# **Salisbury Historic District Commission**

### AGENDA

#### Wednesday, June 28, 2023 at 7:00 pm Government Office Building Room 301

#### 1. 7:00 P.M. - CALL TO ORDER – Scott Saxman, Chairman

#### 2. ROLL CALL

#### 3. APPROVAL OF MINUTES – May 24, 2023

PUBLIC INPUT – Members of the public are welcome to make comment at this time, subject to a time allotment of two (2) minutes per person.

#### 4. CONSENT DOCKET-

- #23-09- 107 W Main St. 2<sup>nd</sup> Floor- Tony Weeg- Sign
- #23-10- 107 W Main St- Sign
- #23-11- \*208 Elizabeth St- Garage

#### 5. OLD BUSINESS – None

#### 6. NEW BUSINESS –

- #23-12- \*407 Camden Ave- Solar Panel
- #23-13- \*104 W Chestnut St- Siding
- #23-14- \*110 E William St- Solar Panel
- #23-15- \*117 W Main St- Alterations

\*this indicates that the structure has been deemed a contributing structure by the SHDC \* this indicates that the structure has been deemed a Non-contributing structure by the SHDC

# Salisbury Historic District Commission

# **Hearing Notification**

Hearing Date:	June 28, 2023
Case #:	#23-09
Time:	7:00 pm
Location:	Government Office Building 125 N Division St Room 301 Salisbury, MD 21801
Owner's Name:	Doug Church
Applicant Name:	Tony Weeg
Agent/Contractor:	Not Indicated on Application
Subject Property Address:	107 W Main St 2 <sup>nd</sup> Floor
Historic District:	Downtown
Use Category:	Commercial
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission	
125 N. Division Street	
Room 202	Permit Application
Salisbury, MD 21801	\$50 Fee Received <u>5/28/23</u> (date)
(410) 548-3170/ fax (410) 548-3107	
Date Submitted: 5/28/2023	Case #:23-09
Date Accepted as Complete: 5/28/23	Action Required By (45 days): 7/9/23
Subject Location: 107 W. Main St, 2nd Floor Door, Salisbury, MD 21801	
Application by: Tony Weeg	Owner Name: Doug Church
Applicant Address: 302 Bay St. Berlin MD 21811	Owner Address: Owner Phone: 410-562-5660
Applicant Phone: 410-422-7535	Owner Email: dchurch@centercitymgmt.com
Work Involves:       Alterations       New Construction         Demolition       x       Sign         DESCRIPTION OF WORK PROPOSED (Please be specific         material, color, dimensions, etc. must accompany application         method of attachment, position on building, size and front line         other signs on building, and a layout of the sign.         I plan to add lettering to my door, and I plan to add a sign to the awning         will hang on the easternmost end of the awning with some black hardw         aluminum, or a very thick resin. Whichever is best for weather purpose         existing awning, and the sign will read "Tony Weeg Photography Studied"	c. Attach sheet if space is inadequate) Type of n. If signs are proposed, indicate material, neal feet of building, size and position of all g (similar to what was approved for Lilac Clothing Company.) This sign are. The sign will be created by PlakThat and will be made of either and what they recommend. The sign will be no wider than the to 107 2nd Floor"
The door lettering will have my website, my instagram, my logo, and a	few other key points of interest for passersby.
Are there any easements or deed restrictions for the extletter from the easement holder stating their approval of Do you intend to apply for Federal or State Rehabilitatio Maryland Historical Trust staff?Yes ×No If you have checked "Yes" to either of the above question letter from the Maryland Historic Trust See Reverse Side for DOCUMENTS REQUIRED	f the proposed work. Yes <u>×</u> No n Tax Credits? If yes, have you contacted <u>ons, please provide a copy of your approval</u> <u>along with this application.</u>

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

l, o	r my authorized representative	, will appear at the meeting of t	he Salisbury Historic District Commission
on	5/28/2023	(date).	

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature	Date 5/28/2023
Jessica Budd 6/8/23	Brian Soper 6/8/23
Application Processor (Date)	Secretary, S.H.D.C. (Date)

9 *			
x a			
i a			
G Q			
a A		50.00 .00	TOT PREV BAL DUE: TOT BAL DUE NOW :
CUSTOMER COPY		TONY WEEG LLC CREDIT CARD 183922	PAID BY: TONY W PAYMENT METH: CREDIT PAYMENT REF: 183922
Avs Code: NYZ SALE: AMOUNT \$50.00		50.00 50.00	AMT TENDERED: AMT APPLIED: CHANGE:
Code: 1839; hod: Manu Onli unt: \$0.0	u es	50,00 .00 .00	PRINCIPAL_PAID: INTEREST PAID: ADJUSTMENTS: DISC TAKEN:
Card # XXXXXXXXXXX125/ SEQ #: . 4 Batch #: 463	, 00	DAL DUE: S TOTALS	Mise Cash Receipts
VISA SAL	50.00 00.00	BREV BAL : AMT PAID : ADJSTMNT :	1367334 P/2023 1367334
CITY OF SALISBURY 125 N DIVISION ST ALISBURY, MD 218015030		CUSTOMER#:	DATE: 05/31/23 CU TIME: 09:53:03 CLERK: klundy
		MD STREET	PAYMENT SUMMARY RECEIPT CITY OF SALISBURY, MD 125 NORTH DIVISION STREET

Plak That 12636 Sunset Avenue, H6 Ocean City, MD 21842 contact@plakthat.com (443) 664-6268 EIN #: 46-0723559



https://plakthat.com

Quote 7205 #1 Exterior Sign					QUOTE DAT Wed, 05/31/202 QUOTE EXPIRY DAT Fri, 06/30/202 TERM Prepa	3 E 3 IS	
ORDERED BY Tony Weeg	CONTACT INFO Tony Weeg tonyweeg@gmail.com						
About this Quote:							
# ITEM		QTY	UOM	U.PRICE	TOTAL (EXCL. TAX)	TAXABLE	
<ol> <li>8.5" x 24" 3mm ACM Sign with Lamination Sign to be two identical signs glued back to bac sided</li> </ol>	k for double	2	Each	\$135.05	\$270.10	Ν	
Height: 8.5 Inches Width: 24 Inches Briteline Laminate - Luster 2 Layout		0.5	Hr	\$60.00	\$30.00	N	
Layout / Die cut setup							

Downpayment (100.0 %)	\$300.10		
This handcrafted quote is based on specific information you've given us and is valid for 30 days. When you approve this quote, you are agreeing to pay 100% of the quoted price. We require a deposit (unless agreed upon terms apply) to begin work on your project. Once we receive your deposit, we'll schedule your project and email you with any questions or if there are design proofs that need to be approved. The remaining balance is due upon completion of your order. Need to make changes? No problem - but please realize changes to quantity or specifications may affect your price. We will provide you with an updated quote based on the changes.	Subtotal: Sales Tax (6%): Total:	\$300.10 \$0 \$300.10	

SIGNATURE:

DATE:







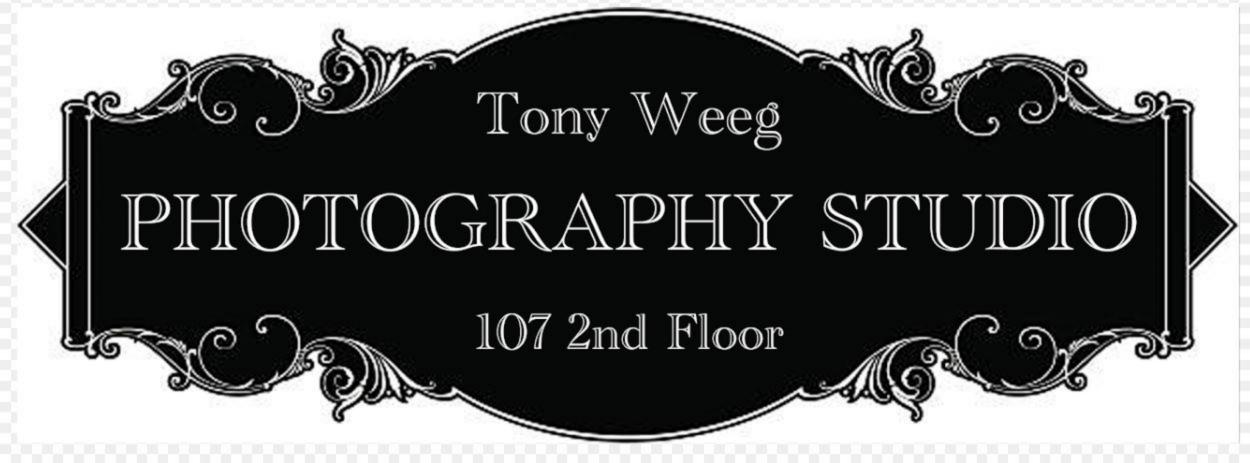


This sign will be cut by PlakThat, and will be durable, and weather-resistant.

The sign will be hung with black metal hardware from the awning so that sidewalk walkers can read it from both sides.

The sign will be the same width as the existing awning.

At this time I only have plans to put my sign and the window lettering.





# Salisbury Historic District Commission

# **STAFF FINDINGS**

# Meeting Date: June 28, 2023

Case Number:	#23-09
<b>Commission Considering:</b>	Sign Installation
Owner's Name:	Doug Church
Applicant Name: Applicant's Address:	Tony Weeg 302 Bay St Berlin , MD 21811
Agent/Contractor:	Plak That
Subject Property Address:	107 W. Main Street
Historic District:	Downtown Historic District
Contributing Structure:	TBD
Use Category:	Commercial
Zoning Classification:	Central Business District
Structure / Site Description: Built Date: Enclosed Area: Lot Size: Number of Stories:	1892 3,600 sq ft 2,621 sq ft 2
Wicomico County Historic Survey on file:	Yes

# Nearby Properties on County Survey: Yes Including but not limited to: Yes 108 W. Main Street - John Hanson Savings & Loan Bank (Eastern Shore Savings & Loan Building) 110 W. Main Street - Wicomico News Building

**Explanation of Request:** The applicant is requesting the Salisbury Historic District Commission approve the installation of signage on the subject building. This sign will hang on the eastern most end of the awning with some black hardware. As well as some lettering on the door going to the second floor.

#### Areas of Historic Guidelines to be considered:

#### SIGNAGE PG. 42

Signs are used for advertising, identity, and image. They are an extremely visible element of the businesses in the historic districts. Each sign must be used carefully so as not to detract from the historic facades. With some forethought and planning, signage can embrace business owners' needs and Salisbury's historic image.

#### PLACEMENT PG. 42

On most downtown buildings a continuous brick ledge or corbelling is used to separate the second floor and above from the entry-level storefront below. This space is ideal for sign placement, as it was often created for this purpose. In some instances, newer buildings contain areas above the highest windows for signage. This location is acceptable but should be avoided if possible.

Another option for a main sign location can be an awning, provided the awning is properly integrated with the building and demonstrated by earlier photographs of the building. Other types of signage allowed include hanging, window, awning, or any sign that is located below the main sign. If a projected sign is planned, placement will be critical to avoid interferences with adjacent signs and architecture of the storefront itself.

These signs should be located no less than eight feet above the sidewalk. Window signs should consist of a material and color that contrasts with the display, while being small enough to not interfere with the display area. In all cases in locating the sign, the applicant must minimize the disturbance to the exterior of the building, i.e. using the least amount of mounting bolts as possible. On masonry buildings, mounting hardware must be placed into mortar joints, not historic masonry.

#### **SIGN ORDINANCE PG. 42**

The City of Salisbury has enacted an ordinance that is explicit concerning types, sizes, construction, and placement of signs. Signs that cannot be used are: flashing, moving, swinging, painted wall signs, or roof signs. Flood-lit signs are also prohibited unless the lights are shielded from view. Obscene signs and those that resemble official traffic signs will not be allowed.

Construction of signs is subject to the City of Salisbury Sign Ordinance Chapter 17.216. Each sign is subject to review by the Historic District Commission and recommendations are provided to the Department of Building, Permits & Inspections. Each sign will be reviewed for location, total sign area, size, height, letters, and message.

No sign except official signs, such as traffic control and parking restrictions, information and notices required by State and Federal regulations, shall be located, altered, erected, or reconstructed without a permit. Applications for a sign permit can be obtained from the City's website or from the office of Building, Permits & Inspections.

#### **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Department of Infrastructure and Development 125 N Division St Room 202 Salisbury, MD 21804 (410) 548-3170 Date: June 6, 2023

View Map		<b>You GroundPent Re</b>	demption					View	GroundPlant	Registration	
<b>Special Tax Recapture:</b> Note											
Account Merather		Desires - 19 Account Nam	Beef + 016371								
			Ow	ner Inform	notion						
Cener Name		CENTER CITY INVESTIG	STRLLC			Une			COMMEN	CIAL	
							Residence		ND		
Bulling Address		PO BEX 425 SALSELRY MO 21803-80	i		man	Dead Rate	WHICH .		(5404) 00	001	
		L	ocation &	Structure	e Infor	mation					
Preisian Address		157 W MAAN ST BALISBLEY 21801-0000				Legal Dea	iription:		107 W MA	AZ1 BOFT IN ST ENTRICITY (MV	687
Mapi Gold Parcel	Neighborhood	Subdivision:	. Se		Block:	Litt		netd Start		Plat No.	
0101 0014 1044	21003.23	00813			t ·	.1.	2021			Plat Ref.	4010/4139
Texas SALIBBURY											
Primary Structure Mult	Abim	Drate Living Area		Fighted Ba	Annual State	Area		Dane	Ty Land Area	6 S	Caurily Line
180	3.602							2821			
Stories Resement	Type	Exterior	Quality	PUDHATE			inge i		of Major Smje		
address addressed	OFFICE BUILDING			r edman a		Ga		me Hubbe	or wayter steps		
	STITUE BURLINE	·		100	12.02						
			Val	us inform	ation						
		Rate Value		Value			Phase		entile -		
				And .			ALIE			As of	
				01/01/2021			07/01/26	122		01010033	
Land		38,300		38,300							
Ingravements		184,308		188,700			-				
Tutal:		188.808		228,000			216,802			228,300	
Preferential Land		0									
			Tran	ster inform	Tution						
Setter PURNELL JOHN R ETW			Date: DOUD						Price \$11	8,600	
Type: ARMELENOTH IMPROV	en ca		Deed1: /00	COBDO VALUE					Dee dT.		
Seller			Dute:						Price: 31		
TYPE NON-ARMSLENDTH CO	THEFT		Deed1 /00	RTIT DOTIS					Dee d2		
Seller			Date						Price:		
Тури:			Deed1:						Deed2		
			Exem	ption Info	rmatic	m					
Partial Exempt Assessments		Class				enecates	2		0101382	1	
County		080				0.00					
State:		080				0.00					
Municipal		080				0.000.00			0.008.00		
Special fax Recapture: Novo											
		He	mester	Applicatio	in Infe	mating					

Home servers' Tax Credit Application Bates: No Application

Date

## WI-147

# Alfred C. Dykes Building (Kuhn's Jewelers)

#### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reversechronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the "vertical files" at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 08-29-2003

WI-266 /47 Alfred C. Dykes Building Salisbury Private

The Alfred C. Dykes building is a distinctive commercial structure located in Salisbury's central business district. The long-time location of Kuhn's Jewelers, this two-story, three-bay building is distinguished by pressed brick front accented with a variety of molded brick and terra cotta ornament. Rope molded stringcourses divide the second floor visually, and molded terra cotta panels highlight the segmental arches as well as the wall spaces between the window openings. The top of the wall is fitted with an original galvanized metal cornice that incorporates the date of construction, "1892." The building stands out on Salisbury's historic Main Street, converted several decades ago to a pedestrian plaza.

The construction date incorporated in the cornice and a explicit entry in the *Salisbury Advertiser*, on April 9, 1892, closely documents the building history of this commercial block. The newspaper announced:

Workman began this week on a building for Mr. A. C. Dykes on the property purchased of J. J. Morris, Esq. adjoining the post office. The building will be of brick, and tin roof, 22 feet front and 68 feet deep, two story with basement. It will be finished for barber shop in front and residence in rear and second floor. The residence portion will contain 7 rooms. The brick work will be done by Mr. A. W. Lankford under contract; the woodwork and general superintendence will be by Mr. T. M. Slemons. Mr. Dykes expects to have the building completed, ready for occupancy, by October 1st.

Alfred C. and Georgia Dykes sold the property seven years later to William J. Staton, who turned around two years later and transferred it to Samuel Q. Johnson in

Page 2

October 1901. The property remained in Johnson family hands until 1974, when it was purchased by John R. and Ann Kuhn Purnell.

#### MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

**RESOURCE NAME:** Alfred C. Dykes Building

MHT INVENTORY NUMBER: WI-266 147

#### MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture Commerce

2. Geographic Orientation: Eastern Shore

3. Chronological/Development Period(s): Industrial/Urban Dominance 1870-1930

4. Resource Type(s): Commercial Block

Survey No.	WI-266	147
------------	--------	-----

Maryland Historical	Trust	MARYLAND INVENTORY OF	
State Historic Sites	Inventory	Former of PROPERTIES	

-A - 4990 -

\*\*\*

DOE \_\_yes \_\_no

Magi No.

1. Nam	e (indicate	e preferred name)		
historic	Alfred C.	Dykes Building		
and/or common	Kuhn's Jew	velers		
2. Loca	tion			
street & number	107 West M	Main Street on the	Downtown Plaza _	not for publication
city, town	Salisbury	vicinity of	congressional district	First
state	Maryland	county	Wicomico	
3. Clas	sification			
Category district X building(s) structure site object	Ownership public X private both Public Acquisition in process being consider X not applical	ed yes: restricted	Present Use agriculture X commercial educational entertainment government industrial military	museum         park         private residence         religious         scientific         transportation         other:
4. Own	er of Pro	<b>Derty</b> (give names a	and mailing addresses	s of <u>all</u> owners)
name	John R Pui	rnell, et al		
street & number	27013 Edink	ourgh Court	telephone no	.:
city, town	Salisbury	state	and zip code MD	21801
5. Loca	ation of L	egal Descripti	on	
courthouse, regis	stry of deeds, etc.	Wicomico County C	Llerk of Court	p 107, Parcel 10 liber 817
street & number	Wicomic	co County Courthous	e	folio 132
city, town	Salisbu	ary	state	MD 21801
6. Repr	resentatio	on in Existing	Historical Surv	eys
title				
date			federal state	e county local
Jepository for su	rvey records			
city, town			state	
	· · · · · · · · · · · · · · · · · · ·	······································		<u> </u>

# 7. Description

Survey No. WI-266 147

Condition		Check one
excellent	deteriorated	unaltered
<u> </u>	ruins	<u>X</u> altered
fair	unexposed	

Check one <u>X</u> original site moved date of move

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The Alfred C. Dykes building, currently identified as Kuhn's Jewelers, is located at 107 West Main Street on the Downtown Plaza in Salisbury, Wicomico County, Maryland. The two-story, three-bay brick commercial block faces south. The building is flanked on the east and west sides by adjacent commercial structures.

Dated to 1892, the two-story rectangular brick commercial building is three bays across and extends deeply into the lot which has access to what is historically referred to as "Bell Alley." The two-story, late nineteenth century commercial building has been extended to the rear by a single-story concrete block addition.

The south (main) elevation is three bays across. The first floor storefront, sheltered by a canvas awning, has been reworked in past few years with a stained wood and glass front that includes an entrance and large display windows. A side entrance in the east bay provides access to a staircase leading to the second floor. The second floor and cornice remain essentially unchanged since the late nineteenth century. The pressed brick facade is pierced by three evenly spaced windows filled with single-pane sash. Stretching across the facade at the height of the second floor window sills is a rope brick molding. The inner edges of the window openings are distinguished by a rounded corner brick, and each opening is topped by a segmental brick arch accented with a molded terra cotta keystone. A molded terra cotta panel is also centered in the wall between each window opening. A second rope molding stretches across the facade at the height of the second floor window arches. Additional molded brick stringcourses accent the top to the second floor wall, which is pierced by three rectangular vents. Fitted atop the front wall is a galvanized metal cornice with a centered cross gable. The three bays of the facade are marked by projecting blocks supported by fluted brackets. The two center blocks, which flank the gable, are fitted with turned finials. The face of the gable is distinguished by the date of construction, "1892," which is embossed in raised numbers along with a gentle scroll that flanks the date.

The interior has been reworked to suit modern store and office spaces.

## 8. Significance

Survey No. WI-266 147

•		-Check and justify below         ric       community planning       landscape architecture       religion        conservation       law       science        economics       literature       sculpture        education      military       social/        engineering      music       humanitarian        exploration/settlement       philosophy       theater        industry      politics/government       transportation        invention      other (specify)
Specific	dates 1892	Builder/Architect Contractor, Thomas M. Slemons
check:	Applicable Criteria: and/or Applicable Exception:	A _B X C _D A _B _C _D _E _F _G
	Level of Significance:	nationalstatelocal

Prepare both a summary paragraph of significance and a general statement of history and support.

The Alfred C. Dykes building is a distinctive commercial structure located in Salisbury's central business district. The long-time location of Kuhn's Jewelers, this two-story, three-bay building is distinguished by pressed brick front accented with a variety of molded brick and terra cotta ornament. Rope molded stringcourses divide the second floor visually, and molded terra cotta panels highlight the segmental arches as well as the wall spaces between the window openings. The top of the wall is fitted with an original galvanized metal cornice that incorporates the date of construction, "1892." The building stands out on Salisbury's historic Main Street, converted several decades ago to a pedestrian plaza.

Due to the distinctive architecture features of this building is qualifies for listing in *Category A*, which identifies buildings that must be retained due to their architectural and/or historical significance.

The construction date incorporated in the cornice and a explicit entry in the *Salisbury Advertiser*, on April 9, 1892, closely documents the building history of this commercial block. The newspaper announced:

Workman began this week on a building for Mr. A. C. Dykes on the property purchased of J. J. Morris, Esq. adjoining the post office. The building will be of brick, and tin roof, 22 feet front and 68 feet deep, two story with basement. It will be finished for barber shop in front and residence in rear and second floor. The residence portion will contain 7 rooms. The brick work will be done by Mr. A. W. Lankford under contract; the woodwork and general superintendence will be by Mr. T. M. Slemons. Mr. Dykes expects to have the building completed, ready for occupancy, by October 1st.(1)

Alfred C. and Georgia Dykes sold the property seven years later to William J. Staton (2), who turned around two years later and transferred it to Samuel Q. Johnson in October 1901.(3) The property remained in Johnson family hands until 1974, when it was purchased by John R. and Ann Kuhn Purnell.(4)

## 9. Major Bibliographical References

10. Geographical Data	
Acreage of nominated property Quadrangle name UTM References do NOT complete UTM references	Quadrangle scale
Zone Easting Northing	Zone Easting Northing
$\begin{array}{c c} c & \\ \hline \\$	$\begin{array}{c} P \begin{bmatrix} 1 \\ 1 \end{bmatrix} \\ F \begin{bmatrix} 1 \\ 1 \end{bmatrix} \\$

Verbal boundary description and justification

List all states	and countie	s for proper	ies ove	rlapping stat	e or county be	oundaries	
state		co	de	county			code
state		co	de	county	_		code
11. For	m Pre	pared	By		<u> </u>		<u>.</u>
name/title	Paul B.	Touart,	Archi	tectural	Historiar	1 	
organization	Private	Consulta	int		date	4/1/96	
street & number	PO	Box 5			telephone	410-651	-1094
city or town	West	over			state	Maryland	21871

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust MARYLAND HISTORICAL TRUST Shaw House DHCP/DHCD 21 State Circle 100 COMMUNITY PLACE Annapolis, Maryland 21401 CROWNSVILLE, MD 21032-2023 (301) 269-2438 -514-7600 8.1 SIGNIFICANCE (Continued) Alfred C. Dykes Building, WI-266 /47-Salisbury, Wicomico County, Maryland

#### Footnotes

- (1) Salisbury Advertiser, April 9, 1892 (Wicomico County Free Library)
- (2) Wicomico County Land Record, JTT 27/56, 1 September 1899 (Wicomico County Courthouse)
- (3) Wicomico County Land Record, JTT 32/49, 14 October 1901 (Wicomico County Courthouse)
- (4) Wicomico County Land Record, 817/132, 26 February 1974 (Wicomico County Courthouse)

WI-266 147 Alfred C. Dykes Building (Kuhn's Jewelers) 107 West Main Street (Downtown Plaza) Salisbury, Maryland Chain of title

817/132	Samuel Quinton Johnson, Jr.
	to
2/26/1974	John R. Purnell Ann Kuhn Purnell
	the said Samuel Q. Johnson having since departed this life, testate and by Item Three of his Last Will and Testament 2/13/1917, JWD 1/215, devised property unto Nettie B. Johnson and unto Samuel Q. Johnson, Jr. and Robert White Johnson
JTT 32/49	William J. Staton, and wife Martha Alfred C. Dykes
	to
10/14/1901	Samuel Q. Johnson
	Whereas the said Alfred C. Dykes has heretofore sold the property hereinafter described to said William J. Staton by deed dated 9/17/1899, JTT 27/56

Alfred C. Dykes Build 107 West Main Street Salisbury, Maryland Chain of title continue	(Downtown	•
JTT 27/56	Alfred C. Georgia I	•
	to	
9/1/1899	William .	J. Staton
		22 <sup>1</sup> / <sub>2</sub> ' on said street and running back an even width with east wall of the house on said lot in a straight line to the south side of 'Bell Alley' as established
JTT 9/288	Annie T	. Morris, & husband Jeremiah J. Morris
	to	
10/17/1892	Alfred (	C. Dykes
	\$1,400	beginning for the outlines at the South West corner of the brick building on said lot and running thence By and with the South and front wall of the said building $22 \frac{1}{2}$ feet to the South East corner of said thence by and with the East wall and in a direct line to the land of John Tracy 174 feet, thence by and with the said Tracy's land to the Protestant Episcopal Church lot 33 feet, etc.

