deluxe Color)

Castle Stone

Granite Gray

Sterling Gray

Oxford Blue

Seagrass

Cypress

Herringbone

Sandstone Beige

Desert Tan

Weathered Wood

Natural Clay

Savannah Wicker

Heritage Cream

Autumn Yellow

Snow

Colonial White

Triple 3" Brushed Clapboard available in: Colonial White, Desert Tan, Heritage Cream, Light Maple, Natural Clay, Oxford Blue, Sandstone Beige, Savannah Wicker, Snow and Sterling Gray.

Single 6-1/2" Brushed Beaded available in: Colonial White, Cypress, Desert Tan, Granite Gray, Natural Clay, Sandstone Beige, Savannah Wicker and Sterling Gray.

Single 8" Woodgrain Clapboard available in Colonial White only.

All other Profiles available in all colors.

Street siding offers consistent quality,
ks and is the ideal choice for homeowners
value with the benefits of a premium panel.

By Building Professionals
26th Consecutive Year

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in
arance.

technology and
formed lock design.

tallation System
ng performance.

- A wide variety of low-gloss colors.
- .042" thickness.
- Virtually maintenance free, never needs painting.
- Class 1(A) fire rating.
- Lifetime limited warranty.

chnology

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appearance
o withstand
to 170 mph.

for capable wind speed
pressure ratings. For the
certainteed.com.

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CertainTeed

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of July 26, 2023

Case Number:	#23-17
Commission Considering:	New Construction
Owner Name:	St Frances De Sales
Owners Address:	514 Camden Ave Salisbury, MD 21801
Applicant Name:	**Chris Mills**
Applicant's Address:	8467 Rum Ridge Road Delmar, MD 21875
Agent/Contractor:	C.E Mills General Contractor
Subject Property Address:	411 Wicomico St
Historic District:	Camden Historic District
Use Category:	Commercial
Zoning Classification:	R – 10
Structure / Site Description:	
Built Date:	1920
Enclosed Area:	1,716 sq. ft.
Lot Size:	36,483 sq. ft.
Number of Stories:	2
Contributing Structure:	TBD

Wicomico County Historic Survey on file: Yes

Nearby Properties on County Survey: Yes

Including but not limited to:

601 Camden Ave. – George C Hill House
513 Camden Ave.- R Frank Williams- Leatherbury House

Explanation of Request: The applicant is seeking approval to construct a new 2,200 square foot grounds building on Parcel 1506. Also, they would like to demolish and reconstruct a new 20 x 20 shed.

Areas of Historic Guidelines to be considered:

Guideline 36: New Construction
Building form is an important component of the streetscape, the largest element within the streetscape, and tends to command our attention most strongly. "Form" refers to the shape and massing of a building. Historic downtown commercial buildings, for example, often have a form that is boxy (rectangular), tall in proportion, and long or deep.
In planning new construction in downtown Salisbury, building form and streetscape elements should be carefully considered. Streetscape elements can reinforce the area's attractiveness and make it a desirable place to live or do business. Elements within the Downtown Historic District include a regular setback of building facades, which provides an unbroken view along the street and close placement of buildings.
a. New structures should be similar in form, scale and height to the surrounding structures.
b. New structures should be placed on existing vacant lots whenever possible, and should match the setback of surrounding structures. The vast majority of properties in the Downtown Historic District have little to no setback: the front of the building is positioned at the edge of the sidewalk.
c. Parking lots or parking structures should be placed at the rear of the lot whenever possible. Ideally, access to them should be from a side street to lessen the number of curb cuts along main streets.
d. New buildings should be compatible with adjacent structures in terms of massing, proportion, size, and scale.
e. New buildings should be oriented to face the street rather than turned inward, skewed or oriented at angles to the existing street grid.
f. Services such as delivery or trash removal should be handled from alleys that pass through the middle of the block or otherwise located on a non-visible elevation.
g. Blank or windowless walls on the front façade or street side are not appropriate.

Guideline 65: New Construction
a. The new garage shall be compatible with the primary building in terms of scale, massing, and style.

b. Pre-fabricated, non-permanent sheds are permitted in the rear of the property. They should be small in scale and congruous with the style of the primary building.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd
Infrastructure and Development
125 N Division Street, Suite 202
Salisbury, MD 21801
(410) 548-3170
Date: July 17, 2023

Real Property Data Search ( )
Search Result for WICOMICO COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recapture: None

Account Identifier: **District** - 13 **Account Number** - 046964

Owner Information

Owner Name:	SAINT FRANCIS DE SALES CHURCH	**Use:**	EXEMPT COMMERCIAL
		Principal Residence:	NO
Mailing Address:	514 CAMDEN AVE SALISBURY MD 21801	**Deed Reference:**	/01440/ 00338

Location & Structure Information

Premises Address:	411 WICOMICO ST SALISBURY 21801-0000	**Legal Description:**	36,483 SQFT 411-413 WICOMICO ST RESUB ST FRANCIS DESALES

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	
0111	0010	1506	10001.23	0000				2022	Plat Ref:	0015/ 0081

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1920	1,716 SF		36,483 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	/	3	1 full		

Value Information

	Base Value	Value	Phase-in Assessments	
		As of 01/01/2022	As of 07/01/2022	As of 07/01/2023
Land:	218,800	218,800		
Improvements	75,100	79,400		
Total:	293,900	298,200	295,333	296,767
Preferential Land:	0	0		

Transfer Information

Seller: JENION, WILLIAM R JR ETAL	**Date:** 05/24/1995	**Price:** $175,000
Type: ARMS LENGTH MULTIPLE	**Deed1:** /01440/ 00338	**Deed2:**
Seller: JENTON, WILLIAM R JR ETAL	**Date:** 12/10/1986	**Price:** $0
Type: NON-ARMS LENGTH OTHER	**Deed1:** /01086/ 00754	**Deed2:**
Seller: TODD, SAMUEL J E	**Date:** 08/22/1986	**Price:** $125,000
Type: NON-ARMS LENGTH OTHER	**Deed1:** /01075/ 00039	**Deed2:**

Exemption Information

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	700	295,333.00	296,767.00
State:	700	295,333.00	296,767.00
Municipal:	700	295,333.00|296,767.00	295,333.00|296,767.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

WI-552

Camden Historic District (a.k.a. Newton)

Architectural Survey File

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the "vertical files" at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

Last Updated: 08-29-2003

MARYLAND HISTORICAL TRUST
NR-ELIGIBILITY REVIEW FORM

NR Eligible: yes X
no ___

Property Name: Camden Historic District (aka Newton) Inventory Number: WI-552

Address: _____ City: Salisbury Zip Code: _____

County: Wicomico USGS Topographic Map: Salisbury Quad

Owner: _____

Tax Parcel Number: _____ Tax Map Number: _____ Tax Account ID Number: _____

Project: _____ Agency: _____

Site visit by MHT Staff: ___no _X_yes Name: Andrew Lewis/Michael Day Date: 03/23/01

Eligibility recommended _X_ Eligibility **not** recommended ____

Criteria: _X_A ___B _X_C ___D Considerations: ___A ___B ___C ___D ___E ___F ___G ___None

Is the property located within a historic district? ____no ____yes Name of district: _____

Is district listed? ___no ___yes Determined eligible? ___no ___yes District Inventory Number: WI-552

Documentation on the property/district is presented in:

Description of Property and Eligibility Determination: *(Use continuation sheet if necessary and attach map and photo)*

The Camden Historic District (aka the Newton-Camden Historic District) is a local historic district composed of homes of a wide variety of architectural styles. According to information contained in the Wicomico survey files, the district was determined eligible by "Lukenbach & Andreve" on April 17, 1986, but no copy of the DOE form could be found. Nevertheless, the district contains numerous homes with a great deal of integrity and the earlier determination of eligibility still appears valid. Architectural styles represented within the district include Colonial Revival, Queen Anne and other Victorian styles. The City of Salisbury specifically identifies some of the homes in the area to be of "great historical value to the community". These homes include "the Humphrey House, Red Gables and the house known as "Cricket Box"". The City Ordinance establishing the district also included the following findings:

- Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18th Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.
- The Camden area was the location of the first known sanitary sewer installed in 1887 to serve the L.W. Gunby and William P. Jackson homes on Camden Avenue.
- After the fire of 1886, City Board of Commissioners established a series of ordinances which included maintaining sidewalks in front of properties and establishing the rights of way of various streets. Among the first streets subject to improvement of widening and straightening in 1887 under this law was Camden Street, now Camden Avenue.