WI-266 147

Page 2

WI-266 /47 Alfred C. Dykes Building 107 West Main Street (De Salisbury, Maryland Chain of title continued	
SPT 5/342	Henrietta Byrd
	to
3/ /1883	Annie T. Morris
	\$4,726.64 "John Rider Lot"
SPT 5/341	Samuel A. Graham, Trustee
	to
1/31/1883	Henrietta Byrd
	Decree of Circuit Court 1/19/1874, Annie T. Byrd vs William S. Parsons, et al. No. 159 Chancery
Somerset County Land Record	
GH 8/74-76	John Austin Jane C. Austin
	to

7/10/1835

Jehu Parsons

WI-147

Date

51



## HISTORIC PRESERVATION CERTIFICATION APPLICATION --- PART 1

(Pursuant to the Tax Reform Act of 1976)

RT 1 EVALUATION		ANCE			· · · ·	-
AME OF PROFERTY			La	- C	, 	
SALISBURY		AIN STREET				
ty	County		State _	<u>MD</u>	Zip Code	
ame of historic district in whic	h property is located _		· · · · · · · · · · · · · · · · · · ·		1. 3.70C	
ESCRIPTION OF PHYSICAL A se instructions for map and p	ppearance: holograph requirements	suse reverse side if m	cossary)			
	E.					
TATEMENT OF SIGNIFICANC	E:					
se reverse side if necessary)						
ise reverse side if necessary)						
se reverse side if necessary)						
	-692		inte 🖸 Moved	Date of alterations	s (il known):	· · · .
of construction (if known)	S OF OWNER:					
of construction (if known)	S OF OWNER:					
of construction (if known)	S OF OWNER:					
of construction (if known)	SOF DWNER:	en fites	tericul	NORLT :	· · · · ·	
ane and mailing addres	SOF DWNER:	n fin s	F-t-ni ul	12272 L T	Zıp Cod	:
ame AND MAILING ADDRES	S OF DWNER:	<u> </u>	to the child	<u>///L T</u> 	Zıp Cod	e
ame	S OF DWNER:		todge correct, an	State	Zip Cod	e
ame	S OF DWNER:		todge correct, an	State	Zip Cod	e
of construction (if known)	S OF DWNER:		todge correct, an	State	Zıp Cod	e
of construction (if known)	S OF DWNER:		todge correct, an	State	Zip Cod	e
ame	S OF DWNER: L FUR AF. M P Area Code	to the best of my know	Hedge correct an	Juic Ji L T State d that I am owner of	The property described above	e 1
AME AND MAILING ADDRES	S OF DWNER:	to the best of my know	Hedge correct an	d that I am owner of	The property described above Date	2 1 1 1
of construction (if known)	S OF OWNER:	ndaries of the National I	Hedge correct an	d that I am owner of	The property described above	2 1 1 1
AME AND MAILING ADDRES Imme	S OF OWNER:	ndaries of the National I not arises of the National I onal Register Criteris to rocedures (36 CFR 60).	Register historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will I	Zip Cod	he chai
AME AND MAILING ADDRES AME AND MAILING ADDRES arreel	S OF OWNER:	ndaries of the National I not the best of my know	Register historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will lin mena for Evaluation	The property described above Date	he char
AME AND MAILING ADDRES AME AND MAILING ADDRES arreel	S OF OWNER:	ndaries of the National I not the best of my know	Register historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will lin mena for Evaluation	Zip Cod	to the life not the

D does not contribute to the character of the historic district and does not ment certification as a historic structure. Reasons given on the attached sheet

Signature \_\_\_\_\_\_Keeper of the Netional Register

WI-147

# DOWNTOWN HISTORIC DISTRICT SURVEY

IDENTIFICATION	BASE DATA
Street acoress 107 W. Main Street Map & parcel Present owner John R. Purnell address Present use Kuhn's Jewelers Griginal owner Original use	Historic name Provider Auronal District Date/Period 1892 Style Victorian Gothic Height (stories) 2 Present zoning CBD Land area (s.f.) 2 jun Building area (s.f.) jacc Assessed value (land + imp.)
	1

#### ARCHITECTURAL AND SITE DESCRIPTION

This building is typical of the Victorian Gothic commercial buildings built along Main Street in the years following soon after Salisbury's fire of 1886; rectangular in plan, with its first floor designed for display and its upper floor and attic for offices and apartments. Its ground floor facade was altered in the 1950's: facing brick was removed and replaced with white tile which encloses a primary entrance, placed between two small display windows and covered with an aluminum awning, and a secondary entrance to the upper floors on the east side of the building. The upper facade is three bays wide and is unmodified. The windows are topped with segmental arches, their springing lines connected by a decorative string-course. A horizontal brick cable-moulding divides the second-floor windows from the three decorative metal attic vents above. At the top of

building is a pressed metal cornice with four finials. The two central finials frame a small gable which extends to a peak topped with an acroterion. Unlike many of its neighbors, 107 W. Main Street maintains much of its original character and is therefore a valuable component of the Main Street building ensemble.

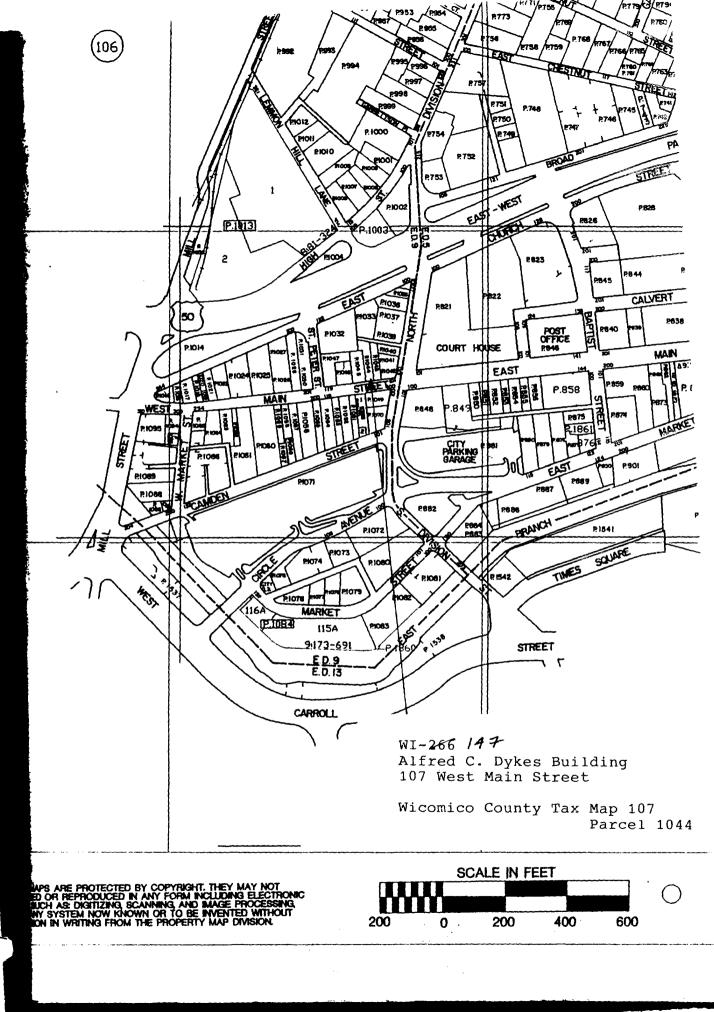
PHOTOS



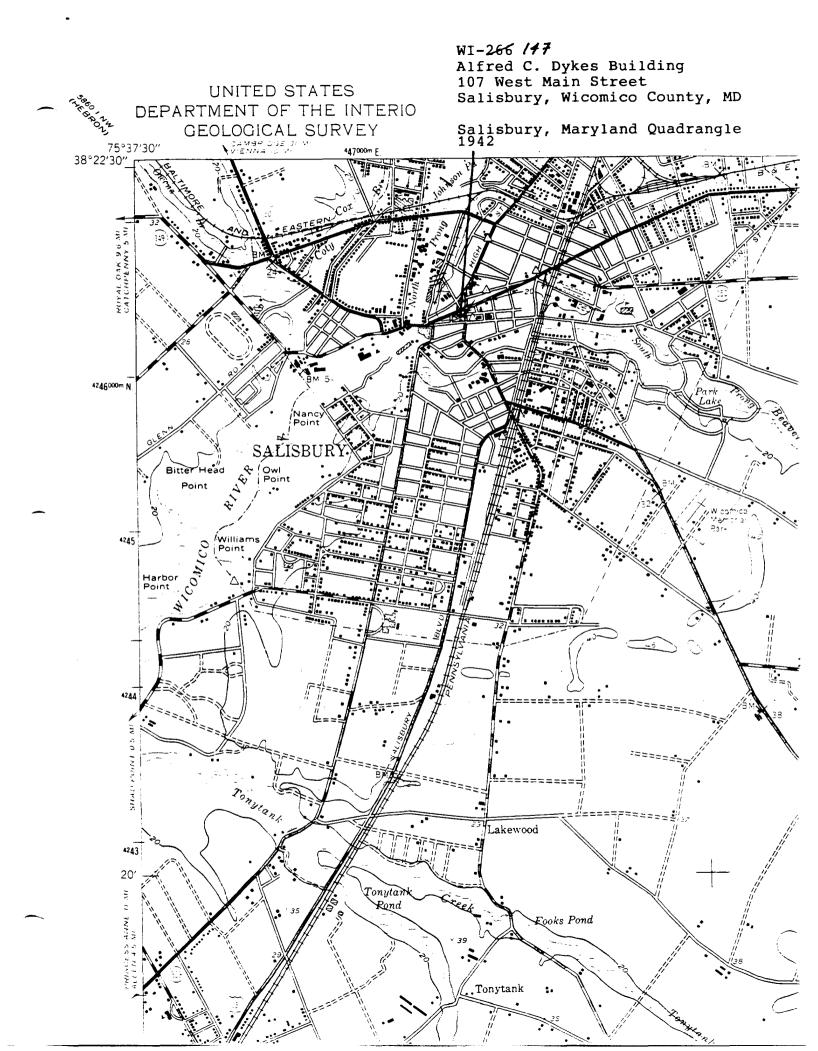
SSIFICATION  $b \in \Delta$ 

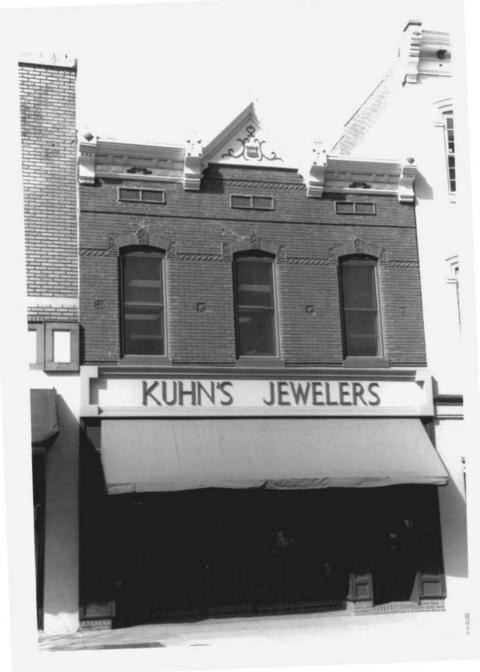
DATE OF SURVEY 6-1981

SURVEY COMPLETED BY Kennedy Smith



\_\_\_\_\_





107 Near MARK STOFET Smissary Mask - C. 12. TIDA ROLL TOUR PORTATION



Atreas 2 agers - ----SEWELKY)



Arrive to Pyres Bridge (Kurry Luncher 107 WESS POLLY STOREF Sais Barg, Nadares in 100 Not the further set 3/96 PAR Tomost Protostation NEG Wir Instir a Tous

# Salisbury Historic District Commission

# **Hearing Notification**

Hearing Date:	June 28, 2023
Case #:	#23-10
Time:	7:00 pm
Location:	Government Office Building 125 N Division St Room 301 Salisbury, MD 21801
Owner's Name:	Doug Church
Applicant Name:	Blackwater Apothecary
Agent/Contractor:	Not Indicated on Application
Subject Property Address:	107 W Main St
Historic District:	Downtown
Use Category:	Commercial
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission	
125 N. Division Street Room 202 Salisbury, MD 21801 (410) 548-3170/ fax (410) 548-3107	Permit Application \$50 Fee Received <u>ちょい</u> (date)
Date Submitted: <u>Similar 1323</u> Date Accepted as Complete: <u>5/22/23</u> Subject Location: <u>107 W MAIN ST</u> Application by: <u>BLACK WATEP APOTHECAPPY</u> Applicant Address: <u>107 W MAIN ST</u> Applicant Phone: <u>443</u> 614-3329 Work Involves: <u>Alterations</u> New Constru <u>Demolition</u> <u>F</u> Sign DESCRIPTION OF WORK PROPOSED (Please be speci- material, color, dimensions, etc. must accompany applicat method of attachment, position on building, size and front other signs on building, and a layout of the sign. <u>Polymetal</u> . <u>Black + Whitz</u> . <u>18</u> . <u>Frunt of building</u> . No other signs	Awning Estimated Cost ific. Attach sheet if space is inadequate) Type of tion. If signs are proposed, indicate material, lineal feet of building, size and position of all 75 " x 260 ". Screws + caps

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. \_\_\_\_Yes\_\_\_\_No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? \_\_\_\_Yes\_\_\_No \_\_\_\_Yes\_\_\_No \_\_\_\_Yes\_\_\_No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

#### See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on <u>trace 28, 29 13</u> (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

 Applicant's
 Date
 3/2/23 

 Signature
 5/22/23 fraction Processor (Date)







# Salisbury Historic District Commission

# **STAFF FINDINGS**

## Meeting Date: June 28, 2023

Case Number:	#23-10
<b>Commission Considering:</b>	Sign Installation
Owner's Name:	Doug Church
Applicant Name: Applicant's Address:	Nicole Bishop 111 W Chestnut st Salisbury , MD 21801
Agent/Contractor:	SBT
Subject Property Address:	107 W. Main Street
Historic District:	Downtown Historic District
Contributing Structure:	TBD
Use Category:	Commercial
Zoning Classification:	Central Business District
Structure / Site Description: Built Date: Enclosed Area: Lot Size: Number of Stories:	1892 3,600 sq ft 2,621 sq ft 2
Wicomico County Historic Survey on file:	Yes

# Nearby Properties on County Survey: Yes Including but not limited to: Yes 108 W. Main Street - John Hanson Savings & Loan Bank (Eastern Shore Savings & Loan Building) 110 W. Main Street - Wicomico News Building

**Explanation of Request:** The applicant is requesting the Salisbury Historic District Commission approve the installation of signage on the subject building.

#### Areas of Historic Guidelines to be considered:

#### SIGNAGE PG. 42

Signs are used for advertising, identity, and image. They are an extremely visible element of the businesses in the historic districts. Each sign must be used carefully so as not to detract from the historic facades. With some forethought and planning, signage can embrace business owners' needs and Salisbury's historic image.

#### PLACEMENT PG. 42

On most downtown buildings a continuous brick ledge or corbelling is used to separate the second floor and above from the entry-level storefront below. This space is ideal for sign placement, as it was often created for this purpose. In some instances, newer buildings contain areas above the highest windows for signage. This location is acceptable but should be avoided if possible.

Another option for a main sign location can be an awning, provided the awning is properly integrated with the building and demonstrated by earlier photographs of the building. Other types of signage allowed include hanging, window, awning, or any sign that is located below the main sign. If a projected sign is planned, placement will be critical to avoid interferences with adjacent signs and architecture of the storefront itself.

These signs should be located no less than eight feet above the sidewalk. Window signs should consist of a material and color that contrasts with the display, while being small enough to not interfere with the display area. In all cases in locating the sign, the applicant must minimize the disturbance to the exterior of the building, i.e. using the least amount of mounting bolts as possible. On masonry buildings, mounting hardware must be placed into mortar joints, not historic masonry.

#### **SIGN ORDINANCE PG. 42**

The City of Salisbury has enacted an ordinance that is explicit concerning types, sizes, construction, and placement of signs. Signs that cannot be used are: flashing, moving, swinging, painted wall signs, or roof signs. Flood-lit signs are also prohibited unless the lights are shielded from view. Obscene signs and those that resemble official traffic signs will not be allowed.

Construction of signs is subject to the City of Salisbury Sign Ordinance Chapter 17.216. Each sign is subject to review by the Historic District Commission and recommendations are provided to the Department of Building, Permits & Inspections. Each sign will be reviewed for location, total sign area, size, height, letters, and message.

No sign except official signs, such as traffic control and parking restrictions, information and notices required by State and Federal regulations, shall be located, altered, erected, or reconstructed without a permit. Applications for a sign permit can be obtained from the City's website or from the office of Building, Permits & Inspections.

#### **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Department of Infrastructure and Development 125 N Division St Room 202 Salisbury, MD 21804 (410) 548-3170 Date: June 6, 2023

View Map		<b>You GroundPent Re</b>	deception					View	GroundPlant	Registration	
<b>Special Tax Recapture:</b> Note											
Account Merather		Desires - 19 Account Nam	Beef + 016371								
			Ow	ner Inform	notion						
Cener Name:		CENTER CITY INVESTIG	STRLLC			Une			COMMEN	CIAL	
							Residence		ND		
Bulling Address		PO BEX 425 SALSELRY MO 21803-80	i		man	Dead Rate	WHICH .		(5404) 00	001	
		L	ocation &	Structure	e Infor	mation					
Preisian Address		157 W MAAN ST BALISBLEY 21801-0000				Legal Dea	iription:		107 W MA	AZ1 BOFT IN ST ENTRICITY (MV	687
Mapi Gold Parcel	Neighborhood	Subdivision:	. Se		Block:	Litt		netd Start		Plat No.	
0101 0014 1044	21003.23	00813			t ·	.1.	2021			Plat Ref.	4010/4139
Texas SALIBBURY											
Primary Structure Mult	Abim	Drate Living Area		Fighted Ba	Annual State	Area		Dane	Ty Land Area	6 S	Caurily Line
180	3.602							2821			
Stories Resement	Type	Exterior	Quality	PUDHATE			inge i		of Major Smje		
address addressed	OFFICE BUILDING			r edman a		Ga		me Hubbe	or wayter steps		
	STITUE BURLINE	·		100	12.02						
			Val	us inform	ation						
		Rate Value		Value			Phase		enter .		
				And .			ALIE			As of	
				01/01/2021			07/01/26	122		01010033	
Land		38,300		38,300							
Ingravements		184,308		188,700			-				
Tutal:		188.808		228,000			216,802			228,300	
Preferential Land		0									
			Tran	ster inform	Tution						
Setter PURNELL JOHN R ETW			Date: DOUD						Price \$11	8,600	
Type: ARMELENOTH IMPROV	en ca		Deed1: /00	COBDO VALUE					Dee dT.		
Seller			Dute:						Price: 31		
TYPE NON-ARMELENDTH CO	THEFT		Deed1 /00	RTIT DOTIS					Dee d2		
Seller			Date						Price:		
Тури:			Deed1:						Deed2		
			Exem	ption Info	rmatic	m					
Partial Exempt Assessments		Class				enecates	2		0101382	1	
County		080				0.00					
State:		080				0.00					
Municipal		080				0.000.00			0.008.00		
Special fax Recapture: Novo											
		He	mester	Applicatio	in Infe	mating					

Home servers' Tax Credit Application Bates: No Application

Date

## WI-147

## Alfred C. Dykes Building (Kuhn's Jewelers)

#### **Architectural Survey File**

This is the architectural survey file for this MIHP record. The survey file is organized reversechronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the "vertical files" at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 08-29-2003

WI-266 /47 Alfred C. Dykes Building Salisbury Private

The Alfred C. Dykes building is a distinctive commercial structure located in Salisbury's central business district. The long-time location of Kuhn's Jewelers, this two-story, three-bay building is distinguished by pressed brick front accented with a variety of molded brick and terra cotta ornament. Rope molded stringcourses divide the second floor visually, and molded terra cotta panels highlight the segmental arches as well as the wall spaces between the window openings. The top of the wall is fitted with an original galvanized metal cornice that incorporates the date of construction, "1892." The building stands out on Salisbury's historic Main Street, converted several decades ago to a pedestrian plaza.

The construction date incorporated in the cornice and a explicit entry in the *Salisbury Advertiser*, on April 9, 1892, closely documents the building history of this commercial block. The newspaper announced:

Workman began this week on a building for Mr. A. C. Dykes on the property purchased of J. J. Morris, Esq. adjoining the post office. The building will be of brick, and tin roof, 22 feet front and 68 feet deep, two story with basement. It will be finished for barber shop in front and residence in rear and second floor. The residence portion will contain 7 rooms. The brick work will be done by Mr. A. W. Lankford under contract; the woodwork and general superintendence will be by Mr. T. M. Slemons. Mr. Dykes expects to have the building completed, ready for occupancy, by October 1st.

Alfred C. and Georgia Dykes sold the property seven years later to William J. Staton, who turned around two years later and transferred it to Samuel Q. Johnson in

Page 2

October 1901. The property remained in Johnson family hands until 1974, when it was purchased by John R. and Ann Kuhn Purnell.

#### MARYLAND HISTORIC PRESERVATION PLAN INFORMATION

**RESOURCE NAME:** Alfred C. Dykes Building

MHT INVENTORY NUMBER: WI-266 147

#### MARYLAND COMPREHENSIVE PLAN DATA

1. Historic Period Theme(s): Architecture Commerce

2. Geographic Orientation: Eastern Shore

3. Chronological/Development Period(s): Industrial/Urban Dominance 1870-1930

4. Resource Type(s): Commercial Block

Survey No.	WI-266	147
------------	--------	-----

Maryland Historical	Trust	MARYLAND INVENTORY OF	
State Historic Sites	Inventory	Former of PROPERTIES	

-A - 4990 -

\*\*\*

DOE \_\_yes \_\_no

Magi No.

1. Nam	e (indicate	e preferred name)		
historic	Alfred C.	Dykes Building		
and/or common	Kuhn's Jew	velers		
2. Loca	tion			
street & number	107 West M	Main Street on the	Downtown Plaza _	not for publication
city, town	Salisbury	vicinity of	congressional district	First
state	Maryland	county	Wicomico	
3. Clas	sification			
Category district X building(s) structure site object	Ownership public X private both Public Acquisition in process being consider X not applical	ed yes: restricted	Present Use agriculture X commercial educational entertainment government industrial military	museum         park         private residence         religious         scientific         transportation         other:
4. Own	er of Pro	<b>Derty</b> (give names a	and mailing addresses	s of <u>all</u> owners)
name	John R Pui	rnell, et al		
street & number	27013 Edink	ourgh Court	telephone no	.:
city, town	Salisbury	state	and zip code MD	21801
5. Loca	ation of L	egal Descripti	on	
courthouse, regis	stry of deeds, etc.	Wicomico County C	Llerk of Court	p 107, Parcel 10 liber 817
street & number	Wicomic	co County Courthous	e	folio 132
city, town	Salisbu	ary	state	MD 21801
6. Repr	resentatio	on in Existing	Historical Surv	eys
title				
date			federal state	e county local
Jepository for su	rvey records			
city, town			state	
	· · · · · · · · · · · · · · · · · · ·	······································		<u> </u>

## 7. Description

Survey No. WI-266 147

Condition		Check one
excellent	deteriorated	unaltered
<u> </u>	ruins	<u>X</u> altered
fair	unexposed	

Check one <u>X</u> original site moved date of move

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

The Alfred C. Dykes building, currently identified as Kuhn's Jewelers, is located at 107 West Main Street on the Downtown Plaza in Salisbury, Wicomico County, Maryland. The two-story, three-bay brick commercial block faces south. The building is flanked on the east and west sides by adjacent commercial structures.