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X **Eligibility not recommended** _____

Criteria: X A ___B X C ___D **Considerations:** ___A ___B ___C ___D ___E ___F ___G ___None

Comments: _____

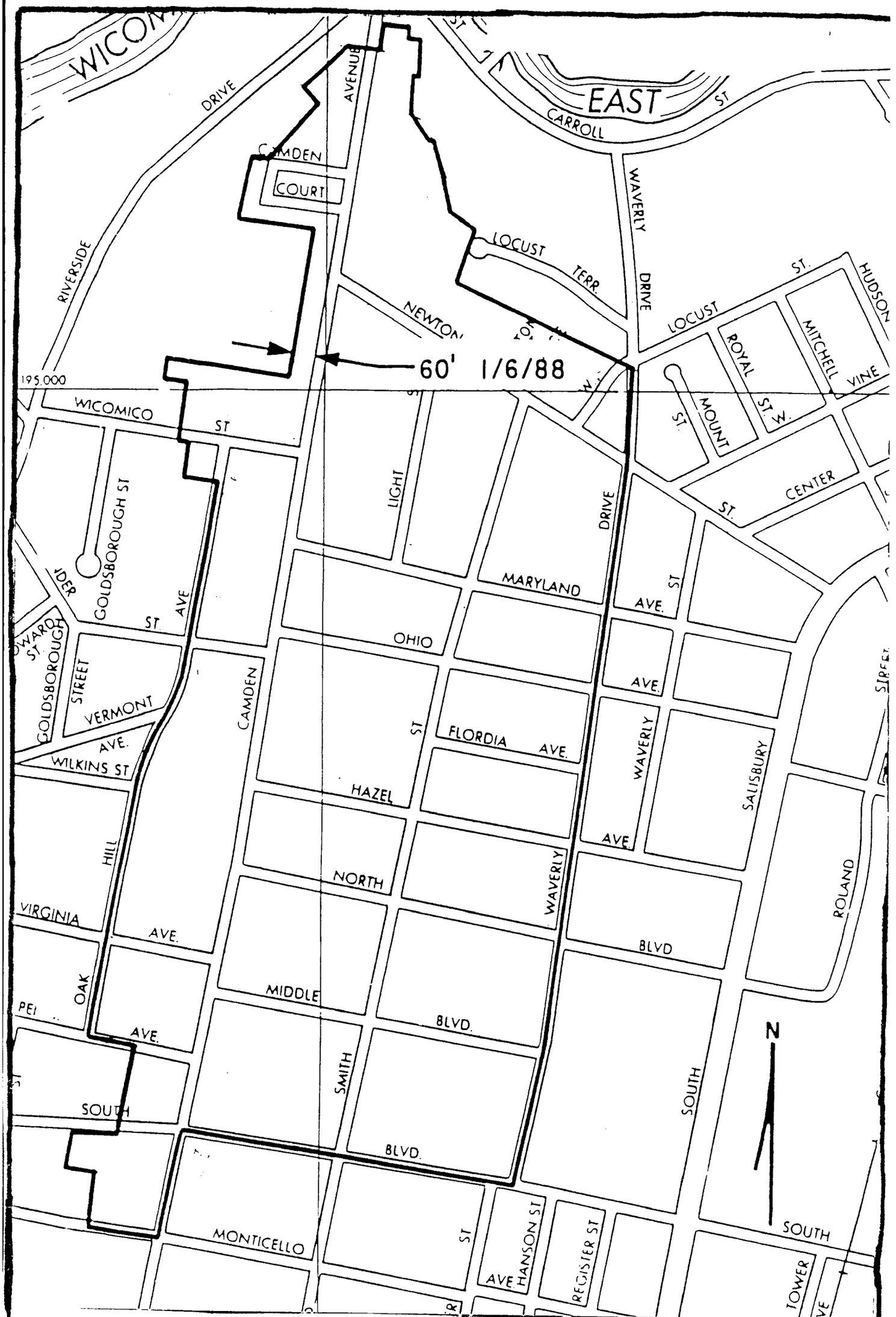
Andrew Lewis 05/02/01

Reviewer, Office of Preservation Services **Date**

Reviewer, NR program **Date** 5/2/01

- The town's first development laws were enacted in 1892 and involved the Camden area. Only structures of brick, stone or iron with slate roofs or other non-combustible materials were permitted.
- Salisbury's first row homes were constructed in the area now known as Camden Court.
- The first planned residential development in Salisbury was centered around what is now North, South and Middle Boulevards in 1908.
- The 1909, L. W. Gunby, a resident of Camden, and Salisbury Auto Company opened the first automotive sales and service facility on Camden Avenue.
- In 1910, Frank W. Baysinger provided the City of Salisbury with its first taxi service from his garage on Camden Avenue.
- In 1890, the Jackson family constructed one of the most elegant homes built in the Camden area. This stylish example of architecture was beyond the scope of anything previously built in the City. Due to lack of regulations protecting such an architectural legacy, the home was demolished.
- The Newton Jackson home on the corner of Camden and Newton Street remains as a historic reminder of the City's past.
- The Gunby home at 507 Camden Avenue, built about 1830 and renovated in the 1880's, was the home of the founder of the William B. Tilghman Fertilizer Company.
- The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.
- The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.
- On the northeast corner of Newton and Camden, a residence now used as an office by an accountant has been declared one of the oldest residences in Salisbury and shown on 1877 maps.
- The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

Prepared by: Andrew Lewis Date Prepared: 05/02/01



Newton-Camden Historic District

WI-552

ns Map 21 75°37'30" COPYRIGHT 1979 · ALEXANDRIA DRAFTING COMPANY MD GRID 1,200,000 FT COPYRIGHT 1979 · ALEXANDRIA DRAFTING COMPANY 75°35'00" MD GRID 1,210,000 FT Johns Map 22

MARYLAND HISTORICAL TRUST
NR-ELIGIBILITY REVIEW FORM

NR Eligible: yes X
no ___

Property Name: Camden Historic District (aka Ne Inventory Number: WI-552

Address: _____ City: Salisbury Zip Code: _____

County: Wicomico USGS Topographic Map: Salisbury

Owner: _____

Tax Parcel #: _____ Tax parcel Map Number: _____ Tax Account ID Number: _____

Project: _____ Agency: _____

Site visit by MHT staff X no ___ yes Name: Andrew Lewis/ Date: 03/23/2001

Eligibility recommended X Eligibility **not** recommended ___

Criteria: X A ___B X C___ D Considerations: ___A ___B ___C ___D ___E ___F ___G ___None

Is the property located within a historic district? ___ no ___yes Name of District: _____

Is district listed? ___ no ___ yes District Inventory Number: _____

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Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X **Eligibility not recommended** ___

Criteria X **A** ___**B** X **C** ___**D** **Considerations** ___ **A** ___**B**___ **C**___ **D**___ **E**___ **F**___ **G** ___**None**

MHT Comments:

C. Andrew Lewis	**May 02, 2001**
Reviewer, Office of Preservation Services	**Date**
Peter Kurtze	**May 02, 2001**
Reviewer, NR Program	**Date**

1.Camden Avenue was once the main highway connecting Salisbury with Princess Anne to the south crossing the 18th Century Mill Dam at Tony Tank and Allen. It continued through the heart of Salisbury running northward to the Delaware towns.

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Prepared by: C. Andrew Lewis Date Prepared: 05/02/2001

MARYLAND HISTORICAL TRUST REVIEW

Eligibility recommended X **Eligibility not recommended** ___

Criteria X **A** ___ **B** X **C** **D** **Considerations** ___ **A** ___ **B** ___ **C** ___ **D** ___ **E** ___ **F** ___ **G** ___ **None**

MHT Comments:

C. Andrew Lewis	**May 02, 2001**
Reviewer, Office of Preservation Services	**Date**
Peter Kurtze	**May 02, 2001**
Reviewer, NR Program	**Date**

12 The Humphreys house located at 722 Camden Avenue was originally constructed between 1904 and 1906 and was once owned by Jesse D. Price, former member of the Maryland State Senate, who also served in the U.S. House of Representatives.

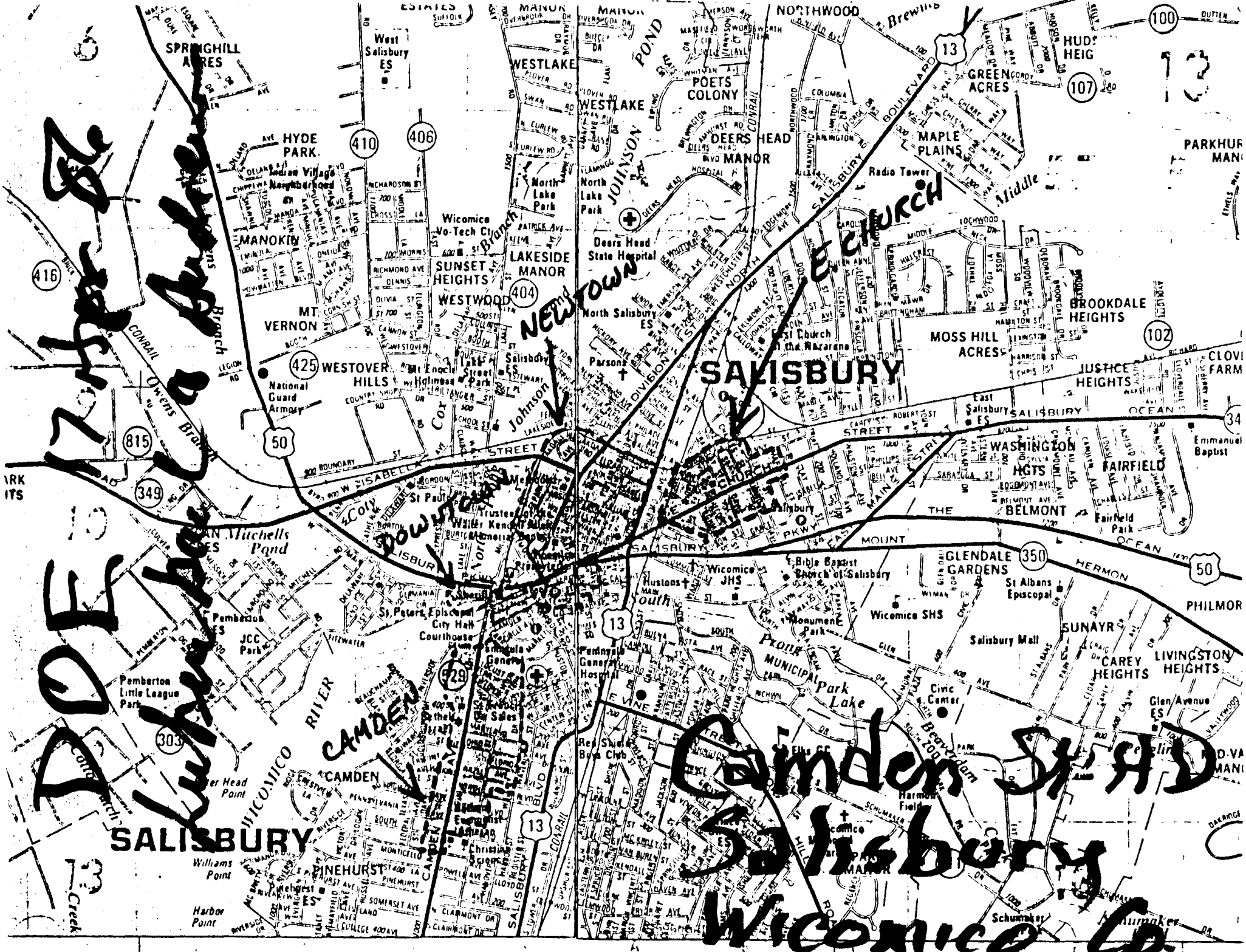
13 The late Lee Johnson, a master mason and contractor, built one of the earliest examples of the innovative "Bungalow" Style of house located next to the Lutheran Church at South Boulevard. This example of a fine house was torn down because of a lack of control over the demolition of buildings in the area.

14 On the northeast corner of Newton and Camden, a residence now used as an office by an accountant has been declared one of the oldest residences in Salisbury and shown on 1877 maps.

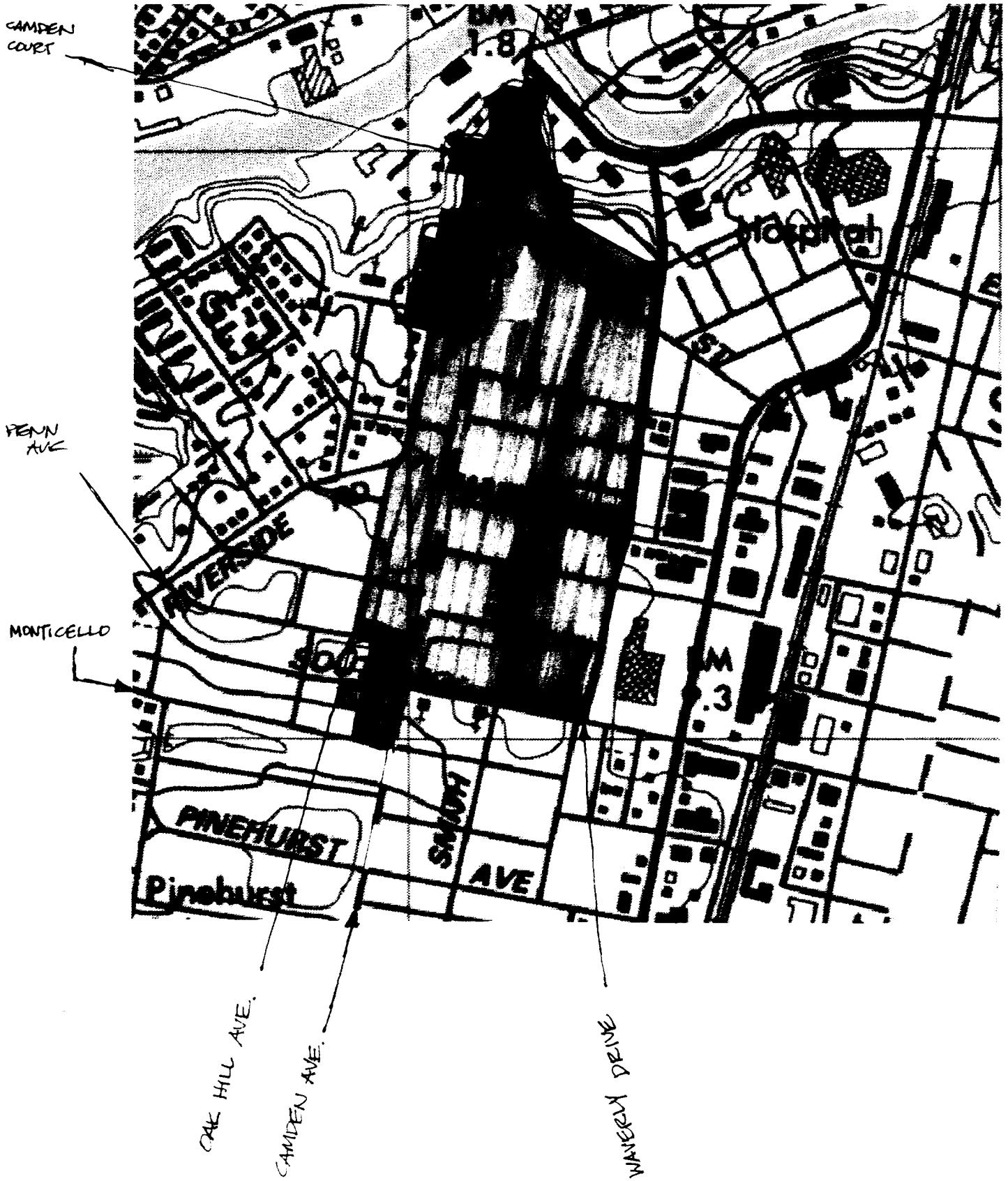
15 The applicants have provided detailed documentation on the preliminary classification of ten historic structures in the area including such homes as "Red Gables" and "Humphreys House" to name only two.