Dated to 1892, the two-story rectangular brick commercial building is three bays across and extends deeply into the lot which has access to what is historically referred to as "Bell Alley." The two-story, late nineteenth century commercial building has been extended to the rear by a single-story concrete block addition.

The south (main) elevation is three bays across. The first floor storefront, sheltered by a canvas awning, has been reworked in past few years with a stained wood and glass front that includes an entrance and large display windows. A side entrance in the east bay provides access to a staircase leading to the second floor. The second floor and cornice remain essentially unchanged since the late nineteenth century. The pressed brick facade is pierced by three evenly spaced windows filled with single-pane sash. Stretching across the facade at the height of the second floor window sills is a rope brick molding. The inner edges of the window openings are distinguished by a rounded corner brick, and each opening is topped by a segmental brick arch accented with a molded terra cotta keystone. A molded terra cotta panel is also centered in the wall between each window opening. A second rope molding stretches across the facade at the height of the second floor window arches. Additional molded brick stringcourses accent the top to the second floor wall, which is pierced by three rectangular vents. Fitted atop the front wall is a galvanized metal cornice with a centered cross gable. The three bays of the facade are marked by projecting blocks supported by fluted brackets. The two center blocks, which flank the gable, are fitted with turned finials. The face of the gable is distinguished by the date of construction, "1892," which is embossed in raised numbers along with a gentle scroll that flanks the date.

The interior has been reworked to suit modern store and office spaces.

## 8. Significance

Survey No. WI-266 147

Period preh 1400 1500 1600 1700 _X_ 1800 1900	istoric archeology-prehisto ⊢1499 archeology-historic ⊢1599 agriculture ⊢1699 _X architecture ⊢1799 art ⊢1899 _X commerce	-Check and justify below         ric       community planning       landscape architecture       religion        conservation       law       science        economics       literature       sculpture        education      military       social/        engineering      music       humanitarian        exploration/settlement       philosophy       theater        industry      politics/government       transportation        invention      other (specify)
Specific	dates 1892	Builder/Architect Contractor, Thomas M. Slemons
check:	Applicable Criteria: and/or Applicable Exception:	A _B X C _D A _B _C _D _E _F _G
	Level of Significance:	nationalstatelocal

Prepare both a summary paragraph of significance and a general statement of history and support.

The Alfred C. Dykes building is a distinctive commercial structure located in Salisbury's central business district. The long-time location of Kuhn's Jewelers, this two-story, three-bay building is distinguished by pressed brick front accented with a variety of molded brick and terra cotta ornament. Rope molded stringcourses divide the second floor visually, and molded terra cotta panels highlight the segmental arches as well as the wall spaces between the window openings. The top of the wall is fitted with an original galvanized metal cornice that incorporates the date of construction, "1892." The building stands out on Salisbury's historic Main Street, converted several decades ago to a pedestrian plaza.

Due to the distinctive architecture features of this building is qualifies for listing in *Category A*, which identifies buildings that must be retained due to their architectural and/or historical significance.

The construction date incorporated in the cornice and a explicit entry in the *Salisbury Advertiser*, on April 9, 1892, closely documents the building history of this commercial block. The newspaper announced:

Workman began this week on a building for Mr. A. C. Dykes on the property purchased of J. J. Morris, Esq. adjoining the post office. The building will be of brick, and tin roof, 22 feet front and 68 feet deep, two story with basement. It will be finished for barber shop in front and residence in rear and second floor. The residence portion will contain 7 rooms. The brick work will be done by Mr. A. W. Lankford under contract; the woodwork and general superintendence will be by Mr. T. M. Slemons. Mr. Dykes expects to have the building completed, ready for occupancy, by October 1st.(1)

Alfred C. and Georgia Dykes sold the property seven years later to William J. Staton (2), who turned around two years later and transferred it to Samuel Q. Johnson in October 1901.(3) The property remained in Johnson family hands until 1974, when it was purchased by John R. and Ann Kuhn Purnell.(4)

## 9. Major Bibliographical References

10. Geographical Data	
Acreage of nominated property Quadrangle name UTM References do NOT complete UTM references	Quadrangle scale
Zone Easting Northing	Zone Easting Northing
$\begin{array}{c c} c & \\ \hline \\$	$\begin{array}{c} P \begin{bmatrix} 1 \\ 1 \end{bmatrix} \\ F \begin{bmatrix} 1 \\ 1 \end{bmatrix} \\$

Verbal boundary description and justification

List all states	and countie	s for proper	ies ove	rlapping stat	e or county be	oundaries	
state		C0	de	county			code
state		co	de	county	_		code
11. For	m Pre	pared	By		<u> </u>		
name/title	Paul B.	Touart,	Archi	tectural	Historiar	1 	
organization	Private	Consulta	int		date	4/1/96	
street & number	PO	Box 5			telephone	410-651	-1094
city or town	West	over			state	Maryland	21871

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust MARYLAND HISTORICAL TRUST Shaw House DHCP/DHCD 21 State Circle 100 COMMUNITY PLACE Annapolis, Maryland 21401 CROWNSVILLE, MD 21032-2023 (301) 269-2438 -514-7600 8.1 SIGNIFICANCE (Continued) Alfred C. Dykes Building, WI-266 /47-Salisbury, Wicomico County, Maryland

#### Footnotes

- (1) Salisbury Advertiser, April 9, 1892 (Wicomico County Free Library)
- (2) Wicomico County Land Record, JTT 27/56, 1 September 1899 (Wicomico County Courthouse)
- (3) Wicomico County Land Record, JTT 32/49, 14 October 1901 (Wicomico County Courthouse)
- (4) Wicomico County Land Record, 817/132, 26 February 1974 (Wicomico County Courthouse)

WI-266 147 Alfred C. Dykes Building (Kuhn's Jewelers) 107 West Main Street (Downtown Plaza) Salisbury, Maryland Chain of title

817/132	Samuel Quinton Johnson, Jr.
	to
2/26/1974	John R. Purnell Ann Kuhn Purnell
	the said Samuel Q. Johnson having since departed this life, testate and by Item Three of his Last Will and Testament 2/13/1917, JWD 1/215, devised property unto Nettie B. Johnson and unto Samuel Q. Johnson, Jr. and Robert White Johnson
JTT 32/49	William J. Staton, and wife Martha Alfred C. Dykes
	to
10/14/1901	Samuel Q. Johnson
	Whereas the said Alfred C. Dykes has heretofore sold the property hereinafter described to said William J. Staton by deed dated 9/17/1899, JTT 27/56

Alfred C. Dykes Build 107 West Main Street Salisbury, Maryland Chain of title continue	(Downtown	•
JTT 27/56	Alfred C. Georgia I	•
	to	
9/1/1899	William .	J. Staton
		22 <sup>1</sup> / <sub>2</sub> ' on said street and running back an even width with east wall of the house on said lot in a straight line to the south side of 'Bell Alley' as established
JTT 9/288	Annie T	. Morris, & husband Jeremiah J. Morris
	to	
10/17/1892	Alfred (	C. Dykes
	\$1,400	beginning for the outlines at the South West corner of the brick building on said lot and running thence By and with the South and front wall of the said building $22 \frac{1}{2}$ feet to the South East corner of said thence by and with the East wall and in a direct line to the land of John Tracy 174 feet, thence by and with the said Tracy's land to the Protestant Episcopal Church lot 33 feet, etc.

WI-266 147

Page 2

WI-266 /47 Alfred C. Dykes Building 107 West Main Street (De Salisbury, Maryland Chain of title continued	
SPT 5/342	Henrietta Byrd
	to
3/ /1883	Annie T. Morris
	\$4,726.64 "John Rider Lot"
SPT 5/341	Samuel A. Graham, Trustee
	to
1/31/1883	Henrietta Byrd
	Decree of Circuit Court 1/19/1874, Annie T. Byrd vs William S. Parsons, et al. No. 159 Chancery
Somerset County Land Record	
GH 8/74-76	John Austin Jane C. Austin
	to

7/10/1835

Jehu Parsons

WI-147

Date

51



## HISTORIC PRESERVATION CERTIFICATION APPLICATION --- PART 1

(Pursuant to the Tax Reform Act of 1976)

RT 1 EVALUATION		ANCE			· · · ·	-
AME OF PROFERTY			La	- C	, 	
SALISBURY		AIN STREET				
ty	County		State _	<u>MD</u>	Zip Code	
ame of historic district in whic	h property is located _		· · · · · · · · · · · · · · · · · · ·		1. 3.70C	
ESCRIPTION OF PHYSICAL A se instructions for map and p	ppearance: holograph requirements	suse reverse side if m	cossary)			
	E.					
TATEMENT OF SIGNIFICANC	E:					
se reverse side if necessary)						
ise reverse side if necessary)						
se reverse side if necessary)						
	-692		inte 🖸 Moved	Date of alterations	s (il known):	· · · .
of construction (if known)	S OF OWNER:					
of construction (if known)	S OF OWNER:					
of construction (if known)	S OF OWNER:					
of construction (if known)	SOF DWNER:	en fites	tericul	NORLT :	· · · · ·	
ane and mailing addres	SOF DWNER:	n fin s	F-t-ni ul	12272 L T	Zıp Cod	:
ame AND MAILING ADDRES	S OF DWNER:	<u> </u>	to the child	<u>///L T</u> 	Zıp Cod	e
ame	S OF DWNER:		todge correct, an	State	Zip Cod	e
ame	S OF DWNER:		todge correct, an	State	Zip Cod	e
of construction (if known)	S OF DWNER:		todge correct, an	State	Zıp Cod	e
of construction (if known)	S OF DWNER:		todge correct, an	State	Zip Cod	e
ame	S OF DWNER: L FUR AF. M P Area Code	to the best of my know	Hedge correct an	Juic Ji L T State d that I am owner of	The property described above	e 1
AME AND MAILING ADDRES	S OF DWNER:	to the best of my know	Hedge correct an	d that I am owner of	The property described above Date	2 1 1 1
of construction (if known)	S OF OWNER:	ndaries of the National I	Hedge correct an	d that I am owner of	The property described above	2 1 1 1
AME AND MAILING ADDRES Imme	S OF OWNER:	ndaries of the National I not arises of the National I onal Register Criteris to rocedures (36 CFR 60).	Register historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will I	Zip Cod	he chai
AME AND MAILING ADDRES AME AND MAILING ADDRES arreel	S OF OWNER:	ndaries of the National I not the best of my know	Register historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will lin mena for Evaluation	The property described above Date	he char
AME AND MAILING ADDRES AME AND MAILING ADDRES arreel	S OF OWNER:	ndaries of the National I not the best of my know	Pegister historic d	State State d that I am owner of strict and D contribu FR 60.5) and D will lin mena for Evaluation	Zip Cod	to the life not the

D does not contribute to the character of the historic district and does not ment certification as a historic structure. Reasons given on the attached sheet

Signature \_\_\_\_\_\_Keeper of the Netional Register

WI-147

# DOWNTOWN HISTORIC DISTRICT SURVEY

IDENTIFICATION	BASE DATA
Street acoress 107 W. Main Street Map & parcel Present owner John R. Purnell address Present use Kuhn's Jewelers Griginal owner Original use	Historic name Provider Auronal District Date/Period 1892 Style Victorian Gothic Height (stories) 2 Present zoning CBD Land area (s.f.) 2 jun Building area (s.f.) jacc Assessed value (land + imp.)
	1

#### ARCHITECTURAL AND SITE DESCRIPTION

This building is typical of the Victorian Gothic commercial buildings built along Main Street in the years following soon after Salisbury's fire of 1886; rectangular in plan, with its first floor designed for display and its upper floor and attic for offices and apartments. Its ground floor facade was altered in the 1950's: facing brick was removed and replaced with white tile which encloses a primary entrance, placed between two small display windows and covered with an aluminum awning, and a secondary entrance to the upper floors on the east side of the building. The upper facade is three bays wide and is unmodified. The windows are topped with segmental arches, their springing lines connected by a decorative string-course. A horizontal brick cable-moulding divides the second-floor windows from the three decorative metal attic vents above. At the top of

building is a pressed metal cornice with four finials. The two central finials frame a small gable which extends to a peak topped with an acroterion. Unlike many of its neighbors, 107 W. Main Street maintains much of its original character and is therefore a valuable component of the Main Street building ensemble.

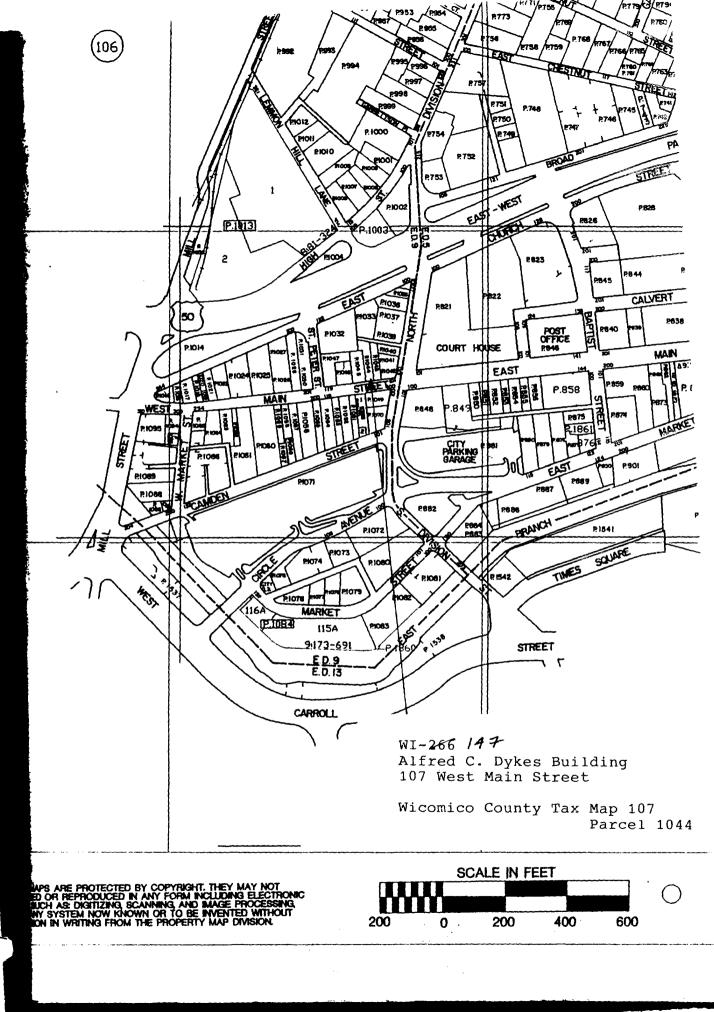
PHOTOS



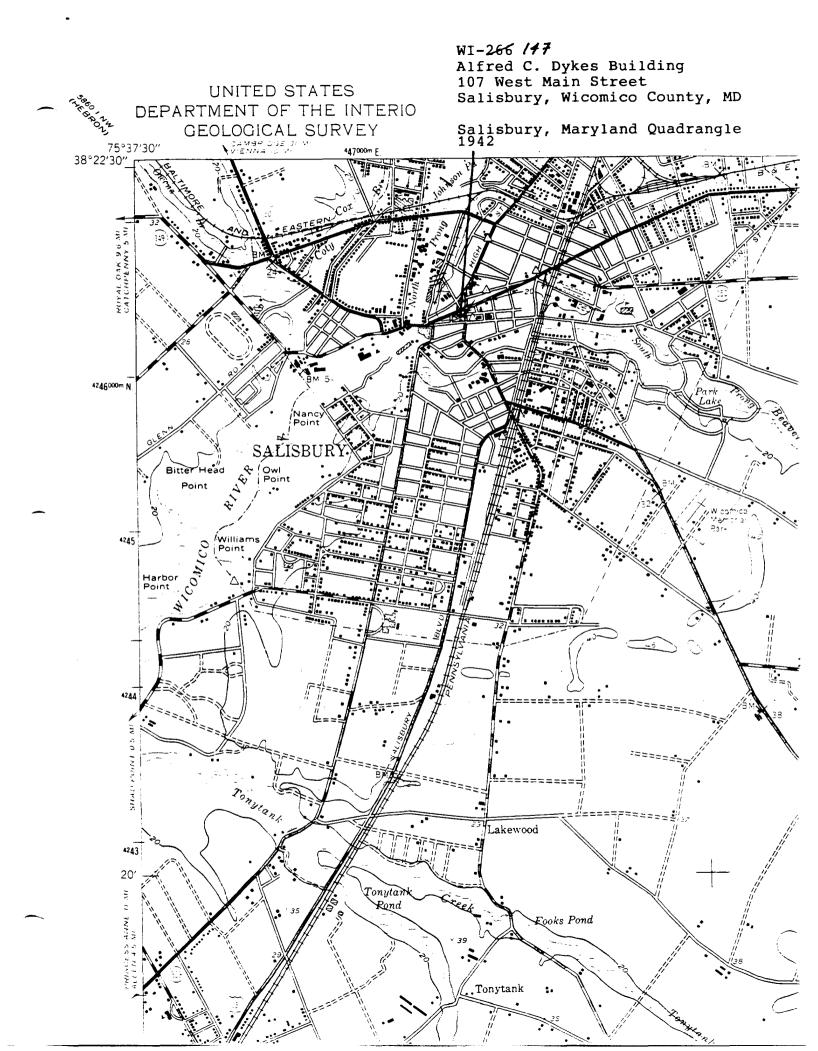
SSIFICATION  $b \in \Delta$ 

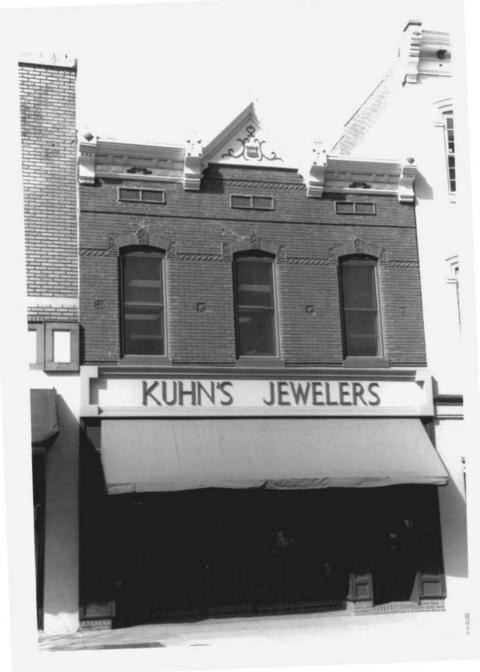
DATE OF SURVEY 6-1981

SURVEY COMPLETED BY Kennedy Smith



\_\_\_\_\_





107 Near MARK STOFET Smissary Mask - C. 12. TIDA ROLL TOUR PORTATION



Atreas 2 agers - ----SEWELKY)



Arrive to Pyres Bridge (Kurry Luncher 107 WESS POLLY STOREF Sais Barg, Nadares in 100 Not the further set 3/96 PAR Tomost Protostation NEG Wir Instir a Tous

# Salisbury Historic District Commission

# **Hearing Notification**

Date:	June 28, 2023				
Time:	7:00 pm				
Location:	Government Office Buildin 125 N Division St Room 3 Salisbury, MD 21801				
Case Number:	#23-11				
Commission Considering:	Garage				
Owner's Name:	Dipal Patel				
Applicant Name: Applicant's Address:	Dipal Patel 9062 Newbridge Dr Delmar, MD 21875				
Agent/Contractor:	None Indicated				
Subject Property Address:	208 Elizabeth Street				
Historic District:	Newtown				
Use Category:	Residential				
Zoning Classification:	General Commercial				
Chairman:	Scott Saxman, Chairman				
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170				

125 N. Division Str Room 202 Salisbury, MD 218	01	t Commission	Pe \$50	ermit Application o Fee Received らららして (date)
(410) 548-3170/ fa	1912023	)	Case #:	
Date Accepted as Co Subject Location: <u> </u>	8 Elizabeth isica Buere 220 Fooks mi	street s 11 rd Rhodesdale ma	Owner N J Owner A ഗ്0wner F	Required By (45 days): 7/9/23 Name: <u>Dipal Patel</u> Address: <u>9062 Newbridge Dr Dela</u> Phone: 732 - 423 - 3241 Email: <u>MSDUERES2016 @ gmail.com</u> dipal fatel 0516 @ gim.com
material, color, dime	<u>Demolition</u> <b>NORK PROPOSE</b> nsions, etc. must nt, position on buil	accompany application Iding, size and front li	c. Attach	Addition Other <u>Concrete Work</u> Awning Estimated Cost sheet if space is inadequate) Type of s are proposed, indicate material, of building, size and position of all <u>back</u>

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. \_\_\_\_Yes\_\_\_No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? Yes VNo

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

#### See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

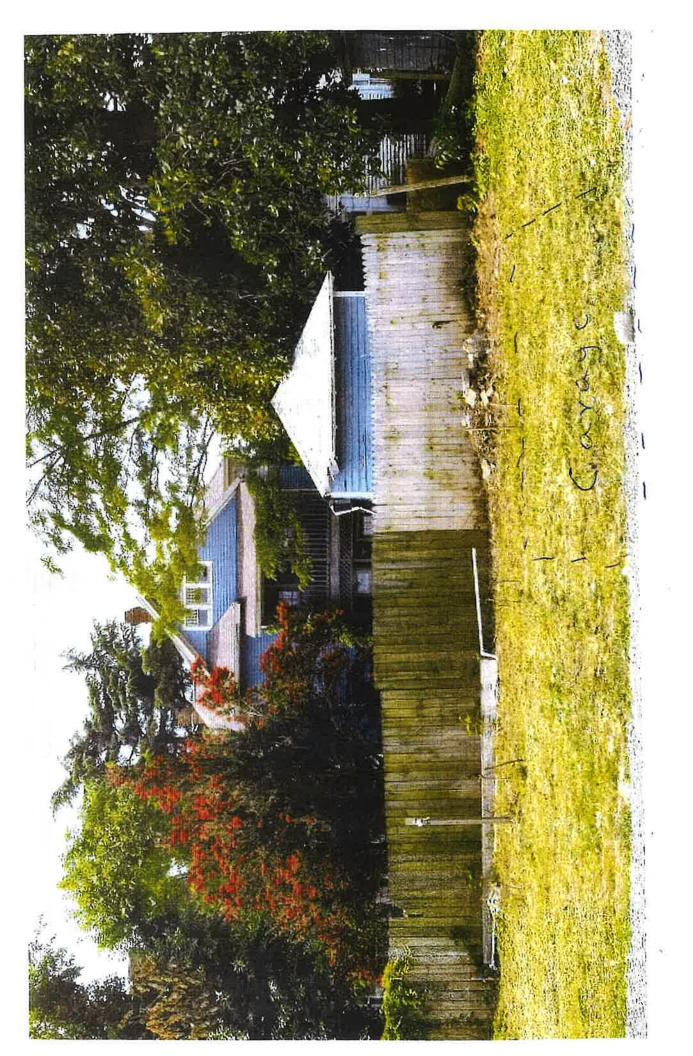
All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

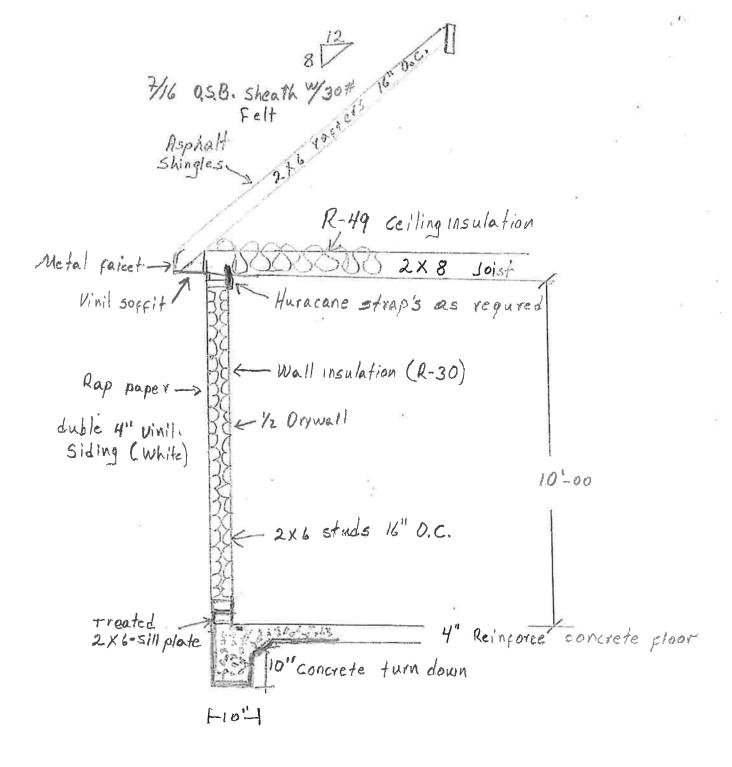
The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, 0	r my authoriz	ed repr	esentative, v	will appear at the	meeting of the	Salisbury	Historic District	Commission
on_	June	28	2023	will appear at the(date).	0	,		