WI-552

Camden Historic District
Salisbury, Md.



CAMDEN HISTORIC DISTRICT (AKA NEWTON)
SALISBURY, WICOMICO COUNTY, MD
WT.-552



Salisbury Historic District Commission

Hearing Notification

Hearing Date:	July 26, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-18
Commission Considering:	Alterations
Owner's Name:	**REPC LLC**
Applicant Name:	**Robert Cannon**
Agent/Contractor:	Not Indicated
Subject Property Address:	**226 Newton St.**
Historic District:	Camden Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission

125 N. Division Street
Room 202
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application
$50 Fee Received 7/7/23 (date)

Date Submitted: 7/7/23
Date Accepted as Complete: 7/7/23
Subject Location: 226 NEWTON STREET
Application by: ROBERT CANNON
Applicant Address: 106 CIRCLE AVE, SALISBURY MD 21801
Applicant Phone: 410-749-5179

Case #: # 23-18
Action Required By (45 days): 8/20/23
Owner Name: REAC AND HTC LLC
Owner Address: C/O ROBERT CANNON, 106 CIRCLE AVE
Owner Phone: 410-749-5179
Owner Email: CANNONCPM@COMCAST.NET

Work Involves: ✓ Alterations ___ New Construction ___ Addition Other ___
___ Demolition ___ Sign ___ Awning Estimated Cost 200,000

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

SEE ATTACHED

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ___ Yes ✓ No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ___ Yes ✓ No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on 7/26/23 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature _____ Date 6-27-23

7/7/23
Application Processor (Date)

Brian Soper 7/18/23
Secretary, S.H.D.C. (Date)

226 Newton Street

Proposed renovation plans:

1. Install vinyl siding on the exterior of the house to match as close as possible the old clapboard and clamshell siding that is presently underneath the asbestos shingles;
2. Replace the windows with vinyl replacement windows with similar grills. It should be noted that some of the current windows are very large and dangerous in that the bottoms of the windows are only 19 inches above the floor. We intend to replace them with windows that meet the current code compliant size and height requirements;
3. Wrap the exterior widow trim and boxing in metal;
4. Replace roofs with architectural asphalt shingles;
5. Install gable vents for proper ventilation of the attic in place of the gable windows;
6. Rebuild two-thirds of the kitchen at the rear of the house (the roof of which has collapsed) to similar dimensions;
7. Install a code-compliant exit stairway at the rear of the house for a second required exit for the current second floor unit;
8. Install new exterior metal doors; and
9. Install a new front porch deck with similar tongue and groove vinyl decking boards and replace the posts and bannisters with similar size and shape plastic or vinyl.


226 Newton -
Front Elevation
DRUG-FREE SCHOOL ZONE


226 Newton -
Left Side
Elevation


226 Newton -
Left Side Rear
Kitchen Area
Proposed 2nd Floor
Rear Exit Stairway


226 Newton - Right
Side Elevation
Kingspan
GreenGuard


226 Newton -
Right Side Rear
Kitchen Area


226 Newton
Rear Elevation
and Kitchen

226 Newton Rear Elevation and Kitchen


226 Newton -
Front Porch
NO
SPASSING
226

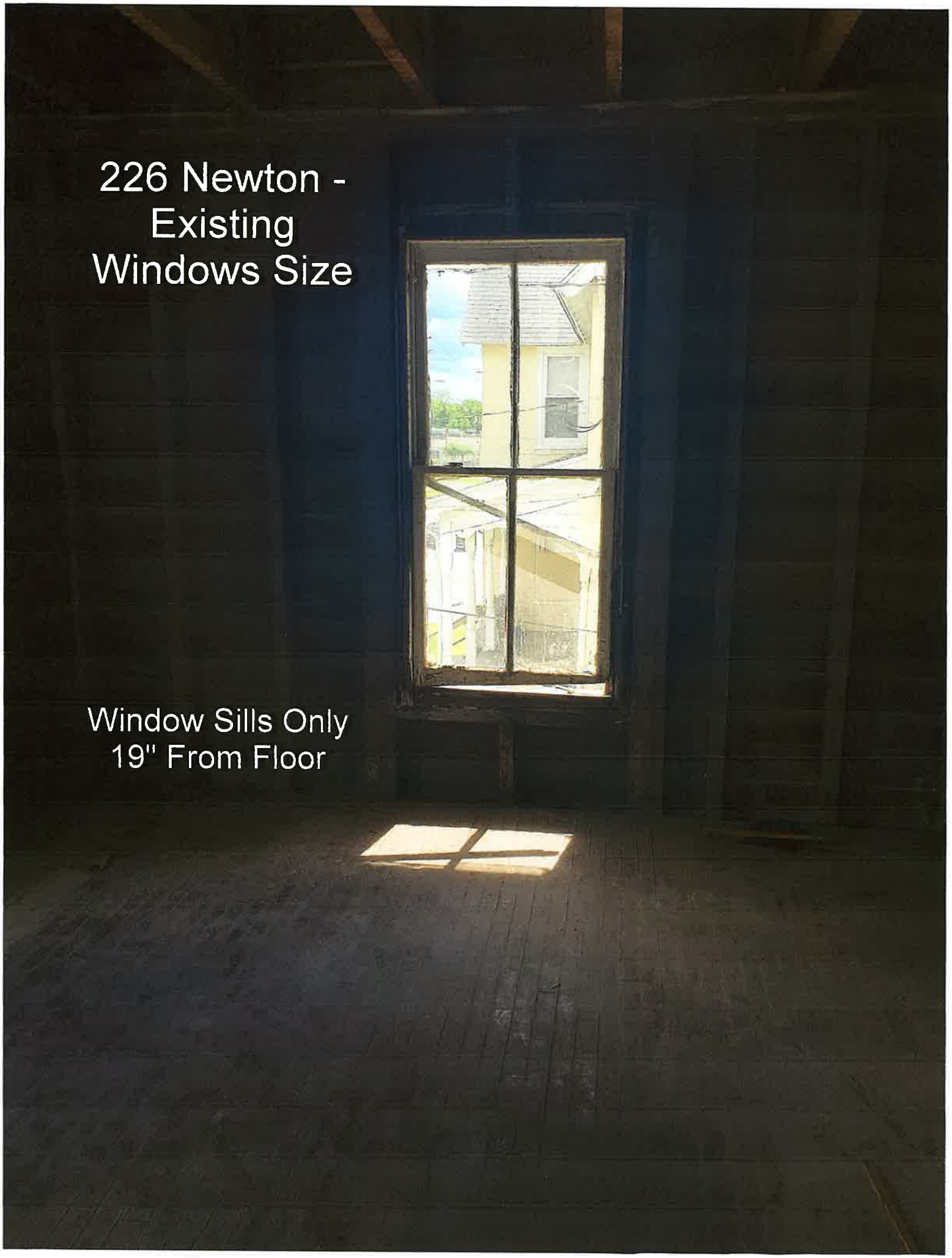

House to Left of
226 Newton


House to Right of
226 Newton
ONE WAY


House Across from
226 Newton
DO NOT
ENTER


Kitchen Area
Lookiing from
Inside the House


Kitchen Area
to be Renovated
Kitchen Area
to be Removed


226 Newton -
Existing
Windows Size
Window Sills Only
19" From Floor

Viwinco Dealer Quote

BEACON BUILDING PRODUCTS
505 MARVEL RD
SALISBURY, MD 21801

Quote Number:
00315013
Job Name:
Will Chavez
Quote Date: May 9, 2022

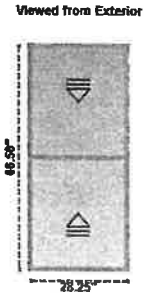
Sold To: 50158620

505 Marvel Road
Salisbury, MD 21801

Ship To:

505 Marvel Road
Salisbury, MD 21801

Line #	Qty Ordered	Order Specifications
0001	6	**S-Series Double Hung**

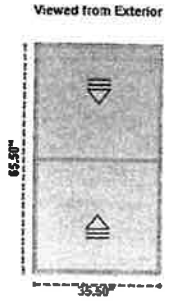


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 28.7500
HEIGHT: 67.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

Date Printed: 5/16/2023 02:06 PM
Created By: davidm@roofcenter.com

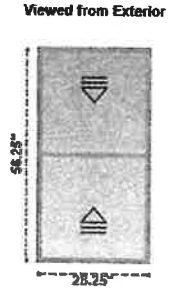
Line #	Qty Ordered	Order Specifications
0002	4	**S-Series Double Hung**



APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 36.0000
HEIGHT: 66.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW MEETS EGRESS, EGRESS HARDWARE IS INSTALLED

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0003	6	**S-Series Double Hung**

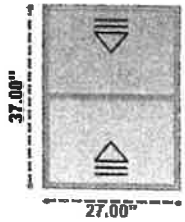


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 28.7500
HEIGHT: 56.7500
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

Line #	Qty Ordered	Order Specifications
0004	1	**S-Series Double Hung**

Viewed from Exterior

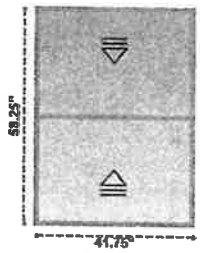


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 27.5000
HEIGHT: 37.5000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0005 1 **S-Series Double Hung**

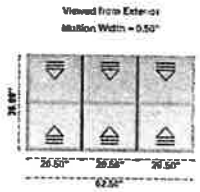
Viewed from Exterior



APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 42.2500
HEIGHT: 58.7500
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: DOUBLE LOCKS / THIS WINDOW MEETS EGRESS, EGRESS HARDWARE IS INSTALLED

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0006 1 **S-Series Mulled Units 3U-1R3C**



CONFIG: 3U-1R3C
APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
OVERALL WIDTH: 63.0000
OVERALL HEIGHT: 36.5000
CUSTOM SIZES: NO
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE

UNIT 01: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000

Line #	Qty Ordered	Order Specifications

LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

UNIT 02: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

UNIT 03: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance (All Units): SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval (All Units): 17528.1

Date Printed: 5/16/2023 02:06 PM
Created By: davidm@roofcenter.com

QUOTE DISCLAIMER
We ask that you thoroughly review the quote for accuracy, before ordering the product. By responding to this email, or signing the quote, you authorize us to order the product/special order product and you agree all quantities, sizes, and specifications are correct.
No changes or cancellations can occur once special order items have been submitted to the manufacturer.
THIS ESTIMATE IS VALID FOR 30 DAYS. SPECIAL ORDER ITEMS CANNOT BE RETURNED.

Customer Signature: _____ **Date:** _____

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of July 26, 2023

Case Number:	#23-18
Commission Considering:	Alterations
Owner Name: **Owners Address:**	REPC LLC 106 Circle Ave Salisbury, MD 21801
Applicant Name:	**Robert Cannon**
Applicant's Address:	106 Circle Ave Salisbury, MD 21801
Agent/Contractor:	TBD
Subject Property Address:	226 Newton St
Historic District:	Camden Historic District
Use Category:	Residential
Zoning Classification:	R – 8
Structure / Site Description:	
Built Date:	1915
Enclosed Area:	2,370 sq. ft.
Lot Size:	9,000 sq. ft.
Number of Stories:	2
Contributing Structure:	TBD

Wicomico County Historic Survey on file: No

Nearby Properties on County Survey: Yes

Including but not limited to:

232 Newton St- William Mitchell House

Explanation of Request: The applicant is seeking approval to repair the following:

- Install Vinyl Siding
- Replace windows with vinyl, and wrap window trim
- Replace the roof with architectural asphalt shingles
- Install gable vents for proper ventilation of the attic in place of gable windows
- Rebuild two-thirds of the kitchen at the rear of the house to similar dimensions
- Install an exit stairwell in rear for second floor unit
- Install new exterior metal doors
- Install new front porch deck. With similar tongue and groove vinyl decking boards and replace post and banisters with similar size and shape plastic or vinyl

Areas of Historic Guidelines to be considered:

Guideline 13: Match Existing or Historic Siding
a. Where full-scale siding replacement is necessary, match the historic or existing siding on the building. Keep the details (width of wood boards, shingle size, corner and seam details, etc.) consistent with the historic appearance.
b. When replacing non-historic siding that was inappropriately applied, chose an appropriate replacement that is consistent with buildings of the type, period, and architectural style.
c. Do not cover historically uncovered masonry surfaces with siding. Siding applied to masonry surfaces has the potential to hold moisture and cause damage to the underlying wall.

Guideline 14: Synthetic Siding
Synthetic siding describes a siding product not made from natural materials. Vinyl, asphalt, and fiber cement board are the most commonly found synthetic siding types.
a. The use of new synthetic siding may be approved on a case by case basis if one or more of the following conditions are met.
b. Historic decorative details should not be removed or covered by synthetic siding. These details include but are not limited to cornices, window hoods, moldings, eaves, decorative shingles, and trim.
c. Synthetic siding may not be applied over historically uncovered masonry walls.

Guideline 17: Retain Historic Windows
a. Maintain or restore the historic shape, size, alignment, pattern, and details of existing historic windows, particularly those in upper stories of commercial properties. (For guidelines on

storefront windows, see the Storefronts Guidelines in the following section).
b. Do not infill window openings or cover existing historic windows.
c. Consider reopening windows that are presently blocked, if your budget allows.

Guideline 18: New Window Openings and Infill
Altering window openings in historic facades alters the building's historic appearance significantly, and is typically not appropriate, but may be considered in some situations.
a. Avoid placing new openings on the front facade.
b. If new openings are required for additional light, consider placing them on the rear or side elevations of the building or installing a skylight on a non-visible roof slope.
c. Avoid infilling existing window openings on the front facade.
d. Where recent changes have altered historic window openings, restoration of the historic configuration and materials is encouraged.

Guideline 24: Roofing Material
In-kind replacement of roofing materials is always preferable to replacement with a new material, however, this is not always feasible. Standing seam metal in copper, tin, or terne coated steel are traditional materials which can be replaced with new versions provided that they are flat and of a uniform color and texture. Asphalt, asphalt shingles, and mineral fiber slate may be appropriate substitutes for many traditional materials.
a. Retain and repair the historic roof material when feasible.
b. Where replacement is necessary, match the historic materials as closely as possible in terms of material, size, color, and pattern.
c. Requests for substitute roofing materials will be reviewed on a case-by-case basis.
d. When asphalt shingles are used to replace wood or slate, heavy weight architectural shingles which provide depth and variation, and which match the shape of the historic materials, are preferred.
e. Roofing materials on additions should match or mimic the material on the main body of the historic building.
f. Roofing materials on new construction should be consistent with the prevalent roofing material on surrounding buildings.
g. Repair of isolated sections of a roof must match the existing tiles in material composition, style, size and color.