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's /	Dalata
Signature	KUUUS
Bu	5/5/2=23
/ Application Proc	essor (Date)





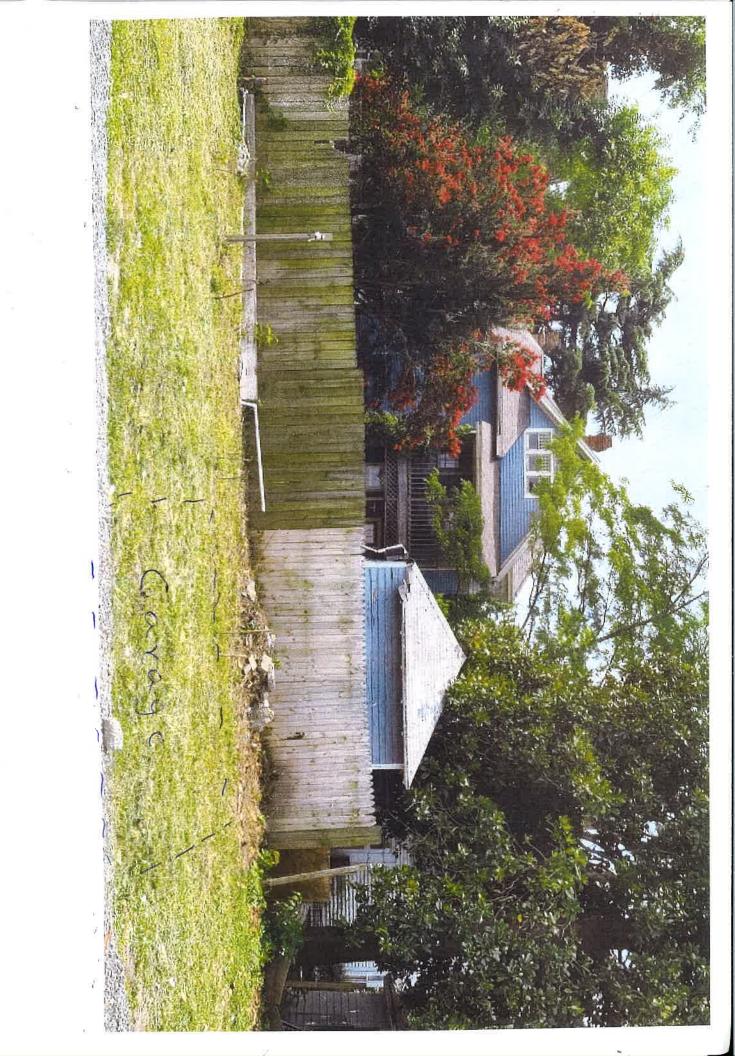






14'-0 6-00 3'-00 H-" Reinforce concrete stab on compacted Fill 6 mil. Poly Vapor, barrier on ground Under slab Use 3500 PSI concrete mix Slope slab toward overhead doors 00 Top of slab to higher than finish grade 21to insure proper dranage retal ntry overhead door 16-03" 21'-00"

it



## Salisbury Historic District Commission

## **STAFF FINDINGS**

## Meeting Date: June 28, 2023

Case Number:	#23-11
Commission Considering:	Garage
Owner's Name:	Dipal Patel
Owner's Address:	208 Elizabeth Street
Applicant Name:	Dipal Patel
Applicant's Address:	9062 Newbridge Dr Delmar, MD 21875
Agent/Contractor:	None Indicated
Subject Property Address:	208 Elizabeth Street Salisbury, MD 21801
Historic District:	Newtown Historic District
Use Category:	Residential
Zoning Classification:	R-8
Structure / Site Description: Built Date: Enclosed Area: Lot Size: Number of Stories:	1920 2,331 sq ft 5,494 sq ft 2
Contributing Structure:	Contributing, 3/23/2011
Wicomico County Historic Survey on file:	No
Nearby Properties on County Survey:	Yes

➢ 511 Poplar Hill Avenue	Morris-Holloway House
205 E. Isabella Street	Thomas H. Tilghman House

## **Relevant Historic, Archeological and Architectural Significant Features of the Surrounding Area:**

The Newtown Historic District is a mid-19<sup>th</sup> to early-20<sup>th</sup> century unplanned residential community located just north of U.S. Route 50 in the City of Salisbury. Most structures within the area are in residential use with the exception of a few churches on the southern end and some commercial space along Route 13. Structures in Newtown are large in scale and placed fairly close together. They are typically frame, two-and-a-half stories in height and three to five bays wide. Most structures have full length or wraparound porches. The structures represent an eclectic mix of mid-19\* to early-20" century building types and styles including four squares, Greek Revival, Queen Anne, Shingle style, and Colonial Revival buildings. The neighborhood maintains integrity of location, design, setting, materials, association and feeling.

House #	Street	Name	Hearing Date	Contributing	Non-Contributing
104	Elizal	beth St	9/24/2014	Х	
114	Elizal	beth St	9/23/2015	Х	
116	Elizal	beth St	2/12/2019	Х	
117	Elizal	beth St	7/28/2010	Х	

Neighboring Properties which have been deemed Contributing/Non-Contributing:

**Explanation of Request:** The applicant is requesting the Salisbury Historic District Commission approve their request to approve there proposed garage plans for the back of the property.

## Areas of Historic Guidelines to be considered:

## **Guideline 65: New Construction**

a. The new garage shall be compatible with the primary building in terms of scale, massing, and style.

b. Pre-fabricated, non-permanent sheds are permitted in the rear of the property. They should be small in scale and congruous with the style of the primary building.

## **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give

consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Infrastructure and Development 125 N Division Street, Suite 202 Salisbury, MD 21801 (410) 548-3170 Date: June 6, 2023

#### Search Result for WICONICO COUNTY

RESIDENTIAL NO IOHT36/00480 S.404 SOFT 2016 BL/CARETH ST CITY OF SALIS Fear: Plat No: Plat Ref: Plat Ref: Inse County Use ajor Improvements
NO (04735/00480 5.494 SQFT 205 EL (2ABETH ST COTY OF SALIS Fear: Plus Ref: Plus Ref: Plus Ref: As of
NO (04735/00480 5.494 SQFT 205 EL (2ABETH ST COTY OF SALIS Fear: Plus Ref: Plus Ref: Plus Ref: As of
NO (04735/00480 5.494 SQFT 205 EL (2ABETH ST COTY OF SALIS Fear: Plus Ref: Plus Ref: Plus Ref: As of
5.494 SQFT 205 ELQABETH ST CITY OF SALIS Vear: Plut No: Plut Ref: Insa County Us ajor Improvements
205 ELUZABETH ST CITY OF SALIS Fear: Plus No: Plus Ref. Plus Ref. agor Improvements As of
205 ELUZABETH ST CITY OF SALIS Fear: Plus No: Plus Ref. Plus Ref. agor Improvements As of
Plus Ref. res County Us ajor Improvements As of
ajor Improvementa
ajor Improvementa
As of
and a second
37,000
0
110.000
1000000000
07/01/2022
0.00

Special Tax Recepture: None

Internetical Application Information

#### Homestead Application Status: No Application

Homeowners' Tax Credit Application Informat

Homeowners' Tax Credit Application Status: No Application

Date:

## Salisbury Historic District Commission

## **Hearing Notification**

Date:	June 28, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301 (Council Chambers)
Case Number:	#23-12
<b>Commission Considering:</b>	Solar Panel
Applicant Name:	Amy Lewis
Applicant's Address:	407 Camden Ave. Salisbury, MD 21801
Agent/Contractor:	Sun Run
Subject Property Address:	407 Camden Ave. Salisbury, MD 21801
Historic District:	Camden Historic District
Use Category:	Residential
Zoning Classification:	R - 10
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission 125 N. Division Street Permit Application Room 202 \$50 Fee Received <u>5/23/23</u> (date) Salisbury, MD 21801 (410) 548-3170/ fax (410) 548-3107 Date Submitted: 5/23/23 23-12 Case #: 5/23/23 Action Required By (45 days): 7/7/23 Date Accepted as Complete: Subject Location: 407 Camden Ave Owner Name: Celeana Brown Application by: Amy Lewis Owner Address:407 Camden Ave Applicant Address: 407 Camden Ave Owner Phone: (202) 276-1296 Applicant Phone: 443-405-5049 Owner Email: New Construction Addition Other solar panels Work Involves: Alterations Demolition Sian Awning Estimated Cost 12,103 DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of

material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

17 roof mounted solar panels	

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. \_\_\_\_Yes\_\_\_No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted
Maryland Historical Trust staff?Yes_
If you have checked "Yes" to either of the above questions, please provide a copy of your approval
letter from the Maryland Historic Trust along with this application.

## See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

l, oi	my authorized representative,	will appear at the meeting of the Salisbury Historic District Commis	ssion
on_	June 28 2023	(date).	

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant s	$\Lambda = \mathcal{D}$
Signature	Anny Lewis

5/23/23 Date

Jessica Budd 6/8/23 Application Processor (Date)

Secretary, S.H.D.C. (Date)

Brian Soper 6/8/23



March 26, 2023

## SUNLUN

Astra v.1.766 CAT 2

Subject : Structural Certification for Proposed Residential Solar Installation. Job Number: 253R-407BROW; Rev A Client: Celeana Brown Address: 407 Camden Ave, Salisbury, MD, 21801



Professional Certification. I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the state of Maryland. License No. 52248 Expiration Date: 2/1/2024

Attn: To Whom It May Concern

Signed on: 3/26/2023

A field observation of the existing structure at the address indicated above was performed by a site survey team from Sunrun. Structural evaluation of the loading was based on the site observations and the design criteria listed below.

Design Criteria:

- 2018 IRC/IBC, ASCE 7-16 & 2018 NDS
- Basic Wind Speed V = 118 mph, Exposure C
- Ground Snow Load = 30 psf

Based on this evaluation, I certify that the alteration to the existing structure by the installation of the PV system meets the requirements of the applicable existing and/or new building code provisions referenced above.

Additionally, I certify that the PV module assembly including all attachments supporting it have been reviewed to be in accordance with the manufacturer's specifications.

Results Summary (Hardware Check Includes Uplift Check on Attachments/Fastener, Structure Check Considers Main Structure)						
	Orientation	Attachment Spacing/Cantilever	Configuration	Max DCR	Result	
	Landscape	64 / 25	Staggered	70%	Pass	
AR-01						
	Roofing Material		Pitch		Structure Check	
	C	Comp Shingle	15°		Pass	
	Orientation	Attachment Spacing/Cantilever	Configuration	Max DCR	Result	
	Landscape	72 / 28	Staggered	56%	Pass	
AR-02	Portrait	48 / 24	Staggered	84%	Pass	
	Ro	ofing Material	Pitch		Structure Check	
	C	Comp Shingle	37°		Pass	
	Orientation	Attachment Spacing/Cantilever	Configuration	Max DCR	Result	
	Landscape	72 / 28	Staggered	56%	Pass	
AR-03	Portrait	48 / 24	Staggered	84%	Pass	
	Ro	ofing Material	Pitch		Structure Check	
	(	Comp Shingle	37°		Pass	

SH	EET INDEX	LEGEND	SCOPE OF WORK	GENERAL NOTES
PAGE	# DESCRIPTION	SE SERVICE ENTRANCE	• SYSTEM SIZE: 6375W DC, 4930W AC	ALL WORK SHALL COMPLY WITH 2018 IRC, 2018 IBC, IE
PV-1.0	COVER SHEET		MODULES: (17) VIKRAM SOLAR: VSMDHT.60.375.05	AND ALL MANUFACTURERS' LISTINGS AND INSTALLATIC
PV-2.0	) SITE PLAN		INVERTER(S):     (17) ENPHASE ENERGY: IQ7PLUS-72-2-US	PHOTOVOLTAIC SYSTEM WILL COMPLY WITH NEC 2017
PV-3.0			• <b><u>RACKING:</u></b> SNAPNRACK RLU; RL UNIVERSAL, SPEEDSEAL	• ELECTRICAL SYSTEM GROUNDING WILL COMPLY WITH
PV-4.0	) ELECTRICAL	SUB-PANEL	TRACK ON COMP, SEE DETAIL SNR-DC-00436	PHOTOVOLTAIC SYSTEM IS UNGROUNDED. NO CONDU
PV-5.0	) SIGNAGE		• TRENCHING REQUIRED: AC WIRE TO BE TRENCHED 76 FT IN DIRT MATERIAL.	GROUNDED IN THE INVERTER. SYSTEM COMPLIES WITH
		LC PV LOAD CENTER		• MODULES CONFORM TO AND ARE LISTED UNDER UL 1
				INVERTER CONFORMS TO AND IS LISTED UNDER UL 17
		SUNRON METER		• RACKING CONFORMS TO AND IS LISTED UNDER UL 270
		DEDICATED PV METER		• SNAPNRACK RACKING SYSTEMS, IN COMBINATION WIT MODULES, ARE CLASS A FIRE RATED.
		INV INVERTER(S)		RAPID SHUTDOWN REQUIREMENTS MET WHEN INVERTIGATION CONDUCTORS ARE WITHIN ARRAY BOUNDARIES PER NE
		AC DISCONNECT(S)		CONSTRUCTION FOREMAN TO PLACE CONDUIT RUN P
				ARRAY DC CONDUCTORS ARE SIZED FOR DERATED CU
				• 12.82 AMPS MODULE SHORT CIRCUIT CURRENT.
				• 20.03 AMPS DERATED SHORT CIRCUIT CURRENT [690.8
AB	BREVIATIONS	INTERIOR EQUIPMENT		
A	AMPERE			
AC	ALTERNATING CURRENT			
AFC	ARC FAULT CIRCUIT INTERUPTER			
AZIM	AZIMUTH	-		
COMP				
DC		FLUSH ATTIC VENT		
(E) ESS	EXISTING ENERGY STORAGE SYSTEM	O PVC PIPE VENT	Mark Cont	
EXT	EXTERIOR	8 METAL PIPE VENT	Harina Riverside Park	
INT	INTERIOR	 T-VENT	comico River Q	
MSP	MAIN SERVICE PANEL		Parker & Associates Inc	
(N)	NEW	SATELLITE DISH	de Pharmacy	
NTS	NOT TO SCALE		Wicomico County & Walk Park	
OC	ON CENTER	FIRE SETBACKS	itecture Hebron Savings Bank Health Department	
PRE-FAB	PRE-FABRICATED		P BayRunner Shuttle	
PSF	POUNDS PER SQUARE FOOT	HARDSCAPE	edical Center	
PV	PHOTOVOLTAIC	- PL- PROPERTY LINE	St. Francis de Sales View	
RSD	RAPID SHUTDOWN DEVICE	SOLAR MODULES	1013 - 0 0 D	
TL	TRANSFORMERLESS			
TYP	TYPICAL		St. Francis de Sales Catholic Church Newton Street Kelly's Drywall	REV NAME DATE
V	VOLTS		St Francis De Community Center	
W	WATTS		Lopez Painting & Starting & Start	
			A Beth Israel Congregation	
POR	PORTRAIT			

IEBC, MUNICIPAL CODE, ION INSTRUCTIONS. 017.

TH NEC 2017.

DUCTORS ARE SOLIDLY TH 690.35.

. 1703.

1741.

2703.

VITH TYPE I, OR TYPE II

RTERS AND ALL NEC 690.12(1).

PER 690.31(G).

CURRENT.

0.8 (A) & 690.8 (B)].



Signed on: 3/26/2023

Professional Certification. I hereby certify that these locuments were prepared or approved by me and that I im a duly licensed Professional Engineer under the aws of the state of Maryland. icense No. 52248 xpiration Date: 2/1/2024

# SUNLUN

#### MHIC #115875

503 S. MARYLAND AVE STE 106, DELMAR, MD, 21875-1527 PHONE 0 FAX 0

CUSTOMER RESIDENCE: CELEANA BROWN 407 CAMDEN AVE, SALISBURY, MD, 21801

TEL. (202) 276-1296 APN: 13-041105

PROJECT NUMBER: 253R-407BROW

DESIGNER: (415) 580-6920 ex3 EDGAR NINO

SHEET

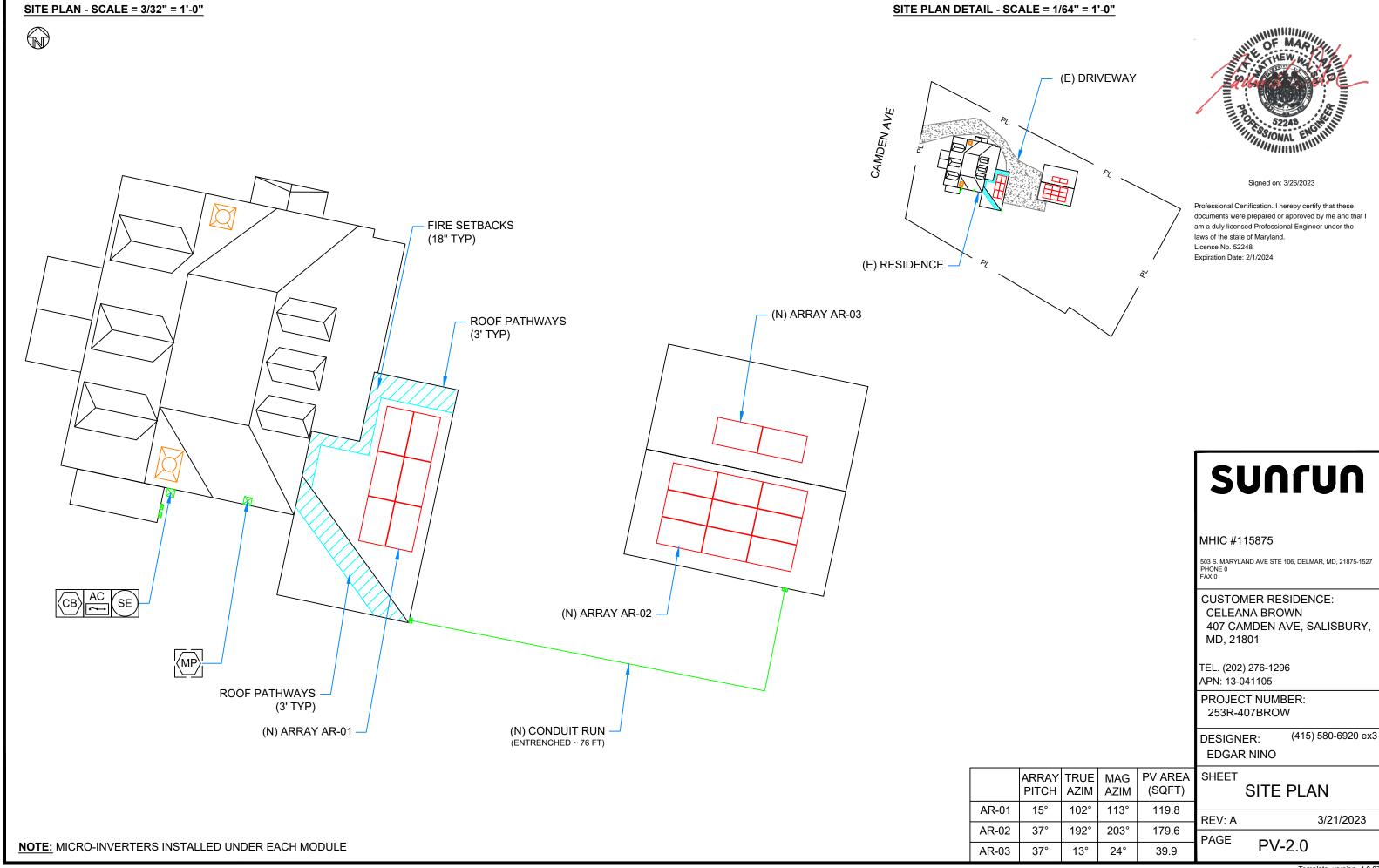
COVER SHEET

REV: A

COMMENTS

3/21/2023

## PAGE PV-1.0



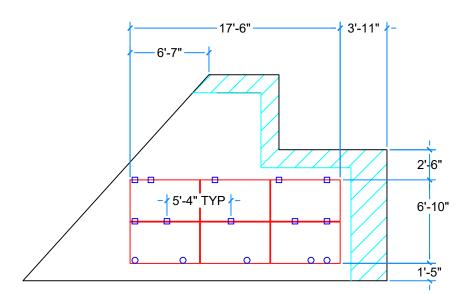
|--|

407 CAMDEN AVE, SALISBURY,

				EDGAR NINO
ARRAY PITCH	TRUE AZIM	MAG AZIM	PV AREA (SQFT)	SHEET SITE PLAN
15°	102°	113°	119.8	REV: A 3/21/2023
37°	192°	203°	179.6	
37°	13°	24°	39.9	PAGE PV-2.0
-	-	-		

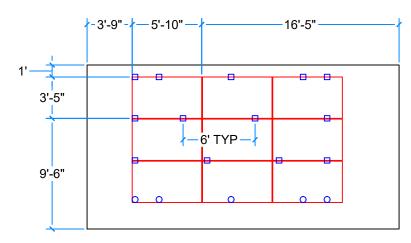
ROOF INFO			FRAMING INFO			ATTACHMENT INFORMATION			
Name	Туре	Height	Туре	Max Span	OC Spacing	Detail	Max Landscape OC Spacing	Max Landscape Overhang	Max Portrait OC Spacing
AR-01	COMP SHINGLE - RLU	1-Story	2X6 RAFTERS	RL UNIVERSAL, SPEEDSEAL TRACK ON COMP, SEE DETAIL SNR-DC-00436	5' - 4"	2' - 1"	NA		
AR-02	COMP SHINGLE - RLU	1-Story	2X6 RAFTERS	RL UNIVERSAL, SPEEDSEAL TRACK ON COMP, SEE DETAIL SNR-DC-00436	6' - 0"	2' - 4"	4' - 0"		
AR-03	COMP SHINGLE - RLU	1-Story	2X6 RAFTERS	RL UNIVERSAL, SPEEDSEAL TRACK ON COMP, SEE DETAIL SNR-DC-00436	6' - 0"	2' - 4"	4' - 0"		
<u>D1 - AR-01 - SCALE: 1/8" = 1'-0"</u>						D3 - AR-03 - SCALE: 1	/8" = 1'-0 <u>"</u>		

#### **AZIM:**102° PITCH: 15°

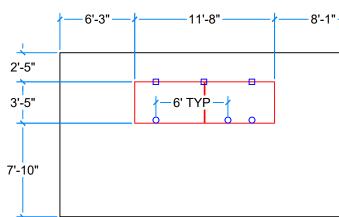


#### <u>D2 - AR-02 - SCALE: 1/8" = 1'-0"</u> **AZIM:**192°

PITCH: 37°



**AZIM:**13° PITCH: 37°



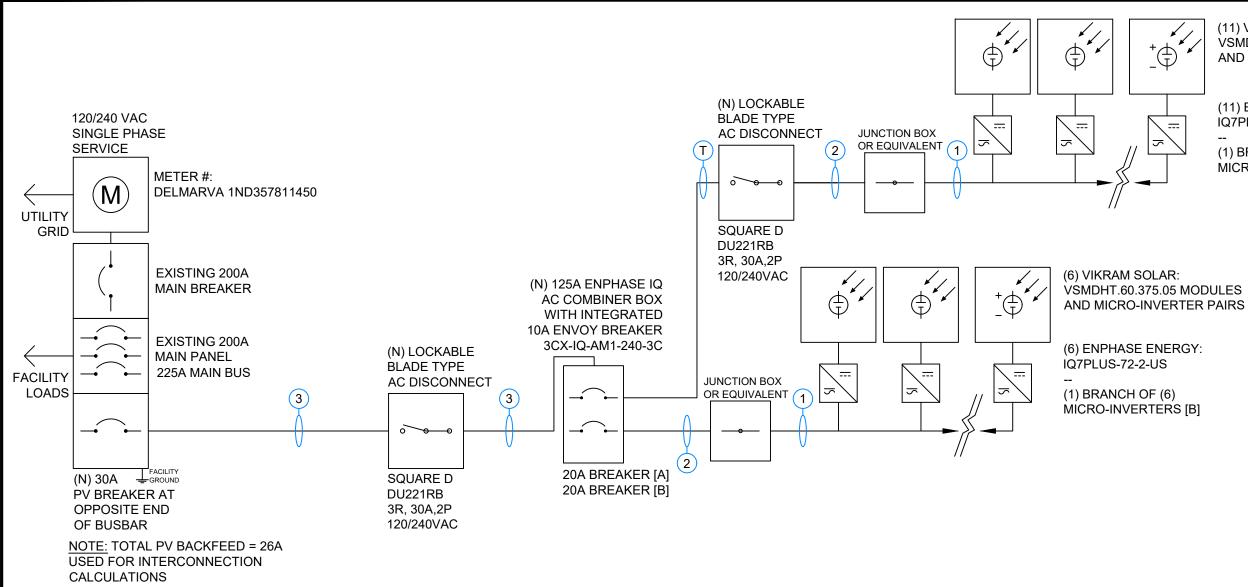
INSTALLERS SHALL NOTIFY ENGINEER OF ANY POTENTIAL STRUCTURAL ISSUES OBSERVED PRIOR TO PROCEEDING W/ INSTALLATION.

\* IF ARRAY (EXCLUDING SKIRT) IS WITHIN 12" BOUNDAR REGION OF ANY ROOF PLANE EDGES (EXCEPT VALLEYS THEN ATTACHMENTS NEED TO BE ADDED AND OVERHA REDUCED WITHIN THE 12" BOUNDARY REGION ONLY AS FOLLOWS:

\*\* ALLOWABLE ATTACHMENT SPACING INDICATED ON I TO BE REDUCED BY 50%.

\*\* ALLOWABLE OVERHANG INDICATED ON PLANS TO BI OF ALLOWABLE ATTACHMENT SPACING INDICATED ON

	DESIGN CRITERIA
ait Max Portrait ng Overhang Configuratio	SNOW LOAD: 30 PSF
NA STAGGERE	S.S. LAG SCREW
2' - 0" STAGGERE	5/16"X4.5": 2.5" MIN. EMBEDMEN
2' - 0" STAGGERE	ED
'/	View         View           View
RY (S),	<b>SUNC</b> MHIC #115875
ANG S PLANS BE 1/5TH N PLANS.	CUSTOMER RESIDENCE: CELEANA BROWN 407 CAMDEN AVE, SALISBURY, MD, 21801 TEL. (202) 276-1296 APN: 13-041105
	PROJECT NUMBER: 253R-407BROW
	DESIGNER: (415) 580-6920 ex3 EDGAR NINO
	SHEET
	REV: A 3/21/2023
	PAGE PV-3.0



<u>CON</u>	DUIT SCHEDULE			
#	CONDUIT	CONDUCTOR	NEUTRAL	GROUND
1	NONE	(2) 12 AWG PER ENPHASE Q CABLE BRANCH	NONE	(1) 10 AWG BARE COPPER
2	3/4" EMT OR EQUIV.	(2) 10 AWG THHN/THWN-2	NONE	(1) 8 AWG THHN/THWN-2
Т	1" SCH 40 PVC (BELOW GROUND) 1" SCH 80 PVC (ABOVE GROUND)	(2) 10 AWG THHN/THWN-2	NONE	(1) 8 AWG THHN/THWN-2
3	3/4" EMT OR EQUIV.	(2) 10 AWG THHN/THWN-2	(1) 10 AWG THHN/THWN-2	(1) 8 AWG THHN/THWN-2

#### **GENERAL NOTES:**

• MANUFACTURER & MODEL OF MSP IS EATON CUTLER-HAMMER MODEL NUMBER IS NOT AVAILABLE.

#### MODULE CHARACTERISTICS

VIKRAM SOLAR: VSMDHT.60.375.05: 375 W OPEN CIRCUIT VOLTAGE: 41.1 V 34.9 V MAX POWER VOLTAGE: 12.82 A SHORT CIRCUIT CURRENT:

(11) VIKRAM SOLAR: VSMDHT.60.375.05 MODULES AND MICRO-INVERTER PAIRS

(11) ENPHASE ENERGY: IQ7PLUS-72-2-US

(1) BRANCH OF (11) MICRO-INVERTERS [A]

# SUNTUN

#### MHIC #115875

503 S. MARYLAND AVE STE 106, DELMAR, MD, 21875-1527 PHONE 0 FAX 0

CUSTOMER RESIDENCE: CELEANA BROWN 407 CAMDEN AVE, SALISBURY, MD, 21801

TEL. (202) 276-1296 APN: 13-041105

PROJECT NUMBER: 253R-407BROW

(415) 580-6920 ex3 DESIGNER: EDGAR NINO

SHEET

**ELECTRICAL** 

REV: A

3/21/2023

PAGE PV-4.0

## WARNING

ELECTRICAL SHOCK HAZARD

TERMINALS ON LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:

INVERTER(S), AC/DC DISCONNECT(S), AC COMBINER PANEL (IF APPLICABLE). PER CODE(S): CEC 2019: 690.13(B), NEC 2017: 690.13(B)



POWER SOURCE OUTPUT CONNECTION

DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION: ADJACENT TO PV BREAKER (IF APPLICABLE). PER CODE(S): CEC 2019: 705.12(B)(2)(3)(b), NEC 2017: 705.12(B)(2)(3)(b)



PHOTOVOLTAIC SYSTEM **COMBINER PANEL** 

DO NOT ADD LOADS

LABEL LOCATION: PHOTOVOLTAIC AC COMBINER (IF APPLICABLE). PER CODE(S): CEC 2019: 705.12(B)(2)(3)(c), NEC 2017: 705.12(B)(2)(3)(c)



SOURCES: UTILITY GRID

AND PV SOLAR ELECTRIC

SYSTEM

LABEL LOCATION: UTILITY SERVICE METER AND MAIN SERVICE PANEL. PER CODE(S): CEC 2019: 705.12(B)(3), NEC 2017: 705.12(B)(3)

3'

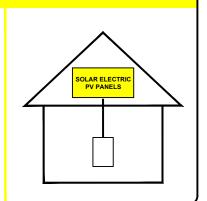
## RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM

#### LABEL LOCATION:

**INSTALLED WITHIN 3' OF RAPID SHUT DOWN** SWITCH PER CODE(S): CEC 2019: 690.56(C)(3), NEC 2017: 690.56(C)(3), IFC 2012: 605.11.1, IFC 2018: 1204.5.3, CFC 2019: 1204.5.3

## SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" **POSITION TO SHUT DOWN PV SYSTEM AND REDUCE** SHOCK HAZARD IN THE ARRAY.



LABEL LOCATION: ON OR NO MORE THAT 1 M (3 FT) FROM THE SERVICE DISCONNECTING MEANS TO WHICH THE PV SYSTEMS ARE CONNECTED. PER CODE(S): CEC 2019: 690.56(C)(1)(a), NEC 2017: 690.56(C)(1)(a)

NOTES AND SPECIFICATIONS:

- SIGNS AND LABELS SHALL MEET THE REQUIREMENTS OF THE NEC 2017 ARTICLE 110.21(B), UNLESS SPECIFIC INSTRUCTIONS ARE REQUIRED BY SECTION 690, OR IF REQUESTED BY THE LOCAL AHJ.
- SIGNS AND LABELS SHALL ADEQUATELY WARN OF HAZARDS USING EFFECTIVE WORDS, COLORS AND SYMBOLS.
- LABELS SHALL BE PERMANENTLY AFFIXED TO THE EQUIPMENT OR WIRING METHOD AND SHALL NOT BE HAND WRITTEN.
- LABEL SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.
- SIGNS AND LABELS SHALL COMPLY WITH ANSI Z535.4-2011, PRODUCT SAFETY SIGNS AND LABELS, UNLESS OTHERWISE SPECIFIED.
- DO NOT COVER EXISTING MANUFACTURER LABELS.

**PHOTOVOLTAIC AC DISCONNECT** 

MAXIMUM AC OPERATING CURRENT: 20.54 AMPS NOMINAL OPERATING AC VOLTAGE: 240 VAC

LABEL LOCATION:

AC DISCONNECT(S), PHOTOVOLTAIC SYSTEM POINT OF INTERCONNECTION. PER CODE(S): CEC 2019: 690.54, NEC 2017: 690.54

# SUNLUN

#### MHIC #115875

503 S. MARYLAND AVE STE 106, DELMAR, MD, 21875-1527 PHONE 0 FAX 0

CUSTOMER RESIDENCE: CELEANA BROWN 407 CAMDEN AVE, SALISBURY, MD, 21801

TEL. (202) 276-1296 APN: 13-041105

PROJECT NUMBER: 253R-407BROW

(415) 580-6920 ex3 DESIGNER: EDGAR NINO

SHEET

REV: A

3/21/2023

#### PAGE PV-5.0







## Salisbury Historic District Commission

## **STAFF FINDINGS**

## Meeting of June 28, 2023

Case Number:	#23-12			
<b>Commission Considering:</b>	Solar Panels			
Owner Name: Owners Address:	Celeana Brown 407 Camden Avenue Salisbury, MD 21801			
Applicant Name:	Amy Lewis			
Applicant's Address:	407 Camden Ave Salisbury, MD 21801			
Agent/Contractor:	Sunrun			
Subject Property Address:	407 Camden Avenue			
Historic District:	Camden Historic District			
Use Category:	Residential			
Zoning Classification:	R - 10			
Structure / Site Description:				
Built Date:	1900			
Enclosed Area:	3,833 sq. ft.			
Lot Size:	22,739 sq. ft.			
Number of Stories:	$2\frac{1}{2}$ (two & one half)			
<b>Contributing Structure:</b>	Contributing 11/20/2019			

Wicomico County Historic Survey on file:	No
Nearby Properties on County Survey:	Yes

#### **Including but not limited to:**

403 Camden Ave.	Allison A Gillis House
406 Camden Ave.	Phillips Feldman House
413 Camden Ave.	Thomas Hooper Roten House

**Explanation of Request:** The applicant is seeking approval to install 17 solar panels on the roof of the house.

#### Areas of Historic Guidelines to be considered:

#### **Guideline 31: Solar Panels**

a. Solar panels should be installed in a location that minimizes their visibility as much as possible. Flat roofs, and rear sloping roofs are the best candidates.

## **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Infrastructure and Development 125 N Division Street, Suite 202 Salisbury, MD 21801 (410) 548-3170 Date: June 6, 2023

Setted - 12 Addited Harding - 2010         Balted - 12 Addited Harding - 2010       Balted - 2010								
Second Handle - 12 Michael Parameter - 2010         Parameter - 2010 <th>View Map</th> <th>View GroundRas</th> <th>Rederuption</th> <th></th> <th></th> <th>View Ground</th> <th>Peet Registration</th> <th></th>	View Map	View GroundRas	Rederuption			View Ground	Peet Registration	
have the tabel in	Special Tax Receptory Anny	1202-01-02		Set 1 mages turner				
Several Manese Instang Addresses Instang Address	Account Identifier	District - T	Account No.	100/110 - Tellino				
Base with the transmission of transmissinterit detreno of transmission of transmission of tran				Owner Informatio	n			
Bit IN CASE AND	Cener Name:							WL.
Multiseury No 2 met       Location & Schwachurse Information         Preview & Address       Attribution (Control on Control On Contro Control On Control On Control On Control On Control On Control On			BROWN RAYMOND & E1AL					
Number Address       Bit 1 CMASSIN Million VI 2014 HILE       Light 2 Massington       Ma	and against				Line	IN REAL PROPERTY.	Colore Col	
MALIBURAY 21001-3000     MALIBURAY 21001-3000       Baye     Oracle     Magebook			Location	a Structure Inf	ormation			
Note:         Note: <t< td=""><td>Premises Address</td><td></td><td></td><td></td><td>Le</td><td>pel Description.</td><td></td><td></td></t<>	Premises Address				Le	pel Description.		
International Control C		SALISBUR	21801-8303					
Tenes SAUSERY TAXAS A SAUSE			ens .	Sector: Shad				
Name of Statutus         Address Statutus         Address Statutus         Produce of Statutus		0.23 0080	97 - 33		10	3003	Plat Rat	0012/0034
1800         2,02,39 <sup>2</sup> 20,700 / 20,000         20,700 / 20,700         20,700 / 20,700								
Notes         Basement VEB         Type VEB         States VED         States VED </td <td></td> <td></td> <td></td> <td>Pullind Basene</td> <td>sevA 3n</td> <td></td> <td>Arte</td> <td>Causily Use</td>				Pullind Basene	sevA 3n		Arte	Causily Use
2 12 14 15 21 15			-	E 410 18 0 18			the second second second	
Value between the sensement of the sen							ar improvements	
Note:         Name         Plate is Associatement         As if an		a sea a s				562 C		
avail 17.00 21.00			12		n			
International state         Operational state		Rane Value						
Land         17.800         24.100           Bayerwand (Bayerwand)         202,100         207,800         208,800         207,800         207,800         207,800         207,800         207,800         207,800         207,800         208,800         207,800         207,800         208,800         208,800         208,800         208,800         208,800         208,800         208,800         208,800								
Note:         203, 90         201,900         900	Lavel	17,800				110-1202		
Note-setted Lawit         0         0           Transfer Information           Transfer Information           New Colspan="2">New Colspan="2">New Colspan="2">New Colspan="2">New Colspan="2"           New Colspan="2"	in provements	200,000		201.200				
Instant MultiPress Berrink E         Date: Statistical Deformation         Price: Statistical Deformation           Balan: MultiPress Berrink E         Date: Statistical Deformation         Price: Statistical Deformation           Balan: MultiPress Berrink E         Date: Statistical Deformation         Price: Statistical Deformation           Balan: MultiPress Berlink E         Date: Statistical Deformation         Price: Statistical Deformation           Balan: MultiPress Berlink E         Date: Statistical Deformation         Brite: Statistical Deformation           Balan: MultiPress Berlink E         Date: Statistical Deformation         Brite: Statistical Deformation           Balan: MultiPress Berlink E         Date: Statistical Deformation         Brite: Statistical Deformation           Balan: MultiPress Berlink E         Click         Statistical Deformation           Balan: MultiPress Berlink E         Click         Statistical Deformation	Total	232,108		221 800		221,800	2211 M00	
aniar WUNDYHE BYYNN E Das It UR2020 Parker SUB PARKER	Preferential Land	0		a				
Spect VERY ALMANULENTIME (VHVI)         Deadler, Reason (VERX)         Reason (VERX) <threason (verx)<="" th="">         Reason (VERX)         <threaso< td=""><td></td><td></td><td>Tr</td><td>ranafer Informati</td><td>on</td><td></td><td></td><td></td></threaso<></threason>			Tr	ranafer Informati	on			
Barlie:         Marce do 192003         Prior:         <	Batlan MURPREE BRYAN E		Date: D1	CONCERNING STREET		Price	× \$340,080	
Types KERS ANALISENETY-OFHIR         Date: Statistic restriction         Based: Statistic restriction         Based: Statistic restriction         Processing           Based: Statistic restriction         Date: Statistic restriction         Processing			Deedt	04180 00315				
Service RD/SIR, 6UXELX 800/SIRV C Type. MOX2 LABO/SIRV C         Date: 0500/1981 Date: 0500/1983         Mice: 304,001 Date: 0500/1983           Partice Reward Ascessments:         Classic         Percent of the participant of the partipant of the participant of the participant of the par		HY M						
Types. NMXS LEMENTH REPROVADIO         Deadle. TribleD CRIMIN         Deadle.           Examplian Information         Examplian Information         Deadle.           Partial Record Advectories         Other         Chronic October Chronic October Maile         Other Chronic October Chronic October Chronicober Chronic October Chronic October Chronicober C								
Examption Information Partial Receipt Assessments County One Coo Receipt One C								
Partial Receipt Assessments         Class         0701/00/23         0701/00/23           Causing Name         000         0.00         0.00           Baselinguid Sensinguid         000         0.00         0.00	The second second second				the second		200	
Causing         OB         6.00           State         000         0.00           Benefaged         000         0.000 0.00	0.02220.000.000000	1000	6.30	ing tion into the		1107 C	22-32-1	
Name 005 5.05 Wardogad 005 5.050 5.050.00 5.050.00								
Burdagad 000 0.000 0.000 0.000 0.000 0.000								
						00.00	0.0005.00	
							-	
Homestead Application Information			Homester	ad Application In	formation	1		
Hameshad Application Status: No. Application		1215						

Homeowners' Tax Credit Application Balas: No Application

Date

## Salisbury Historic District Commission

## **Hearing Notification**

Hearing Date:	June 28, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-13
Commission Considering:	Siding
Owner's Name:	Sylvere Florestal
Applicant Name:	Byron Cordon
Agent/Contractor:	Not Indicated
Subject Property Address:	104 W Chestnut St
Historic District:	Newtown Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Distoric District Commission 125 N. Division Street Room 202 Salisbury, MD 21801 (410) 548-3170/ fax (410) 548-3107	Permit Application \$50 Fee Received5/16/23(date)
Date Submitted: 5/16/23 Date Accepted as Complete: 5/30/23 Subject Location: 104 W Chestnut St. Jalisbury, MD Application by: Byron Cordon Applicant Address: 302 & Main St. Fruitland, MD 21826 Applicant Phone: 4/10-726-7907 /410-805-9070	Case #: 23-13 Action Required By (45 days): 7/14/23 Owner Name: You Yuns Florestal Owner Address: 104 W Chestnut St. Solsbury, MC Owner Phone: Owner Email: Yflorestal a gmail. com
Work Involves:AlterationsNew ConstructionSign DESCRIPTION OF WORK PROPOSED (Please be specific material, color, dimensions, etc. must accompany application method of attachment, position on building, size and front line other signs on building, and a layout of the sign.	Awning Estimated Cost Awning Estimated Cost Awning Estimated Cost Awning Estimate Cost Awning Estimated Cost Awning Est

other signs on building, and a layout of the sign.

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. \_\_\_\_Yes\_\_\_\_No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? \_\_\_Yes\_\_\_No If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

# See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on <u>June 28th</u>, 2023 (date).

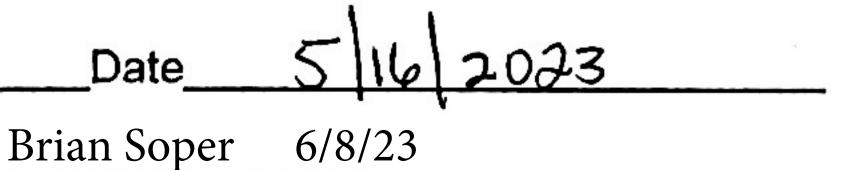
I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Jessica Budd 6/8/23

Applicant's

Signature\_

Application Processor (Date)



Secretary, S.H.D.C. (Date)







# STERLING G











Bid Date: 5/16/23

**BID NUMBER: 9153849** 

## STERLI

## BID PROPOSAL STERLING GRAY ENCORE

UNIT PRICE

#### PREPARED FOR: 544508

BMD CONSTRUCTION LLC (512) 606 W MAIN ST FRUITLAND, MD 21826

Telephone: 410-805-9070

## **BRANCH LOCATION: 0512**

SALISBURY BRANCH BEACON BUILDING PRODUCTS 505 MARVEL ROAD SALISBURY, MD 21801 Telephone: 410-860-2800 Sls id: 5TD Ent Ini: 3TT

DISCOUNT NET UNIT PRICE EXTENDED PRICE

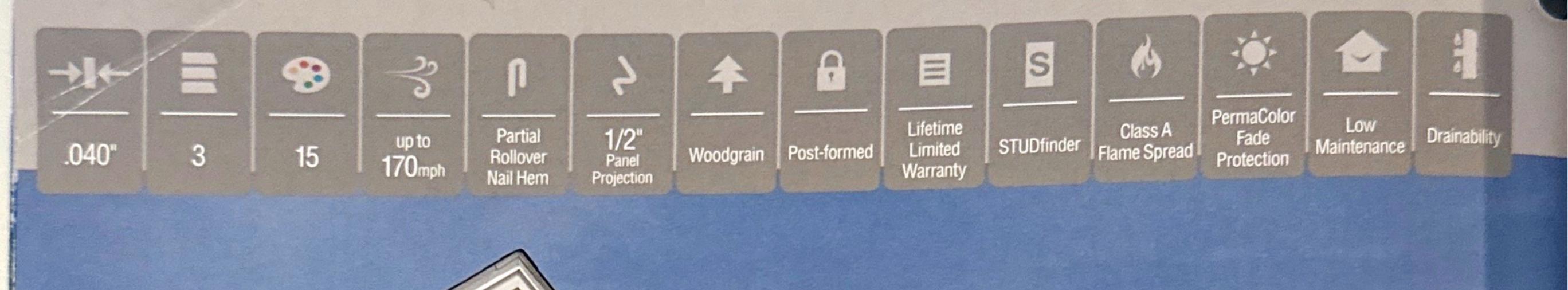
#### LINE QUANTITY DESCRIPTION

Valid Until

Thursday, June 15, 2023

	QUANTIN			Diocoon		
10	350	PC CER ENCORE D45DL WG STERL GRAY ( .0909 SQ Per PC ) 22PCS/CTN 11PCS/SQ 4311933 WOLVERINE	SQ 9.15PC		100.6800	3,203.46
20	96	PC CER J CHANL 1/2 1"F STER GRAY 48/CTN STERLING GRAY 5030533 DO NOT MIX	PC		6.3600	610.56
30	30	PC TRI ALUM STARTER STRIP 3"X10' ALSS10TB	PC		5.7900	173.70
40	18	BDL TRI FANFOLD XPS EXT 1/4" Q250 Q250 2SQ/BDL 68BN/PLT TRI BUILT	BDL		54.3000	977.40
				Fuel	Surcharge	60.00
				Other	r Charges Total	60.00
EXTE WHER ORD ALL QUAN PROJ FOR LIST BE	NT THAT TH E PROJECT QUOTES ARE DEFICIT FR TITIES AND ECT, IT IS ACCURACY. ED QUANTIT REPOSIBLE STOCK, SPE	SED THAT BEACON CAN ONLY HONOR A MANU E MANUFACTURER HONORS ITS QUOTE TO BE PRICING IS BASED ON FULL TRUCKLOAD QU BE SOLD AT THE FULL TRUCK PRICE. SUBJECT TO FREIGHT, MATERIAL/FUEL SU EIGHT FEES FOR PARTIAL TRUCKS SHIPMEN MATERIAL LISTED ARE BASED ON OUR INT THE CUSTOMERS'S RESPONSIBILITY TOREV IES ARE ESTIMATES ONLY. BEACON BUILDI FOR OVERAGES OR SHORTAGES ON THE QUAN CIAL ORDER MATERIAL CANNOT BE RETURNE CE THE PROJECT QUOTE # WHEN PLACING F	ACON. ANTITIES; WARE IRCHARGES, HAZM TS. PERPRETATION OF TEW ALL PLANS ING PRODUCTS WI TITIES PROVIDE D TO A BEACON	HOUSE AT FEES, THE AND SPECS LL NOT BE D. FACILITY.		
					Subtotal:	5,025.12
				F	Tax:	297.91
					Bid Total:	5,323.03

# Encorem





Siding: Encore Double 4" Clapboard in Castle Stone. Trim: Vinyl Carpentry<sup>®</sup> & Restoration Millwork<sup>®</sup>.

70

TRI-BUILT® MATERIALS GROUP, LLC www.tribuiltmaterialsgroup.com | 1-800-516-1485



# TRI-BUILT® EPS FAN FOLD

# USES

TRI-BUILT<sup>\*</sup> EPS Fan Fold underlayment insulation, when installed properly, is designed to further reduce drafts and energy loss by eliminating seams and cracks on the wall, creating a total wall insulating system.

TRI-BUILT<sup>®</sup> EPS Fan Fold is manufactured out of expanded polystyrene laminated with a durable copolymer film in one continuous sheet measuring 4 feet in height by 24 feet in overall length. It is scored every 2 feet giving it its fan fold property.

# **R-VALUES**

3/8" thick = 1.5 R-value 1/2" thick = 2.0 R-value 3/4" thick = 3.0 R-value

# **SYSTEM R-VALUE\*\***

3/8" thick = 4.9 R-value 1/2" thick = 5.4 R-value 3/4" thick = 6.4 R-value

TRI-BUILT \*EPS Fan Fold is ideal in re-cover applications, as well as single ply roof applications that employ mechanically fastened TPO, PVC, EPDM and CSPE membranes. Consult local building codes and membrane manufacturer for system requirements.

The EPS core meets or exceeds the requirements of ASTM C-578, Standard Specification for Rigid, Cellular Polystyrene Thermal Insulation. Fan Fold also has excellent compressive strength, dimensional stability, and water resistant properties.

Fan Fold is not a vapor barrier. It provides permeability which allows wall cavities to breathe, thus reducing the risk of condensation within the wall. Fan Fold provides great value as a leveling board, insulator and air infiltration barrier.

Warranty Information

R-values stated above are at 75 degrees F.

R-values actually increase as the temperature goes down.