Guideline 28: Chimneys and Vents
a. Maintain existing chimneys. When repairs are necessary, match the existing materials, colors, shape, brick pattern, and details as closely as possible.
b. Avoid changing the height, massing, or scale of existing chimneys.
c. New vents should be placed in a location which is not visible from the public right of way.
d. New chimneys on new construction should be consistent with the height, massing, and proportions of chimneys found in the surrounding area.

Guideline 35: Additions
Although it is not impossible to add a story or more to historic buildings, it is normally more difficult to avoid adverse impact to the building's original design, character, and detailing.

a. Consider the issue of structural strength and ability to carry another floor. This issue should be addressed by a qualified structural engineer.
b. Whenever possible, an addition should be placed at the rear of the main building.
c. Additions should be constructed in materials compatible with those used in the original building. This does not mean that the same materials have to be used.
d. Frame additions can be added to brick and stucco buildings successfully.
e. Additions should not duplicate the architecture and design of the main building but should pick up overall design "cues" from the main building, such as window proportions, overall massing and form, and type of ornamentation.
f. Avoid changes that obscure, damage or destroy significant characteristic features of an existing building or historic district.
g. New additions should be compatible with existing historic buildings in terms of scale, but should be visually different from the original to avoid creating a false historic appearance. Additions to historic structures should be identifiable as a new addition to an original building.
h. New additions should be subordinate to the main building. This can be achieved by making the addition smaller in scale than the main building, or by keeping the roofline or parapet below that of the main building.

Guideline 53: Replacing Residential Doors
a. Where replacement is necessary, the new door should match the historic door in placement, size, type, and configuration wherever possible.
b. When restoring missing historic doors, use pictorial evidence to produce the replacements, if your budget allows. A salvaged replacement in the same style that fits the opening, or a new door in a complimentary style are also appropriate choices.
c. If replacement with a new door is unavoidable, chose one that mimics the size, scale, design, and texture of an appropriate historic door. Proportions and details should be in keeping with the building's architectural style.
d. Maintain the historic door opening size and surrounding trim, including side lights and transoms. Do not alter the size of the opening to fit a smaller or larger door, unless required by code.

Guideline 54: Storm and Screen Doors
a. Select a storm or screen door in a style typical of the period or style in which your building was constructed.
b. Wood storm and screen doors are typically the most appropriate, however, metal doors with a baked enamel finish in an appropriate style may also be approved.
c. The color should match the existing door sash or trim.

Guideline 55: Restore Historic Porch Features
a. Maintain the historic porch or stoop when feasible. Keep wooden surfaces painted and keep up with general maintenance.
b. If repair or rehabilitation is necessary, keep as much of the historic materials in place as possible. Maintain the porch's design, proportion, and ornament to the greatest extent possible.
c. Replace missing porch posts and railings where necessary. Match the size, shape, profile, proportion, and spacing to the original features.
d. Use of synthetic replacement materials may be allowed if the new material closely approximates the size, scale, texture, and overall appearance of the historic feature.

Guideline 56: Replacement Porches
a. If porch replacement is necessary in whole or in part, reconstruct it to match the historic porch in size, scale, and overall design. Where possible, detail and ornamentation should be replicated.
b. Use the same or similar materials wherever feasible.
c. Avoid applying decorative elements that are not appropriate to the style of the dwelling. Whenever possible, choose accurate details based on historic photographs or similar properties of the same period and style.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd
Infrastructure and Development
125 N Division Street, Suite 202
Salisbury, MD 21801
(410) 548-3170
Date: July 17, 2023

Real Property Data Search ( )
Search Result for WICOMICO COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recapture: None

Account Identifier: **District** - 13 **Account Number** - 019479

Owner Information

Owner Name: REPC & HTC LLC
Use: RESIDENTIAL
Principal Residence: NO
Mailing Address: C/O ROBERT P CANNON
106 W CIRCLE AVE
SALISBURY MD 21801-4944
Deed Reference: /02532/ 00020

Location & Structure Information

Premises Address: 226 NEWTON ST
SALISBURY 21801-0000
Legal Description: 9,000 SQFT
226 NEWTON ST
CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0111	0011	0263	13030702.23	0000				2022	Plat Ref:

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1915	2,370 SF		9,000 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	ASBESTOS SHINGLE/	1	2 full		

Value Information

	Base Value	Value As of 01/01/2022	Phase-in Assessments As of 07/01/2022	As of 07/01/2023
Land:	9,000	8,600		
Improvements	7,500	300		
Total:	16,500	8,900	8,900	8,900
Preferential Land:	0	0		

Transfer Information

Seller: CANNON, ROBERT P & HILDA T	**Date:** 12/30/2005	**Price:** $0
Type: NON-ARMS LENGTH OTHER	**Deed1:** /02532/ 00020	**Deed2:**
Seller:	**Date:**	**Price:**
Type:	**Deed1:**	**Deed2:**
Seller:	**Date:**	**Price:**
Type:	**Deed1:**	**Deed2:**

Exemption Information

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00|0.00	0.00|0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

Salisbury Historic District Commission

Hearing Notification

Hearing Date:	July 26, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-19
Commission Considering:	Alterations
Owner's Name:	**REPC LLC**
Applicant Name:	**Robert Cannon**
Agent/Contractor:	Not Indicated
Subject Property Address:	**228 Newton St.**
Historic District:	Camden Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission

125 N. Division Street
Room 202
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application
$50 Fee Received 7/7/23 (date)

Date Submitted: 7/7/23
Date Accepted as Complete: 7/7/23
Subject Location: 228 NEWTON STREET
Application by: ROBERT CANNON
Applicant Address: 106 CIRCLE AVE, SALISBURY, MD 21801
Applicant Phone: 410-749-5179

Case #: # 23-19
Action Required By (45 days): 8/20/23
Owner Name: REPC LLC
Owner Address: C/O ROBERT CANNON, 106 CIRCLE AVE
Owner Phone: 410-749-5179
Owner Email: CANNONE@COMCAST.NET

Work Involves: ✓ Alterations ___ New Construction ___ Addition Other ___
___ Demolition ___ Sign ___ Awning Estimated Cost 200,000

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SEE ATTACHED

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. ___ Yes ✓ No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? ___ Yes ✓ No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on ___ (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is ~~in~~ full agreement with this proposal.