\*R-values based on data from the ASHRAE Handbook of Fundamentals 1993, Chapter 22

\*\* System R-value includes 3/4" foil lined air space (ASHRAE, Chapter 22)

Permeance

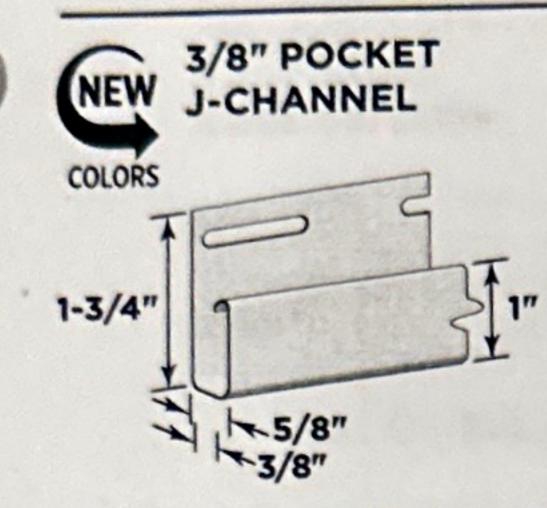
5.0 water vapor permeance of 1" thickness, max. perm Test Method ASTM E96

MATERIAL CONFORMS WITH THE UNIFORM BUILDING CODE, BOCA; THE BASIC BUILDING CODE, ICBO; THE STANDARD BUILDING CODE, SBCC; AND HAS FHA ACCEPTANCE.

Plastic foam products are considered flammable when exposed to fire and should be used in accordance with applicable building code requirements.

TRI-BUILT<sup>\*</sup> MATERIALS GROUP, LLC EPS products are warranted only as follows: The seller will replace, without charge, products proved to have manufacturing defects within 6 months of the date of delivery thereof and provided Seller has been given an opportunity to inspect the product alleged to be defective and the installation of use thereof. NO WARRANTY IS INCLUDED AGAINST ANY EXPENSE FOR REMOVAL, REINSTALLATION OR OTHER CONSEQUENTIAL DAMAGES ARISING FROM ANY DEFECT. THE WARRANTIES SET OUT ABOVE ARE THE ONLY WARRANTIES MADE BY SELLER AND ARE EXPRESSLY IN LIEU OF ALL OTHER WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

# Vinyl Carpentry' Accessories



**J-Channel** 

Product Code: 50306 Finish: Matte Length: 12' 6" Channel/ Pocket Height: 3/8" Back Height: 5/8" Pieces/Ctn.: 48 Lin. Ft. /Ctn.: 600 Cartons/Pallet: 30 Ibs./Ctn.: ≤ 55

For use with Beaded Triple 2" Soffit and with CERTAPlank Siding as a sill trim.

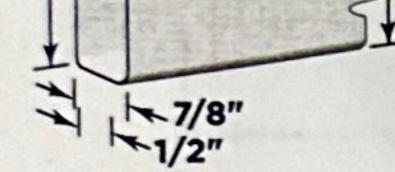
J-CHA	NNEL
1-3/4"	I I I

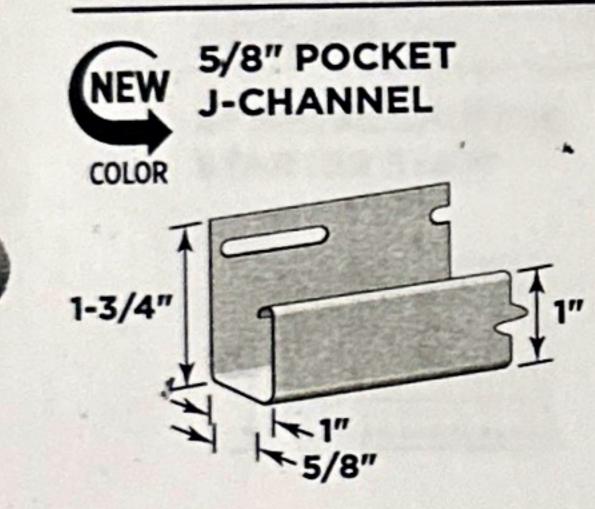
\* \*

1/2" POCKET

Product Code: 50305 Finish: Matte Length: 12' 6" Channel/ Pocket Height: 1/2" Back Height: 7/8"

	Product Code	50306 3/8" Pocket J-Channel	50305 1/2" Pocket J-Channel	50310 5/8" Pocket J-Channel	50303 3/4" Pocket J-Channel	50309 3/4" Pocket Flexible J- Channel
	Colonial White (01)	•	•	•	•	
	White (62)	A Charge		1	1 Alth	•
2ª	Autumn Red (23)		•	•	•	and the second
	Autumny Yellow (10)		•	•	•	1111
	Bermuda Blue (26)	*	E Seals	1222	•	and the
	Brownstone (40)		•	•	•	14
	Buckskin (41)		•	•	•	Constant of
	Castle Stone (37)	*	•	•	•	
	Cedar Blend Solid* (48)			1-3-5	+	
	Charcoal Gray (46)	*	•	•	•	
	Cypress (42)	1997	•	•	•	1 State
	Desert Tan (07)	•	•	•	•	Section 2
	Espresso (43)	A Real	•	•	•	and the second
	Flagstone (97)	*	•	•	•	The second second
	Forest (47)	*	•	•	•	
	Granite Gray (34)	*	•	•	•	the second
1	Hearthstone (19)	1. 2. 1 V	•	•	•	A BARREN
	Heritage Cream (11)	1916	•	•	•	
	Herringbone (04)	E#	•	•	•	
~	Light Maple (55)	1.57	•	•	•	THE OWNER OF THE OWNER
OLOF	Melrose (39)		•	•	•	
Ŭ	Midnight Blue (45)		•	•	•	COLOR STREET
	Mountain Cedar (17)	a series	•	•	•	
and and a	Natural Clay. (60)	•	•	•	•	the second
	Olive Grove (84)	The second	•	•	•	
	Oxford Blue (32)		•	•	•	and the second
ALL IN	Pacific Blue (27)	*	•	•	•	PERSONAL PROPERTY
	Sable Brown (29)		•	•	•	A REPORT
	Sandstone Beige (15)	•	•	•	•	
	Savannah Wicker (59)	•	•	•	·	Constant of
	Seagrass (30)		•	•	•	1.285.0
	Slate (44)		•	•		WARDON MAN
	Smoky Gray (83)		•	•	•	
	Snow (31)	•	•.	•	•	-
	Spruce (16)		•	•	•	State South
80.5						

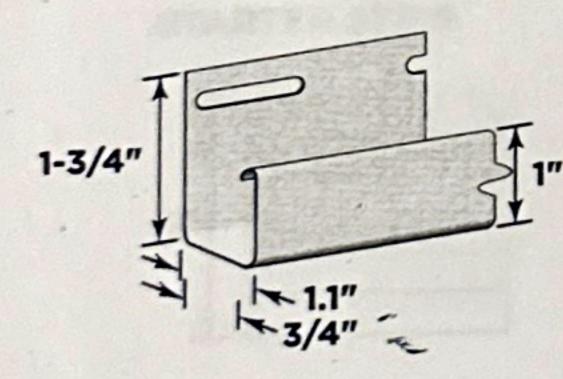




## Pieces/Ctn.: 48 Lin. Ft. /Ctn.: 600 Cartons/Pallet: 30 Ibs./Ctn.: $\leq 58$

Product Code: 50310 'Finish: Matte Length: 12' 6" Channel/ Pocket Height: 5/8" Back Height: 1" Pieces/Ctn.: 48 Lin. Ft. /Ctn.: 600 Cartons/Pallet: '30 Ibs./Ctn.: ≤ 60

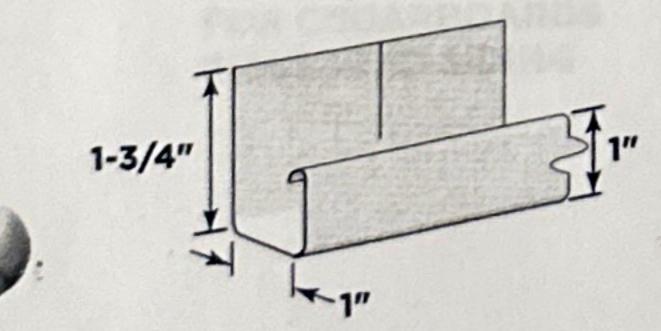
## 3/4" POCKET J-CHANNEL



Product Code: 50303 Finish: Matte Length: 12' 6" Channel/ Pocket Height: 3/4" Back Height: 1.1" Pieces/Ctn.: 48 Lin. Ft. /Ctn.: 600

# Cartons/Pallet: 25 Ibs./Ctn.: ≤ 61

3/4" POCKET FLEXIBLE J-CHANNEL



Product Code: 50309 Finish: Matte Length: 12'6" Channel/ Pocket Height: 3/4" Back Height: 1" Pieces/Ctn.: 10 Lin. Ft. /Ctn.: 125 Cartons,/Pallet: 50 Ibs./Ctn.: ≤ 20

108	Sterling Gray (33)	-		-	chart and and	Carriero and	STREET, STREET
<b>H</b>	Tuxedo (56)		•			•	
No.	Weathered Wood (90)		•			•	
	Wedgewood Blue (89)		•			•	S
	Arbor Blend (57)				-	+	a second second
PREMIUM	: Black (54)	1 and	+	+ *	+		100222
	Frontier Blend (51)					*	
	Musket Brown (49)		•			See.	

★ NEW COLOR ★ SOLID COLOR + Soffit Use Only

\* Solid color accessory: Cedar Blend Solid use with Cedar Blend panels

Recommended accessory colors for Monogram Blends The following colors are the best comparable trim options: Natural Blend = Buckskin, Cedar Blend = Cedar Blend Solid, Natural Blend = Granite Gray or Charcoal Gray, Rustic Blend = Sable Brown, Driftwood Blend = Granite Gray or Charcoal Gray, Rustic Blend = Sable Brown, Weathered Blend = Weathered Wood

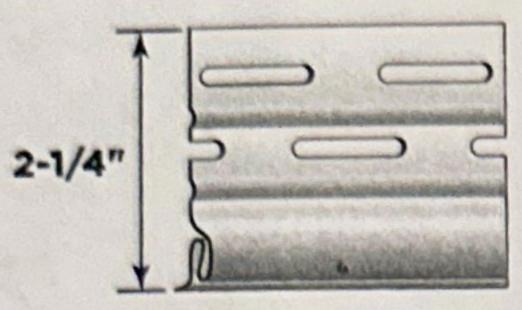
> For more information call 800-233-8990 www.certainteed.com

, 39

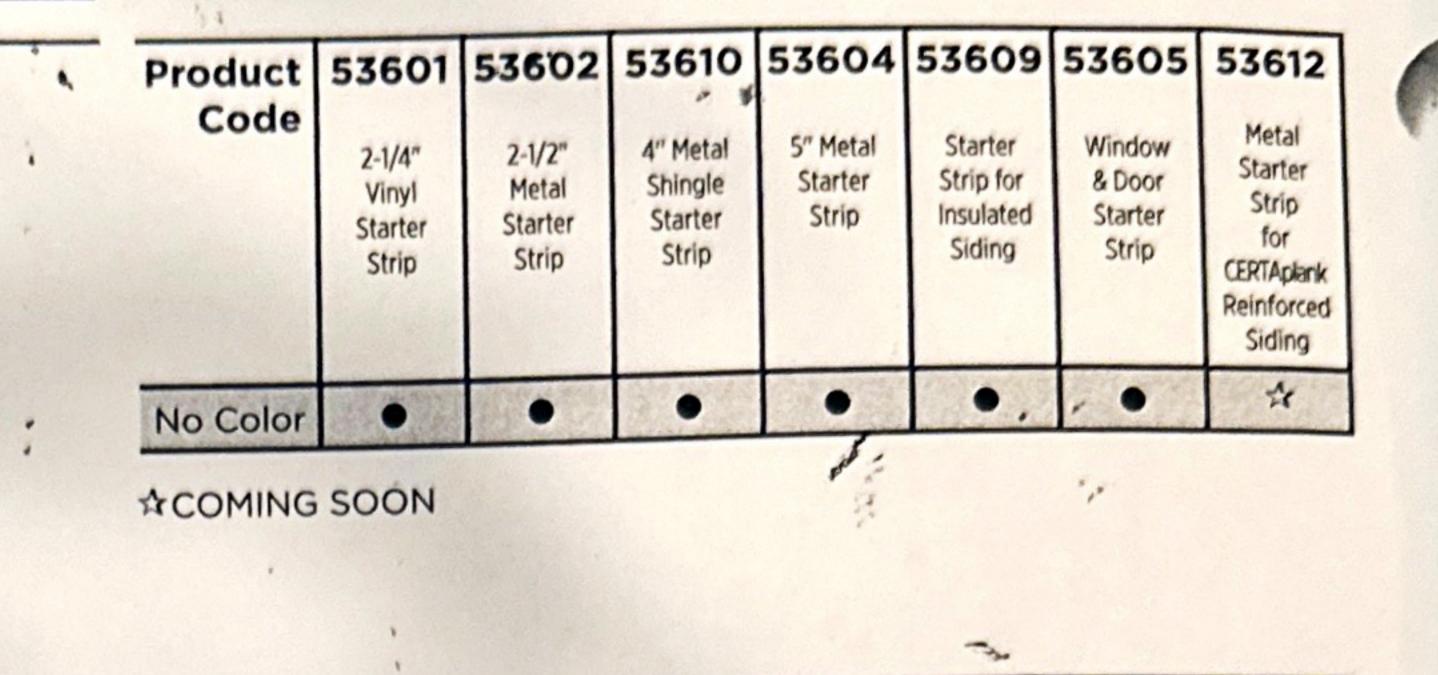
F+

# **Starter Strips**

# 2-1/4" VINYL STARTER STRIP



Product Code: 53601 Finish: Matte Length: 12'6" Width: 2-1/4" Pieces/Ctn.: 40 Lin.Ft./Ctn.: 500 Cartons/Pallet: 30 Ibs./Ctn.: ≤ 59



For use with all sidings except Cedar Impressions, CedarBoards, Monogram and Monogram XL.

# 2-1/2" METAL STARTER STRIP

Product Code: 53602 Finish: Mill Length: 10'

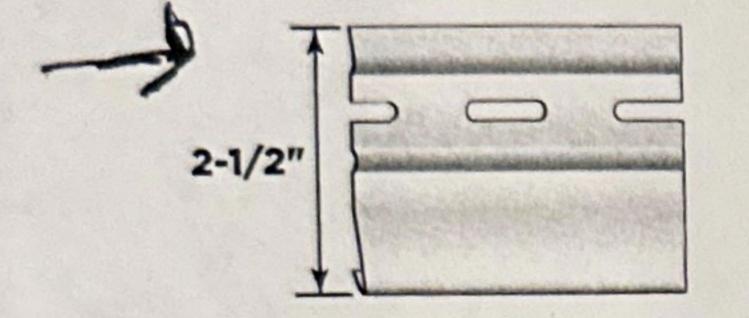
# WINDOW & DOOR STARTER STRIP

For use with lineals

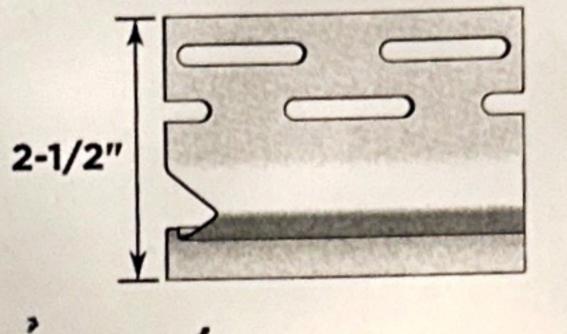
# Product Code: 53605 Finish: Matte Length: 10' Pieces/Ctn.: 36

1 3

Vinyl Carpentry<sup>®</sup> Accessories



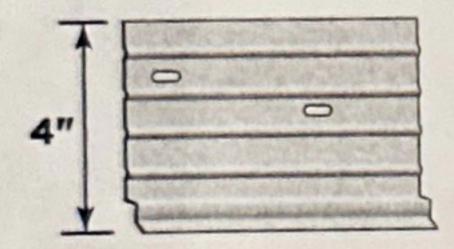
Width: 2-1/2''Pieces/Ctn.: 50 Lin. Ft. /Ctn.: 500 Cartons/Pallet: 35 Ibs./Ctn.:  $\leq 75$ 



Lin. Ft. /Ctn.: 360 Cartons/Pallet: 27 Ibs./Ctn.: ≤ 35

For use with all sidings except Cedar Impressions, and CedarBoards.

# 4" METAL SHINGLE STARTER STRIP

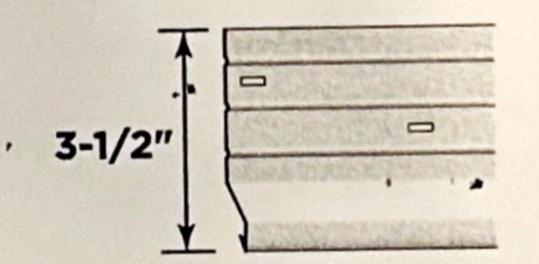


Product Code: 53610 Finish: Mill Length: 10' Width: 4" Pieces/Ctn.: 25 Lin. Ft. /Ctn.: 250 Cartons/Pallet: 35 Ibs./Ctn.:  $\leq$  78



. 14

G METAL STARTER STRIP FOR CERTAPLANK REINFORCED SIDING



Product Code: 53612 Finish: Mill & Length: 10' Width: 3-1/2" Pieces/Ctn.: 25 Lin. Ft./Ctn.: 250'

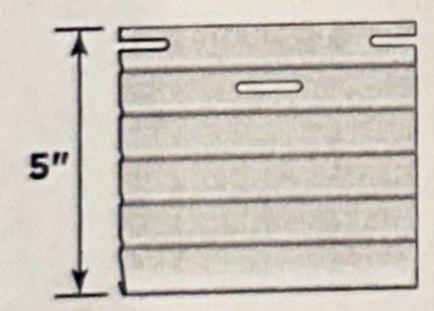
4 .

Cartons/Pallet: 35
 Ibs./Ctn.: 65

For use with Cedar Impressions Shake and Shingle Panels

# 5" METAL STARTER STRIP

Product Code: 53604



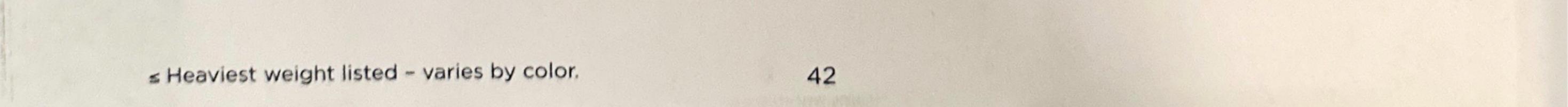
Finish: Mill Length: 10' Width: 5" Pieces/Ctn.: 25 Lin. Ft. /Ctn.: 250 Cartons/Pallet: 30 Ibs./Ctn.: ≤ 72

Remodeling Metal Starter Strip. For use with all sidings except Cedar Impressions and CedarBoards.

STARTER STRIP
FOR CEDARBOARDS
INSULATED SIDING

Product Code: 53609 Finish: Matte Length: 12' 6" Width: 3" Pieces/Ctn.: 24 Lin. Ft. /Ctn.: 300 Cartons/Pallet: 35

Ibs./Ctn.:  $\leq 44$ 



# Salisbury Historic District Commission

# **STAFF FINDINGS**

# Meeting Date: June 28, 2023

Case Number:	23-13
Commission Considering:	Siding
Applicant Name:	Byron Cordon
Applicant's Address:	<b>302 E Main St</b> Fruitland, MD 21826
Owners Name:	Yourens Florestal
Agent/Contractor: Subject Property Address:	Not Indicated 104 W. Chestnut Street
Historic District:	Newtown Historic District
Use Category:	Residential
Structure / Site Description: Built Date: Enclosed Area: Lot Size: Number of Stories:	1911 2,915 sq. ft. 5,655 sq. ft. 2
Contributing Structure:	yes
Neighboring Properties which have been deemed Contr	ibuting/Non-Contributing:

Ineigno	Neighboring Properties which have been deemed Contributing/Non-Contributing				
House #	Street Name	Hearing Date	Contributing	Non- Contributing	
109	E Chestnut St	8/28/2013		Х	
109	Walnut St	8/22/2012	Х		
115	Walnut St	1/26/2011	Х		

## Wicomico County Historic Survey on file: No

## Nearby Properties on County Survey: Yes

## **Including but not limited to:**

219 N. Division Street	Faith Community Church
302 N. Division Street	Asbury Methodist Episcopal Parsonage
321 N. Division Street	Daniel J. Whealton House

**Explanation of Request:** The applicant is requesting approval to repair damaged exterior elements on the house. These alterations include stairs replacement, porch, lights, basement door, windows etc.

### Areas of Historic Guidelines to be considered:

#### Guideline 12: Preserve Historic Wood Siding

a. Maintain and preserve existing wood siding. Keep paint intact to preserve wood features.

b. Repair damaged wood siding by replacing in-kind only the affected boards or shingles. Keep sound material in place.

c. Do not replace sound historic siding material with new materials for the sake of convenience.

#### Guideline 13: Match Existing or Historic Siding

a. Where full-scale siding replacement is necessary, match the historic or existing siding on the building. Keep the details (width of wood boards, shingle size, corner and seam details, etc.) consistent with the historic appearance.

b. When replacing non-historic siding that was inappropriately applied, chose an appropriate replacement that is consistent with buildings of the type, period, and architectural style.c. Do not cover historically uncovered masonry surfaces with siding. Siding applied to masonry surfaces has the potential to hold moisture and cause damage to the underlying wall.

#### Guideline 14: Synthetic Siding

Synthetic siding describes a siding product not made from natural materials. Vinyl, asphalt, and fiber cement board are the most commonly found synthetic siding types.

a. The use of new synthetic siding may be approved on a case by case basis if one or more of the following conditions are met.

b. Historic decorative details should not be removed or covered by synthetic siding. These details include but are not limited to cornices, window hoods, moldings, eaves, decorative shingles, and trim.

c. Synthetic siding may not be applied over historically uncovered masonry walls.

## **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd, Associate Planner I Infrastructure and Development 125 N Division Street, Suite 202 Salisbury, MD 21801 (410) 548-3170

View Map	View GroundRent Redemption		View GroundRent Registration					
Special Tax Recapture	: None							
Account Identifier:		District - 09 Acc	ount Numbe	r - 0587.	37			
		Owne	r Information	1				
Owner Name:			Use: Principal Residence:		RESIDEN NO	TIAL		
Mailing Address:		923 RIVERSIDE I SALISBURY MD		Deed F	Refer	ence:	/04799/ 0	0380
		Location & St	tructure Info	mation				
Premises Address:		104 W CHESTNU SALISBURY 2180		Legal (	Descr	iption:		5,655 SQFT IESTNUT ST GALIS
Map: Grid: Parcel: 1 0107 0008 0995 9	Neighborhood: 9030380.23	Subdivision: 0000	Section:	Block: 5	Lot: 5	Assessm 2022	ent Year:	Plat No: Plat Ref:
Town: SALISBURY								
Primary Structure Bui 1911	It Above Grad 2,915 SF	le Living Area I	Finished Base	ement A	rea	Property 5,655 SF	Land Area	County Use
Stories Basement Typ	e f	Exterior Quality I	Full/Half Bath	Garage	e Last	t Notice of	Major Imp	rovements
	NDARD UNIT /	2 1	l full/2 half	1999-1999- <del>1</del> 99				
		Value	Information					
	Bas	Base Value Value Phase-in Assessme		nents				
	Bus	e fuide	As of		of		As of	
			01/01/2022	07	/01/20	021	07/01/20	)22
Land:	16,10	00	16,100					
Improvements	25,10	00	25,100					
Total:	41,20	00	41,200	41,	200		41,200	
Preferential Land:	0		0					
		Transfe	er Informatio	n				
Seller: WHALEY CHAR	LES T &	Date: 03	3/01/2021			Pri	ice: \$20,148	Ê.
Type: NON-ARMS LEN			/04799/ 00380	0			ed2:	
Seller: JINDRACEK, RO	Y E & ARLENE	A Date: 05	5/31/2001			Pr	ice: \$85,000	0
Type: ARMS LENGTH II	MPROVED	Deed1: /	01822/00246			De	ed2:	
Seller: AMERICAN CAN	CER SOCIETY	Date: 08	8/31/1988			Pr	ice: \$65.000	)
Type: ARMS LENGTH II			/01156/ 00063			1.000	ed2:	501
		Exempt	ion Informati	on				
Partial Exempt Assess	ments:	Class		07/01/2	021		07/01/202	2
County:		000		0.00			01/00202	
State:		000		0.00				
Municipal:		000		0.00 0.	00		0.00 0.00	
Special Tax Recapture	None			10			10	
		Homestead Ar	plication Inf	ormatio				
Homestead Applicatio			-pricedion III	onnacio				

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

# Salisbury Historic District Commission

# **Hearing Notification**

Hearing Date:	June 28, 2023
Time:	7:00 pm
Location:	Government Office Building 125 N. Division Street Salisbury, MD. 21804 Room 301
Case Number:	#23-14
Commission Considering:	Solar Panels
Owner's Name:	Lucia Fuentes
Applicant Name:	Kadiedra Jarrett
Agent/Contractor:	Not Indicated
Subject Property Address:	110 E William St
Historic District:	Newtown Historic District
Use Category:	Residential
Chairman:	Mr. Scott Saxman
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170

Salisbury Historic District Commission	
125 N. Division Street Room 202 Salisbury, MD 21801 (410) 548-3170/ fax (410) 548-3107	Permit Application \$50 Fee Received(date)
Date Submitted: 5/2/2023	23-14 Case #:
Date Accepted as Complete:       5/22/23         Subject Location:       110 E William St Salisbury MD 21801         Application by:       Kadeidra Jarrett         Applicant       Address:       525 W Baseline Rd Mesa, AZ 85210         Applicant Phone:       980-285-3407	Owner Name: Lucia Fuentes Owner Address: <u>110 E William St Salisbury MD 218</u> 01 Owner Phone: <u>(410) 845-0824</u> Owner Email: luciasandoval@hotmail.es
Work Involves:AlterationsNew Constru DemolitionSign	Addition Other <u>Roof Solar</u> Awning Estimated Cost \$46,926.38
DESCRIPTION OF WORK PROPOSED (Please be spec material, color, dimensions, etc. must accompany applica method of attachment, position on building, size and front other signs on building, and a layout of the sign. Rooftop Solar Installation 9.6kW(24 panels)	ific. Attach sheet if space is inadequate) Type of tion. If signs are proposed, indicate material,

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. \_\_\_\_YesXNo

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted
Maryland Historical Trust staff?YesXNo
If you have checked "Yes" to either of the above questions, please provide a copy of your approval
letter from the Maryland Historic Trust along with this application.