Applicant's Signature ___ Date 6-27-23

Application Processor (Date) 7/7/23

Secretary, S.H.D.C. (Date) Brian Soper 7/17/23

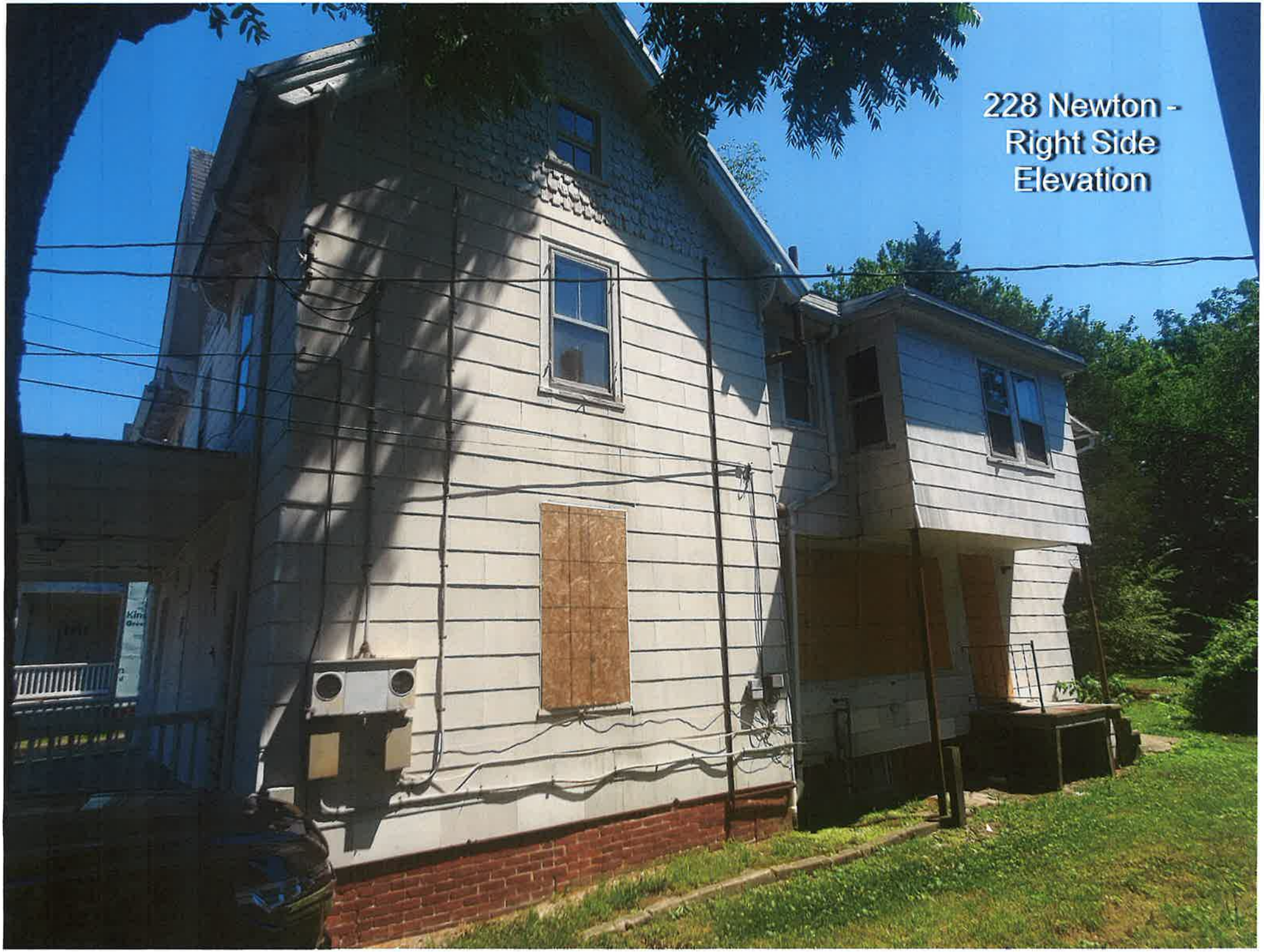
228 Newton Street

Proposed renovation plans:

1. Install vinyl siding on the exterior of the house to match as close as possible the old clapboard and clamshell siding that is presently underneath the asbestos shingles;
2. Replace the windows with vinyl replacement windows with similar grills. It should be noted that some of the current windows are very large and dangerous in that the bottoms of the windows are only 19 inches above the floor. We intend to replace them with windows that meet the current code compliant size and height requirements;
3. Wrap the exterior widow trim and boxing in metal;
4. Replace roofs with architectural asphalt shingles;
5. Install gable vents for proper ventilation of the attic in place of the gable windows;
6. Install new exterior metal doors; and
7. Install a new front porch deck with similar tongue and groove vinyl decking boards and replace the posts and bannisters with similar size and shape plastic or vinyl.


228 Newton - Front Elevation
ONE WAY


228 Newton -
Left Side
Elevation


228 Newton -
Right Side
Elevation


228 Newton -
Right Side
Elevation - Rear


228 Newton Rear
Elevation


228 Newton -
Front Porch
NO
TRESPASSING
228


House to Left of
228 Newton
DRUG-FREE SCHOOL ZONE


House to Right of
228 Newton


House Across from
228 Newton


Houses Across
from 228 Newton


Window Sill 19" from Floor

Viwinco Dealer Quote

BEACON BUILDING PRODUCTS
505 MARVEL RD
SALISBURY, MD 21801

Quote Number:
00315013
Job Name:
Will Chavez
Quote Date: May 9, 2022

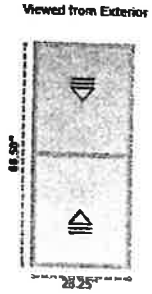
Sold To: 50158620

505 Marvel Road
Salisbury, MD 21801

Ship To:

505 Marvel Road
Salisbury, MD 21801

Line #	Qty Ordered	Order Specifications
0001	6	**S-Series Double Hung**

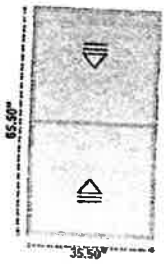


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 28.7500
HEIGHT: 67.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

Line #	Qty Ordered	Order Specifications
0002	4	**S-Series Double Hung**

Viewed from Exterior

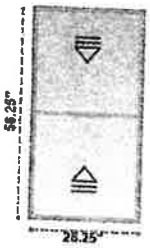


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 36.0000
HEIGHT: 66.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW MEETS EGRESS, EGRESS HARDWARE IS INSTALLED

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0003	6	**S-Series Double Hung**

Viewed from Exterior

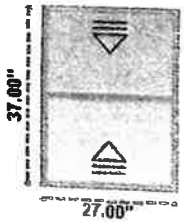


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 28.7500
HEIGHT: 56.7500
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

Line #	Qty Ordered	Order Specifications
0004	1	**S-Series Double Hung**

Viewed from Exterior

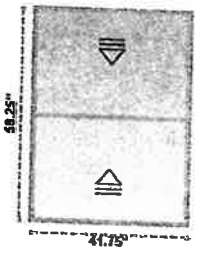


APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 27.5000
HEIGHT: 37.5000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0005	1	**S-Series Double Hung**

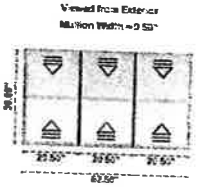
Viewed from Exterior



APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
WIDTH: 42.2500
HEIGHT: 58.7500
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: DOUBLE LOCKS / THIS WINDOW MEETS EGRESS, EGRESS HARDWARE IS INSTALLED

Performance: SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval: 17528.1

0006	1	**S-Series Mulled Units 3U-1R3C**



CONFIG: 3U-1R3C
APPLICATION: NEW CONSTRUCTION (NON-IMPACT)
MEASURE CODE: ROUGH OPENING
OVERALL WIDTH: 63.0000
OVERALL HEIGHT: 36.5000
CUSTOM SIZES: NO
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE

UNIT 01: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000

Line #	Qty Ordered	Order Specifications

LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

UNIT 02: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

UNIT 03: S-Series Double Hung

WIDTH: 20.5000
HEIGHT: 36.0000
LAYOUT: EQUAL LITE
COLOR: WHITE EXTERIOR / WHITE INTERIOR
GLASS PACKAGE: STANDARD GLASS PACKAGE
GLASS COLOR OPTIONS: CLEAR / LOW-E
GRID TYPE: NONE
SCREEN: EXTRUDED HALF SCREEN
SCREEN MESH: BVUE_V
SCREEN SHIP: IN WINDOW
LOCK AND KEEPER FINISH: WHITE FINISH
HARDWARE: THIS WINDOW DOES NOT MEET EGRESS

Performance (All Units): SHGC: 0.20, **U-Factor:** 0.29, **VT:** 0.46, **CPD:** VWN-K-10-00638-00001
DP Value: 50
Florida Approval (All Units): 17528.1

Date Printed: 5/16/2023 02:06 PM
Created By: davidm@roofcenter.com

QUOTE DISCLAIMER
We ask that you thoroughly review the quote for accuracy, before ordering the product. By responding to this email, or signing the quote, you authorize us to order the product/special order product and you agree all quantities, sizes, and specifications are correct.
No changes or cancellations can occur once special order items have been submitted to the manufacturer.
THIS ESTIMATE IS VALID FOR 30 DAYS. SPECIAL ORDER ITEMS CANNOT BE RETURNED.