# See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on June 28th, 2023 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Signature Kadeidra Garrett	Date 5/2/2023
Jessica Budd 6/8/23	Brian Soper 6/8/23
Application Processor (Date)	Secretary, S.H.D.C. (Date)







#### SCOPE OF WORK:

TO INSTALL A ROOF MOUNTED SOLAR PHOTOVOLTAIC SYSTEM AT THE OWNER RESIDENCE LOCATED AT 110 E. WILLIAM ST., SALISBURY, MD 21801, USA THE POWER GENERATED BY THE PV SYSTEM WILL BE INTERCONNECTED WITH THE UTILITY GRID THROUGH THE EXISTING ELECTRICAL SERVICE EQUIPMENT THE PV SYSTEM DOES NOT INCLUDE STORAGE BATTERIES

#### EQUIPMENT SUMMARY

- 24 HYPERION HY-DH108P8 400W MODULES
- SOLAREDGE SE7600H-US INVERTER 01
- SOLAREDGE POWER OPTIMIZERS S440 24

#### **GENERAL NOTES:**

- THESE CONSTRUCTION DOCUMENTS HAVE BEEN BASED ON FIELD INSPECTIONS AND OTHER INFORMATION AVAILABLE AT THE TIME. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS IN CONSTRUCTION DETAILS.
- ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT AT SITE.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, TOOLS, OBTAINS ALL PERMITS, LICENSES AND PAY ALL REQUIRED FEES AND COMPLETE INSTALLATION.
- CONTRACTOR HAS THE FULL RESPONSIBILITY TO CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY WORK STARTED BEFORE CONSULTATION AND ACCEPTANCE BY THE ENGINEER SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO CORRECTION BY THEM WITHOUT ADDITIONAL COMPENSATION.
- DAMAGE CAUSED TO THE EXISTING STRUCTURE, PIPES, DUCTS, WINDOWS, WALL, FLOORS, ETC. SHALL BE REPAIRED TO THE ORIGINAL CONDITION OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK WITH APPROVED MATERIALS.
- NO CHANGES ARE TO BE MADE WITHOUT THE CONSULTATION AND APPROVAL OF THE ARCHITECT.
- CONTRACTOR SHALL OBTAIN BUILDING PERMIT. NO WORK TO START UNLESS BUILDING PERMIT IS PROPERLY DISPLAYED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE OF FIRST QUALITY AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE MD BUILDING CODE, THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ALL PERTINENT AGENCIES.
- IT IS ESSENTIAL THAT ALL WORK PROCEED WITH THE MAXIMUM COOPERATION OF ALL PARTIES AND WITH MINIMUM INTERFERENCE TO THE OCCUPANTS WITHIN THE BUILDING. THE OWNER'S DIRECTIONS IN THIS REGARD SHALL BE FULLY COMPLIED WITH.
- ALL EXPOSED PLUMBING, HVAC, ELECTRICAL DUCTWORK, PIPING AND CONDUITS ARE TO BE PAINTED BY GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM THE WORK IN STRICT CONFORMANCE WITH THE LOCAL LAWS, REGULATIONS AND THE NATIONAL ELECTRIC CODE.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, AFFIDAVITS, CERTIFICATIONS, ETC. AND PAY ALL FEES AS REQUIRED BY THE LOCAL AUTHORITIES.
  - CONTRACTORS SHALL OBTAIN FIRE CERTIF. UPON COMPLETION OF WORK.

#### **ELECTRICAL NOTES:**

- THE EQUIPMENT AND ALL ASSOCIATED WIRING AND INTERCONNECTION SHALL BE INSTALLED ONLY BY QUALIFIED PEOPLE. A QUALIFIED PERSON IS ONE WHO HAS SKILLS AND KNOWLEDGE RELATED TO THE CONSTRUCTION AND OPERATION OF THE ELECTRICAL EQUIPMENT AND INSTALLATIONS AND HAS RECEIVED SAFETY TRAINING TO RECOGNIZE AND AVOID THE HAZARDS INVOLVED. (NEC 690.4(C), NEC 2017)
- LOCAL UTILITY PROVIDER SHALL BE NOTIFIED PRIOR TO USE AND ACTIVATION OF ANY SOLAR PHOTOVOLTAIC INSTALLATION. FOR A LINE SIDE TAP CONNECTION, UTILITY NEEDS TO BE NOTIFIED WELL IN ADVANCE TO COORDINATE BUILDING ELECTRICAL SHUT OFF.
- NEW CONDUIT ROUTING SHOWN IS ESSENTIALLY SCHEMATIC. SUBCONTRACTOR SHALL LAY OUT RUNS TO SUIT FIELD CONDITIONS AND THE COORDINATION REQUIREMENTS OF OTHER TRADES.
- ARRAY WIRING SHOULD NOT BE READILY ACCESSIBLE EXCEPT TO QUALIFIED PERSONNEL.
- ALL EXTERIOR CONDUIT, FITTINGS, AND BOXES SHALL BE WATERTIGHT AND APPROVED FOR USE IN WET LOCATIONS. (NEC 690), NEC 2017.
- WIRING METHODS FOR PV SYSTEM CONDUCTORS AREN'T PERMITTED WITHIN 10 IN. OF THE ROOF DECKING OR SHEATHING EXCEPT WHERE LOCATED DIRECTLY BELOW THE ROOF SURFACE THAT'S COVERED BY PV MODULES AND ASSOCIATED EQUIPMENT WIRING
- BACK-FED BREAKER MUST BE AT THE OPPOSITE END OF BUS BAR FROM THE MAIN BREAKER OR MAIN LUG SUPPLYING CURRENT FROM THE UTILITIES. ALL CONDUCTORS AND WIRE TIES EXPOSED TO SUNLIGHT ARE LISTED AS UV RESISTANT.
- CONTRACTOR SHALL FOLLOW ALL ELECTRICAL EQUIPMENT LABELING REQUIREMENTS IN NEC 690
- PV SOURCE, OUTPUT AND INVERTER CIRCUITS SHALL BE IDENTIFIED AT ALL POINTS OF TERMINATION, CONNECTION, AND SPLICES. THE MEANS OF ID CAN BE SEPARATE COLOR CODING, MARKING TAPE, TAGGING ETC. (NEC 690.4), NEC 2017.
- MEASURE THE LINE-TO-LINE AND LINE-TO-NEUTRAL VOLTAGE OF ALL SERVICE ENTRANCE CONDUCTORS PRIOR TO INSTALLING ANY SOLAR EQUIPMENT. THE VOLTAGES FOR THE 240VAC RATED.

# **PROJECT DESCRIPTION:**

24 X 400 HYPERION HY-DH108P8 400W MODULES ROOF MOUNTED SOLAR PHOTOVOLTAIC MODULES

SYSTEM SIZE:9.60 kW DC STC ARRAY AREA: ROOF#1 - 147.07 SQ FT ARRAY AREA: ROOF#2 - 105.05 SQ FT ARRAY AREA: ROOF#3 - 252.12 SQ FT AUTHORITIES HAVING JURISDICTION BUILDING : SALISBURY CITY ZONING : SALISBURY CITY UTILITY

: DELMARVA POWER

## **APPLICABLE CODES & STANDARDS:**

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL FIRE CODE 2017 NATIONAL ELECTRICAL CODE

DESIGN CRITERIA				
WIND SPEED	117 MPH VULT			
RISK CATEGORY	II			
EXPOSURE CATEGORY	С			
MOUNTING METHOD	ROOF MOUNT			
GROUND SNOW LOAD	20 PSF			

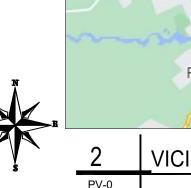
#### WIRING AND CONDUIT NOTES:

- ALL CONDUIT SIZES AND TYPES, SHALL BE LISTED FOR ITS PURPOSE AND APPROVED FOR THE SITE APPLICATIONS
- ALL PV CABLES AND HOMERUN WIRES BE #10AWG \*USE-2. PV WIRE. OR PROPRIETARY SOLAR CABLING SPECIFIED BY MFR. OR EQUIVALENT; ROUTED TO SOURCE CIRCUIT COMBINER BOXES AS REQUIRED
- ALL CONDUCTORS AND OCPD SIZES AND TYPES SPECIFIED ACCORDING TO [NEC 690.8 (A)(1) & (B)(1)], [NEC 240] [NEC 690.7] FOR MULTIPLE CONDUCTORS
- ALL PV DC CONDUCTORS IN CONDUIT EXPOSED TO SUNLIGHT SHALL BE DERATED ACCORDING TO [NEC TABLE 310.15 (B)(2)(C)] BLACK ONLY\*\*
- EXPOSED ROOF PV DC CONDUCTORS SHALL BE USE-2, 90°C RATED, WET AND UV RESISTANT, AND UL LISTED RATED FOR 600V, UV RATED SPIRAL WRAP SHALL BE USED TO PROTECT WIRE FROM SHARP EDGES
- 4-WIRE DELTA CONNECTED SYSTEMS HAVE THE PHASE WITH THE HIGHER VOLTAGE TO GROUND MARKED ORANGE OR IDENTIFIED BY OTHER EFFECTIVE MEANS
- ALL SOURCE CIRCUITS SHALL HAVE INDIVIDUAL SOURCE CIRCUIT PROTECTION
- **VOLTAGE DROP LIMITED TO 2%**
- AC CONDUCTORS >4AWG COLOR CODED OR MARKED: PHASE A OR L1- BLACK, PHASE B OR L2- RED, PHASE C OR L3- BLUE, NEUTRAL- WHITE/GRAY



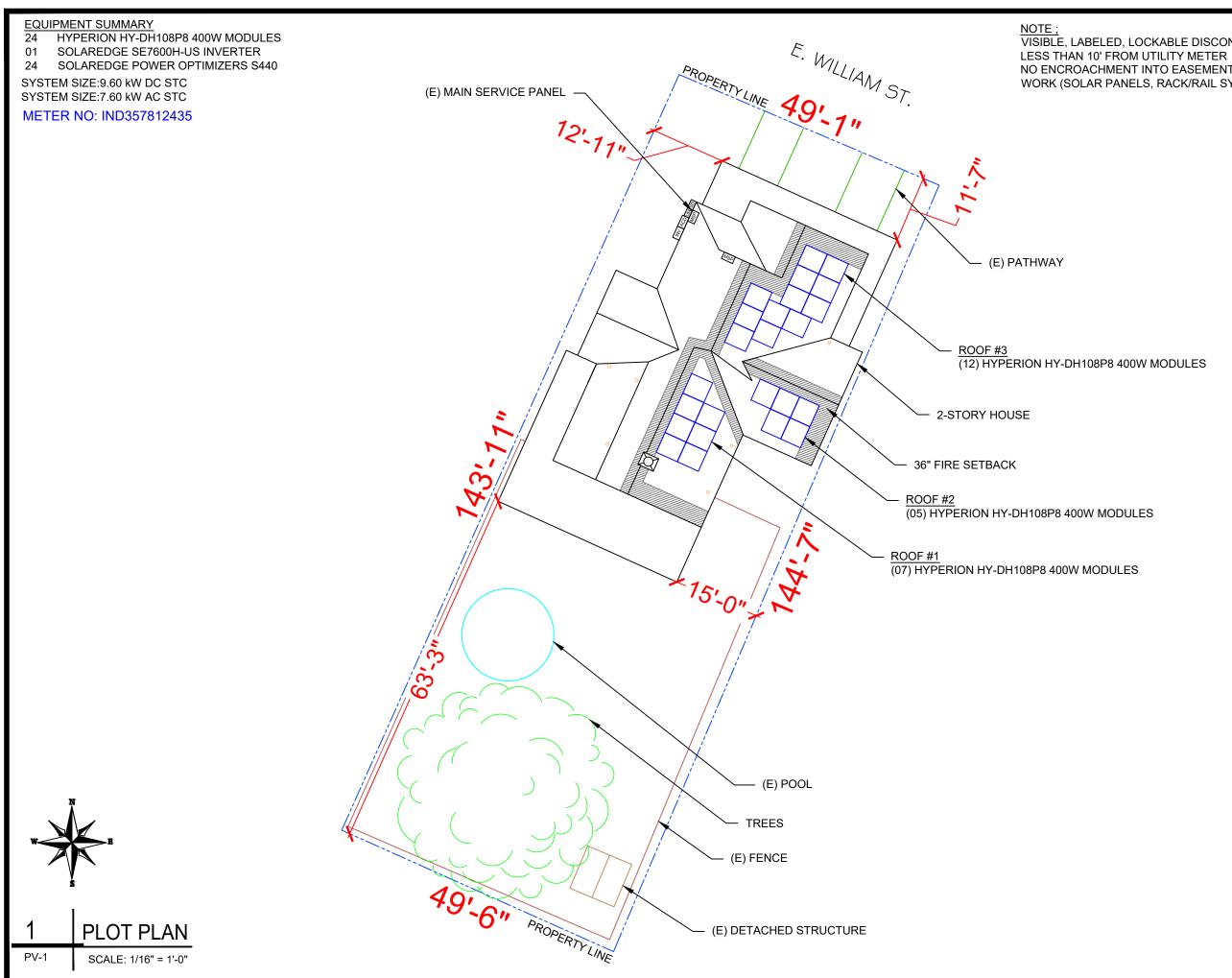
Hebron

ARRAY LOCATION



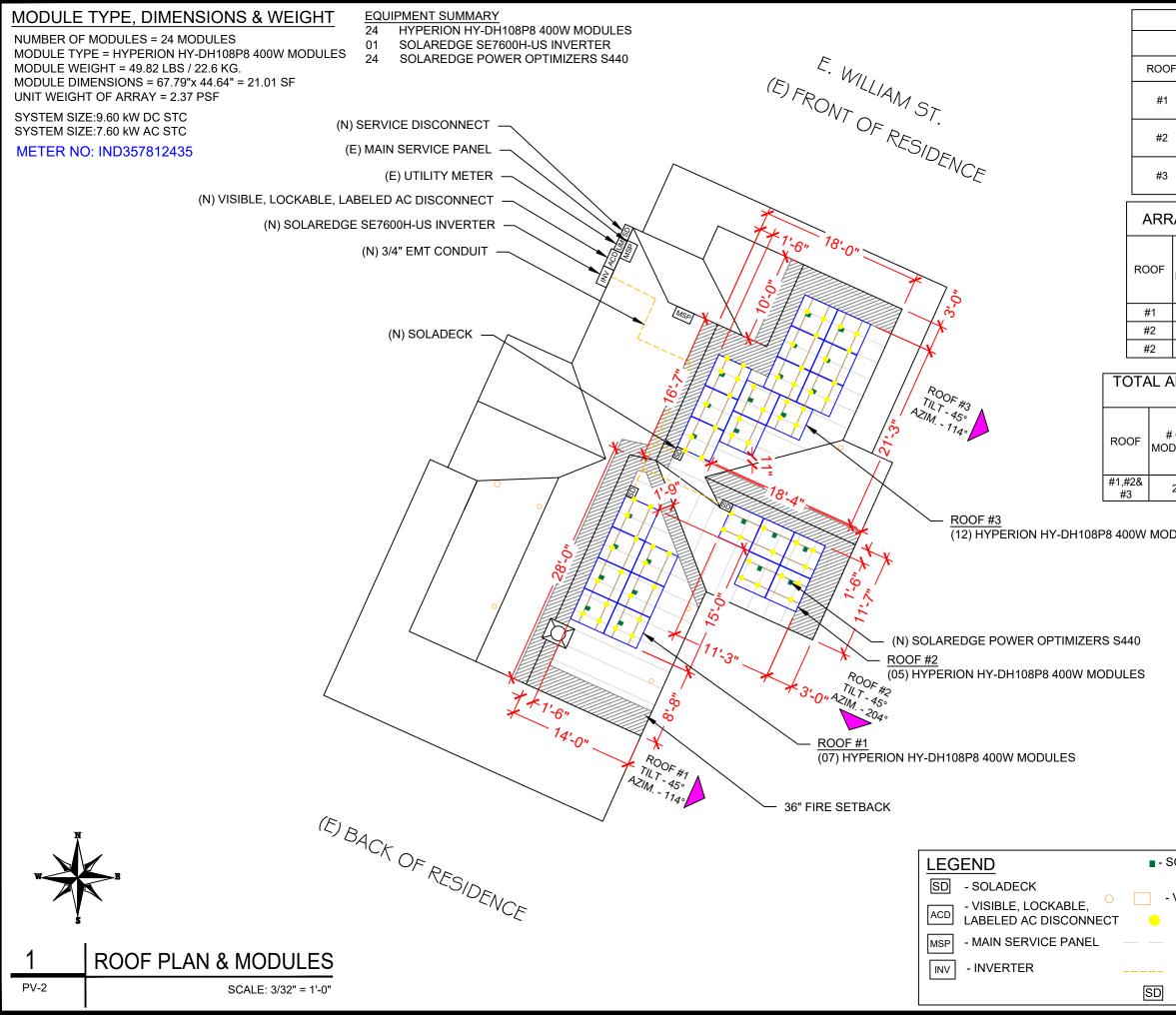
SHEET IND PV-0 PV-1 PV-2 PV-2A PV-3 PV-4 to 4A PV-5 PV-6 to 6A PV-7 PV-8 to 14

COVER SHEET PLOT PLAN & MODULES STRING LAYOUT ATTACHMENT DETAIL ELECTRICAL LINE DIAGRAM WIRING CACULATIONS JOB SAFETY PLAN EQUIPMENT SPECIFICATIONS					
	PLOT PLAN ROOF PLAN & MODULES STRING LAYOUT ATTACHMENT DETAIL ELECTRICAL LINE DIAGRAM WIRING CALCULATIONS WARNING LABELS & PLACARDS JOB SAFETY PLAN	160 N MCC GILBERT, AZ PHONE: (80 TITAN SOL	UEEN RD, 2 85233, USA 18) 371-5338 AR POWER		
DATE: 03/23/2023 DATE: 03/23/2023 PROJECT NAME & ADDRESS DATE: 05/23/2023 PROJECT NAME & ADDRESS SCALE: NTS PROJECT SITE SCALE: NTS PROJECT SITE SALISBURY, MD 21801 TS WEET NAME SHEET NAME COVER SHEET SHEET SIZE ANSI B 1" X 17" SHEET NUMBER			-		
DATE: 03/23/2023 DATE: 03/23/2023 PROJECT NAME & ADDRESS DATE: 05/23/2023 PROJECT NAME & ADDRESS SCALE: NTS PROJECT SITE SCALE: NTS PROJECT SITE SALISBURY, MD 21801 TS WEET NAME SHEET NAME COVER SHEET SHEET SIZE ANSI B 1" X 17" SHEET NUMBER					
PROJECT NAME & ADDRESS		SIGNATURE	WITH SEAL		
SCALE: NTS SCALE: NTS PROJECT SITE Saliphore. WILLIAMSST, SALISBURY, MD 21801 TO BHEET NAME COVER SHEET SHEET NAME		DATE: 03/23/2023			
Salifio E. WILLIAM ST., SALISBURY, MD 21801 Tuitland 12 SHEET NAME COVER SHEET SHEET SIZE ANSI B 11" X 17" SHEET NUMBER		PROJECT NAM	IE & ADDRESS		
Salifio E. WILLIAM ST., SALISBURY, MD 21801 Tuitland 12 SHEET NAME COVER SHEET SHEET SIZE ANSI B 11" X 17" SHEET NUMBER					
Salifio E. WILLIAM ST., SALISBURY, MD 21801 Tuitland 12 SHEET NAME COVER SHEET SHEET SIZE ANSI B 11" X 17" SHEET NUMBER	JSE PHOTO	S Ш Ш	1 ST., 2180 <sup>-</sup> 3824		
Salifio E. WILLIAM ST., SALISBURY, MD 21801 Tuitland 12 SHEET NAME COVER SHEET SHEET SIZE ANSI B 11" X 17" SHEET NUMBER			LLIAN Y, MD ) 845-(		
Tuitland 12 SHEET NAME SHEET NAME COVER SHEET SHEET SIZE ANSI B 11" X 17" SHEET NUMBER		LUCIA FI RESID	110 E. WI SALISBUR PH#∴(410		
SALISBURY, MD 21801 Fruitland 12 SHEET SIZE ANSI B 11" X 17" SHEET NUMBER	50 Parsons White Plains				
Fruitland 12 SHEET SIZE ANSI B 11" X 17" SHEET NUMBER	SALISBURY MD 21801				
ANSI B 11" X 17" SHEET NUMBER					
	Fruitland (12)	AN	SI B		
SCALE: NTS PV-0					

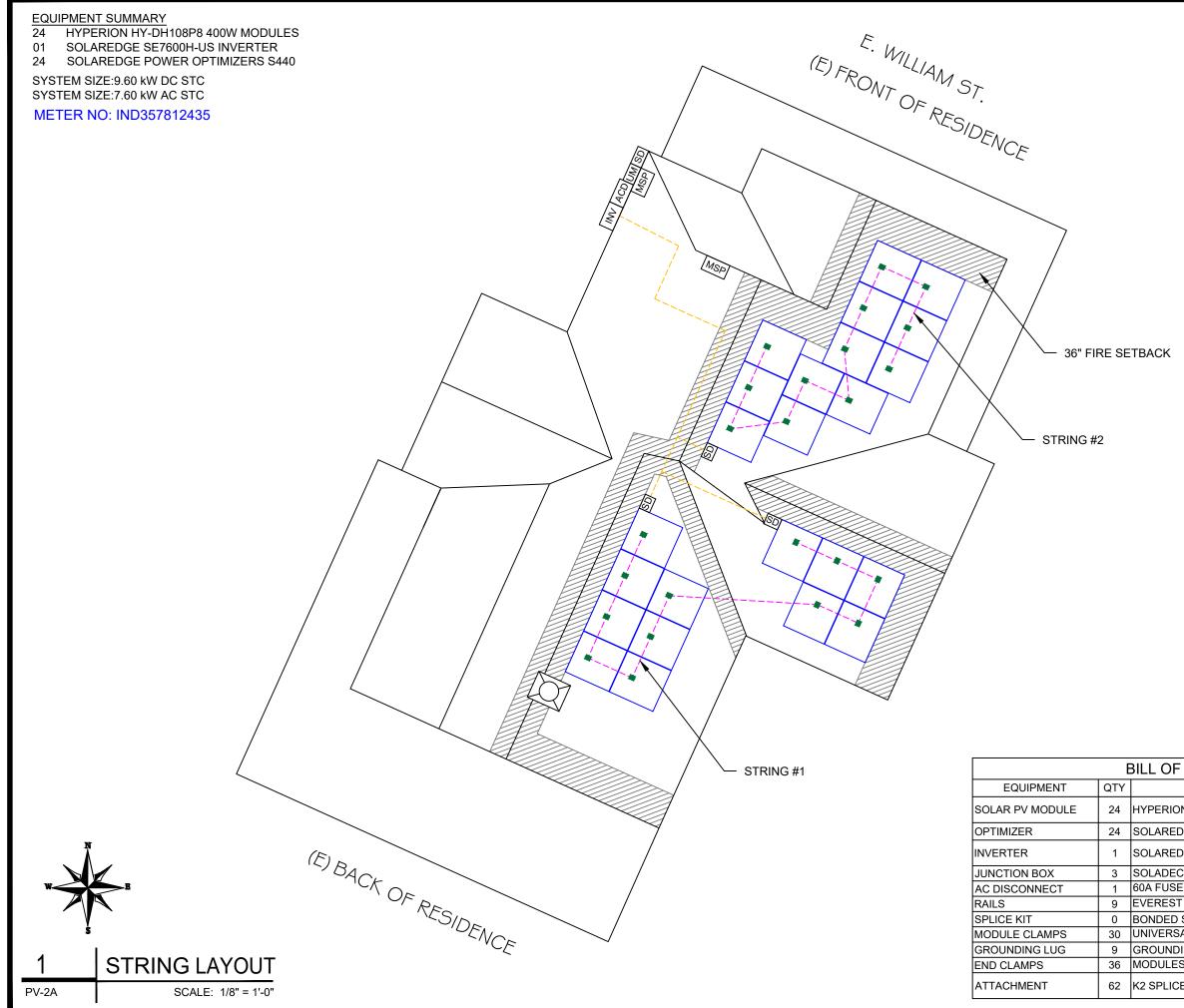


# VISIBLE, LABELED, LOCKABLE DISCONNECT LOCATED NO ENCROACHMENT INTO EASEMENTS BY NEW SCOPE OF WORK (SOLAR PANELS, RACK/RAIL SYSTEMS & EQUIPMENT).