Customer Signature: _____ **Date:** _____

Salisbury Historic District Commission

STAFF FINDINGS

Meeting of July 26, 2023

Case Number:	#23-19
Commission Considering:	Alterations
Owner Name:	REPC LLC
Owners Address:	106 Circle Ave Salisbury, MD 21801
Applicant Name:	**Robert Cannon**
Applicant's Address:	106 Circle Ave Salisbury, MD 21801
Agent/Contractor:	TBD
Subject Property Address:	228 Newton St
Historic District:	Camden Historic District
Use Category:	Residential
Zoning Classification:	R – 8
Structure / Site Description:	
Built Date:	1910
Enclosed Area:	2,640 sq. ft.
Lot Size:	7,500 sq. ft.
Number of Stories:	2
Contributing Structure:	TBD

Wicomico County Historic Survey on file: No

Nearby Properties on County Survey: Yes

Including but not limited to:

232 Newton St- William Mitchell House

Explanation of Request: The applicant is seeking approval to repair the following:

- Install Vinyl Siding
- Replace windows with vinyl, and wrap window trim
- Replace the roof with architectural asphalt shingles
- Install gable vents for proper ventilation of the attic in place of gable windows
- Install new exterior metal doors
- Install new front porch deck. With similar tongue and groove vinyl decking boards and replace post and banisters with similar size and shape plastic or vinyl

Areas of Historic Guidelines to be considered:

Guideline 13: Match Existing or Historic Siding
a. Where full-scale siding replacement is necessary, match the historic or existing siding on the building. Keep the details (width of wood boards, shingle size, corner and seam details, etc.) consistent with the historic appearance.
b. When replacing non-historic siding that was inappropriately applied, chose an appropriate replacement that is consistent with buildings of the type, period, and architectural style.
c. Do not cover historically uncovered masonry surfaces with siding. Siding applied to masonry surfaces has the potential to hold moisture and cause damage to the underlying wall.

Guideline 14: Synthetic Siding
Synthetic siding describes a siding product not made from natural materials. Vinyl, asphalt, and fiber cement board are the most commonly found synthetic siding types.
a. The use of new synthetic siding may be approved on a case by case basis if one or more of the following conditions are met.
b. Historic decorative details should not be removed or covered by synthetic siding. These details include but are not limited to cornices, window hoods, moldings, eaves, decorative shingles, and trim.
c. Synthetic siding may not be applied over historically uncovered masonry walls.

Guideline 17: Retain Historic Windows
a. Maintain or restore the historic shape, size, alignment, pattern, and details of existing historic windows, particularly those in upper stories of commercial properties. (For guidelines on storefront windows, see the Storefronts Guidelines in the following section).

b. Do not infill window openings or cover existing historic windows.
c. Consider reopening windows that are presently blocked, if your budget allows.

Guideline 18: New Window Openings and Infill
Altering window openings in historic facades alters the building's historic appearance significantly, and is typically not appropriate, but may be considered in some situations.
a. Avoid placing new openings on the front facade.
b. If new openings are required for additional light, consider placing them on the rear or side elevations of the building or installing a skylight on a non-visible roof slope.
c. Avoid infilling existing window openings on the front facade.
d. Where recent changes have altered historic window openings, restoration of the historic configuration and materials is encouraged.

Guideline 24: Roofing Material
In-kind replacement of roofing materials is always preferable to replacement with a new material, however, this is not always feasible. Standing seam metal in copper, tin, or terne coated steel are traditional materials which can be replaced with new versions provided that they are flat and of a uniform color and texture. Asphalt, asphalt shingles, and mineral fiber slate may be appropriate substitutes for many traditional materials.
a. Retain and repair the historic roof material when feasible.
b. Where replacement is necessary, match the historic materials as closely as possible in terms of material, size, color, and pattern.
c. Requests for substitute roofing materials will be reviewed on a case-by-case basis.
d. When asphalt shingles are used to replace wood or slate, heavy weight architectural shingles which provide depth and variation, and which match the shape of the historic materials, are preferred.
e. Roofing materials on additions should match or mimic the material on the main body of the historic building.
f. Roofing materials on new construction should be consistent with the prevalent roofing material on surrounding buildings.
g. Repair of isolated sections of a roof must match the existing tiles in material composition, style, size and color.

Guideline 28: Chimneys and Vents
a. Maintain existing chimneys. When repairs are necessary, match the existing materials, colors, shape, brick pattern, and details as closely as possible.
b. Avoid changing the height, massing, or scale of existing chimneys.
c. New vents should be placed in a location which is not visible from the public right of way.
d. New chimneys on new construction should be consistent with the height, massing, and proportions of chimneys found in the surrounding area.

Guideline 53: Replacing Residential Doors
a. Where replacement is necessary, the new door should match the historic door in placement, size, type, and configuration wherever possible.
b. When restoring missing historic doors, use pictorial evidence to produce the replacements, if your budget allows. A salvaged replacement in the same style that fits the opening, or a new door in a complimentary style are also appropriate choices.
c. If replacement with a new door is unavoidable, chose one that mimics the size, scale, design,

and texture of an appropriate historic door. Proportions and details should be in keeping with the building's architectural style.
d. Maintain the historic door opening size and surrounding trim, including side lights and transoms. Do not alter the size of the opening to fit a smaller or larger door, unless required by code.

Guideline 55: Restore Historic Porch Features
a. Maintain the historic porch or stoop when feasible. Keep wooden surfaces painted and keep up with general maintenance.
b. If repair or rehabilitation is necessary, keep as much of the historic materials in place as possible. Maintain the porch's design, proportion, and ornament to the greatest extent possible.
c. Replace missing porch posts and railings where necessary. Match the size, shape, profile, proportion, and spacing to the original features.
d. Use of synthetic replacement materials may be allowed if the new material closely approximates the size, scale, texture, and overall appearance of the historic feature.

Guideline 56: Replacement Porches
a. If porch replacement is necessary in whole or in part, reconstruct it to match the historic porch in size, scale, and overall design. Where possible, detail and ornamentation should be replicated.
b. Use the same or similar materials wherever feasible.
c. Avoid applying decorative elements that are not appropriate to the style of the dwelling. Whenever possible, choose accurate details based on historic photographs or similar properties of the same period and style.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd
Infrastructure and Development
125 N Division Street, Suite 202
Salisbury, MD 21801
(410) 548-3170
Date: July 17, 2023

Real Property Data Search ( )
Search Result for WICOMICO COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recapture: None

Account Identifier: **District** - 13 **Account Number** - 019479

Owner Information

Owner Name: REPC & HTC LLC
Use: RESIDENTIAL
Principal Residence: NO
Mailing Address: C/O ROBERT P CANNON
106 W CIRCLE AVE
SALISBURY MD 21801-4944
Deed Reference: /02532/ 00020

Location & Structure Information

Premises Address: 226 NEWTON ST
SALISBURY 21801-0000
Legal Description: 9,000 SQFT
226 NEWTON ST
CITY OF SALIS

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0111	0011	0263	13030702.23	0000				2022	Plat Ref:

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1915	2,370 SF		9,000 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
2	NO	STANDARD UNIT	ASBESTOS SHINGLE/	1	2 full		

Value Information

	Base Value	Value As of 01/01/2022	Phase-in Assessments As of 07/01/2022	As of 07/01/2023
Land:	9,000	8,600		
Improvements	7,500	300		
Total:	16,500	8,900	8,900	8,900
Preferential Land:	0	0		

Transfer Information

Seller: CANNON, ROBERT P & HILDA T	**Date:** 12/30/2005	**Price:** $0
Type: NON-ARMS LENGTH OTHER	**Deed1:** /02532/ 00020	**Deed2:**
Seller:	**Date:**	**Price:**
Type:	**Deed1:**	**Deed2:**
Seller:	**Date:**	**Price:**
Type:	**Deed1:**	**Deed2:**

Exemption Information

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00|0.00	0.00|0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**