TITAN SOLAR POWER 160 N MCQUEEN RD, GILBERT, AZ 85233, USA PHONE: (808) 371-5338 TITAN SOLAR POWER				
CONTRACTOR LIC	C# 14480 AND 1	50562		
REV	ISIONS			
DESCRIPTION	DATE	REV		
		+		
		+		
	+			
SIGNATURE	E WITH SEA	L		
DATE: 0	03/23/2023			
PROJECT NA	ME & ADDF	RESS		
LUCIA FUENTES RESIDENCE 110 E. WILLIAM ST., SALISBURY, MD 21801 PH#.:(410) 845-0824				
SHEET NAME PLOT PLAN				
SHEET SIZE				
AN	ANSI B 11" X 17"			
SHEET	NUMBER			

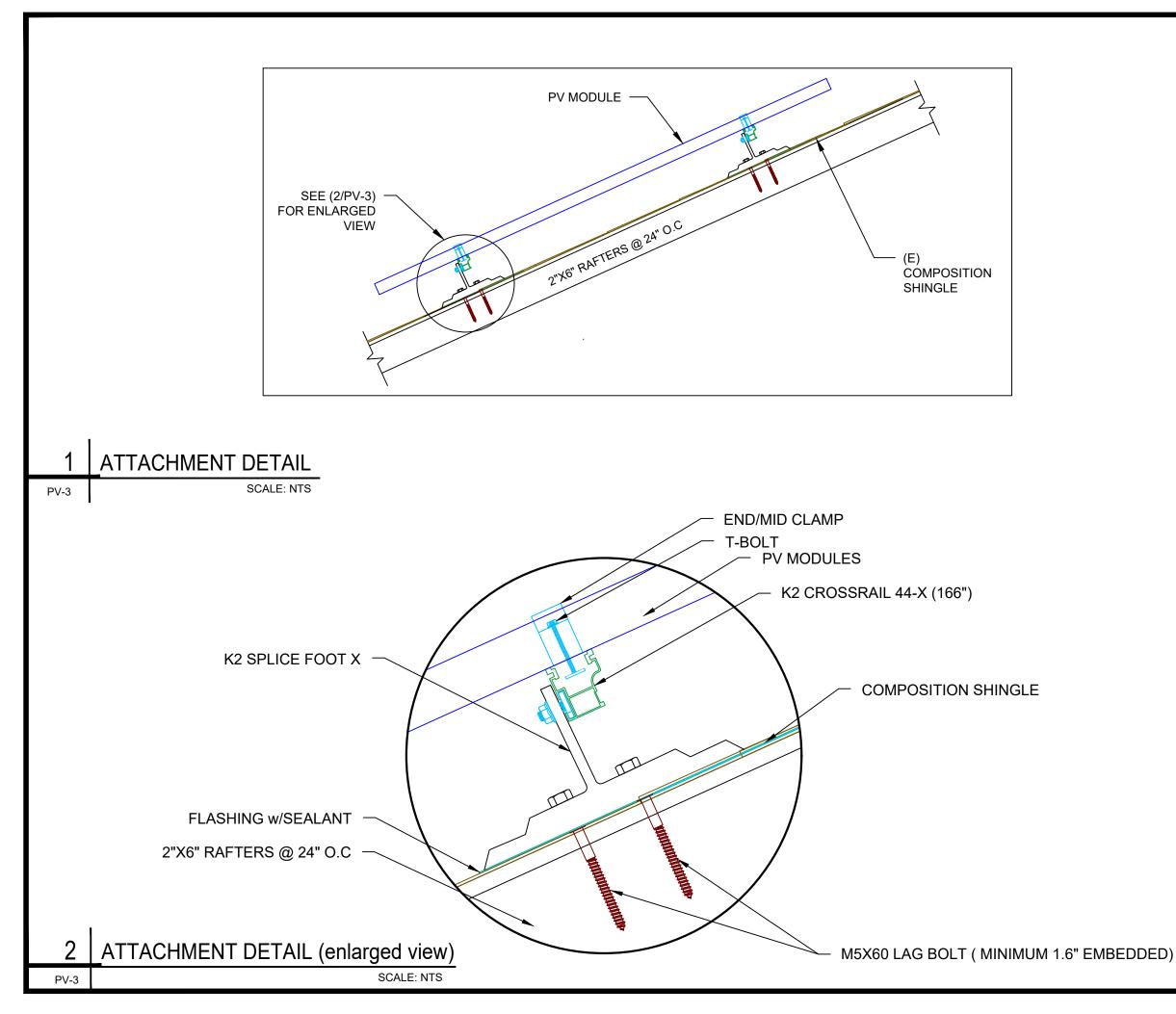


								_				
		ROO	F DES	SCI	RIPTI	ON						
ROOF TYPE				COMPOSITION SHINGLE					6			
OOF ROOF AZIMUTH		RAFT SIZ	ER	RAFTER				))				
#1 45° 114°								AR POWER				
#2		45°	204°		2"X6"		TERS @ 24" .C		GIL PH	BERT, AZ IONE: (80	UEEN RD, 2 85233, USA 8) 371-5338	
#3		45°	114°		-					-	AR POW # 14480 AND 15	
RF	RAY	AREA	4 & R(	00	F AR	EA	CALC'S			REVIS	SIONS	
)F		OF DULES	ARRA AREA (Sq. F	A	ROOF ROOF AREA AREA COVERED (Sq. Ft.) BY ARRAY (%)			DESC	RIPTION	DATE	REV	
		07	147.0	7	340	.16	43					
		05	105.0	5	206	.09	51					
		12	252.1	2	356	.13	71		SIG	NATURE	WITH SEA	_
_	ARR	AR	REA 8 EA CA	4LC			G ROOF			DATE: 03	3/23/2023	
NODULES		S A	RRAY REA q. Ft.)	A			DTAL ROOF A COVERED ARRAY (%)		PROJ	ECT NAM	IE & ADDRI	ESS
24 504.24 21		21	29.54		24							
MODULES HYPERION HH#:(410) 845-0824												
- SOLAREDGE POWER OPTIMIZER								<sup>NAME</sup> PLAN 8	k			
							SHEE					
- VENT, ATTIC FAN (ROOF OBSTRUCTION) - ROOF ATTACHMENT							ANS					
RAFTERS								K 17"				
								/- <u>2</u>				
D - SERVICE DISCONNECT								-				

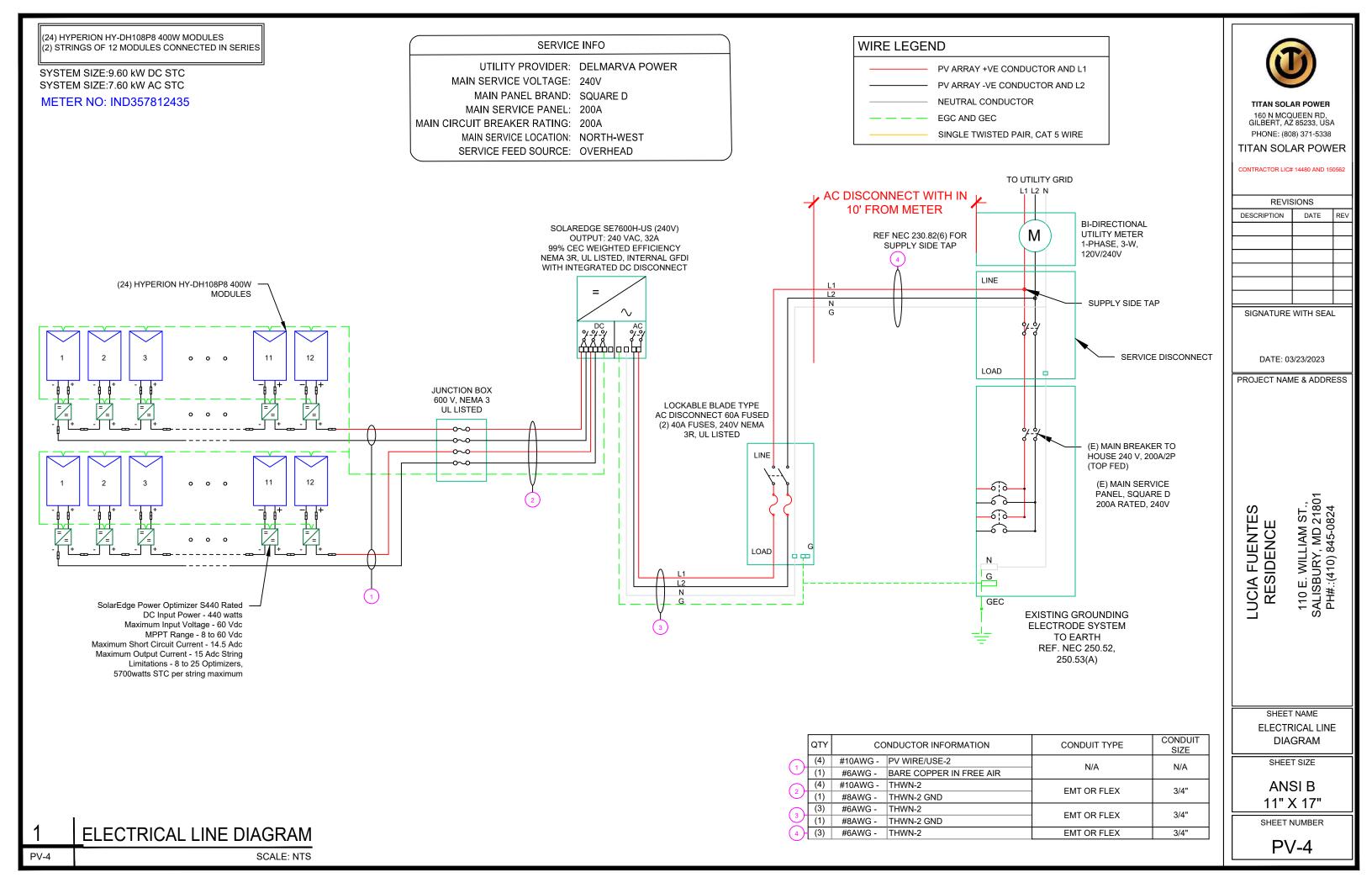


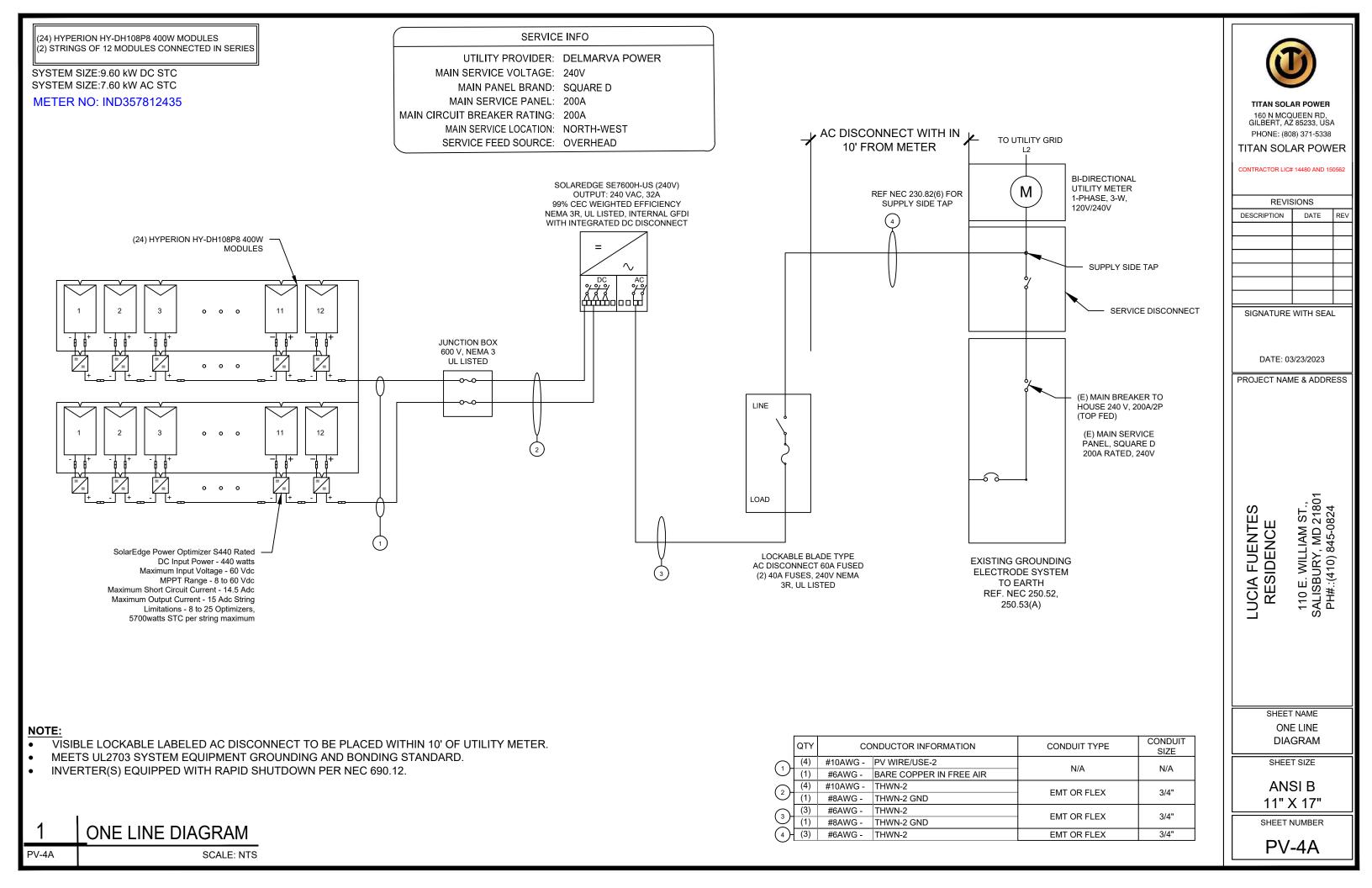
160 N MC GILBERT, A PHONE: (8 TITAN SOL	TITAN SOLAR POWER 160 N MCQUEEN RD, GILBERT, AZ 85233, USA PHONE: (808) 371-5338 TITAN SOLAR POWER CONTRACTOR LIC# 14480 AND 150562				
DESCRIPTION	DATE	REV			
		$\left  \right $			
	+				
	1	+			
	1				
SIGNATURE	E WITH SEA	L			
DATE: 0	03/23/2023 ME & ADDF	ESS			
LUCIA FUENTES RESIDENCE	TI 110 E. WILLIAM ST., SALISBURY, MD 21801				
SHEET NAME STRING					
LAYOUT					
SHEET SIZE					
ANSI B 11" X 17"					
SHEET NUMBER					
PV	′-2A				

MATERIALS
DESCRIPTION
N HY-DH108P8 400W MODULES
DGE POWER OPTIMIZERS S440
DGE SE7600H-US INVERTER
CKS 600 V, NEMA 3R UL LISTED
ED (2) 40A FUSES, 240V, NEMA 3R, UL LISTED
T CROSSRAIL 44-X (166")
SPLICE
AL FASTENING OBJECT(UFO)
DING LUG
S CLAMPS ( END CLAMPS)
E FOOT X ATTACHMENT



160 N MC GILBERT, A PHONE: (8 TITAN SOI	TITAN SOLAR POWER         TITAN SOLAR POWER         GILBERT, AZ 85233, USA         PHONE: (808) 371-5338         TITAN SOLAR POWER         CONTRACTOR LIC# 14480 AND 150562         REVISIONS         DESCRIPTION       DATE       REV         Image: Imag				
SIGNATUR	E WITH SEA	L			
DATE: (	)3/23/2023				
PROJECT NA	ME & ADDR	ESS			
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 PH# :/410) 845-0824				
ATTAC	SHEET NAME ATTACHMENT DETAIL				
	ET SIZE				
ANSI B 11" X 17"					
P	V-3				





SOLAR MODULE SPECIFICATIONS				
MANUFACTURER / MODEL #	HYPERION HY-DH108P8 400W			
VMP	31.01V			
IMP	12.90A			
VOC	37.07V			
ISC	13.79A			
TEMP. COEFF. VOC	-0.304%/°C			
PTC RATING	371.7W			
MODULE DIMENSION	67.97"L x 44.64"W x 1.37"D (In Inch)			

INVERTER #	1 SPECIFICATIONS
MANUFACTURER / MODEL #	SOLAREDGE SE7600H-US
NOMINAL AC POWER	7.6 KW
NOMINAL OUTPUT VOLTAGE	240 VAC
NOMINAL OUTPUT CURRENT	32.0 A

POWER OPTIMIZER (OPTIMIZER S440-2NM4ARS)				
MAXIMUM INPUT POWER	440W			
MINIMUM INPUT VOLTAGE	8 VDC			
MAXIMUM INPUT VOLTAGE	60VDC			
MAXIMUM MODULE ISC	14.5 ADC			
MAXIMUM OUTPUT CURRENT	15 ADC			

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
0.80	4-6
0.70	7-9
0.50	10-20

AMBIENT TEMPERATURE SPE	<u>ics</u>
RECORD LOW TEMP	-10°
AMBIENT TEMP (HIGH TEMP 2%)	34°
CONDUIT HEIGHT	0.5"
ROOF TOP TEMP	90°
CONDUCTOR TEMPERATURE RATE	56°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.304%/°C

## DC CONDUCTOR AMPACITY CALCULATIONS: ARRAY TO JUNCTION BOX:

EXPECTED WIRE TEMP (In Celsius)	34°		
TEMP. CORRECTION PER TABLE (310.16)	0.96		
NO. OF CURRENT CARRYING CONDUCTORS	4		
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a)	0.80		
CIRCUIT CONDUCTOR SIZE (AWG)	10		
CIRCUIT CONDUCTOR AMPACITY (A)	40		
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B) 1.25 X lsc (A)	18.75		
DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.16			
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a) X CIRCUIT CONDUCTOR AMPACITY (A)	- 30.72		
Result should be greater than (18.75A) otherwise less the entry for circuit conductor size and ampacity			

# DC CONDUCTOR AMPACITY CALCULATIONS: FROM JUNCTION BOX TO INVERTER:

	<u> </u>		
AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT, PER NEC 310.15(B)(2)(c)	22°		
EXPECTED WIRE TEMP (In Celsius)	34°+22° = 56°		
TEMP. CORRECTION PER TABLE (310.16)	0.71		
NO. OF CURRENT CARRYING CONDUCTORS	4		
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a)	0.80		
CIRCUIT CONDUCTOR SIZE (AWG)	10		
CIRCUIT CONDUCTOR AMPACITY (A)	40		
REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B) 1.25 X lsc (A)	18.75		
DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.16			
CONDUIT FILL CORRECTION PER NEC 310.15(B)(2)(a) X CIRCUIT CONDUCTOR AMPACITY (A)	22.72		
Result should be greater than (18.75A) otherwise less the entry for circuit conductor size and amp			

# AC CONDUCTOR AMI

REQUIRED CIRCUIT CONDUCTOR AMP/ 1.25 X lsc (A) DERATED AMPACITY OF CIRCUIT CONE 310.16 TEMP. CORRECTION PER TABLE (310.1) CONDUIT FILL CORRECTION PER NEC 3 CONDUCTOR AMPACITY (A) Result should be greater than (40.00A) othe and ampacity

1.) ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.

2.) ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.

3.) WIRING, CONDUIT, AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO, AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.

4.) WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.

5.) DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.

6.) WHERE SIZES OF SOLADECK, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.

7.) ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.

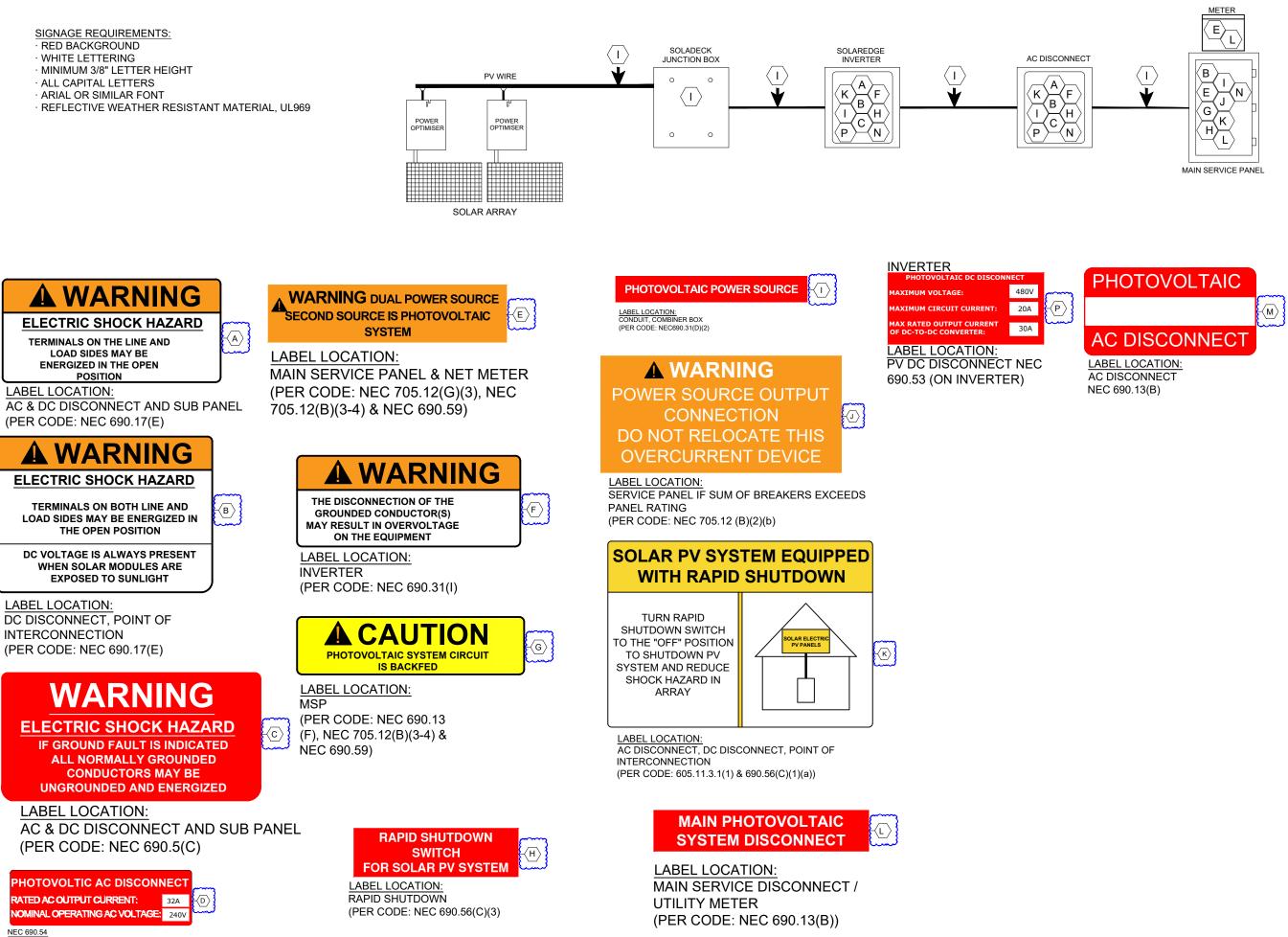
8.) MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION.

9.) MODULE SUPPORT RAIL TO BE BONDED TO CONTINUOUS COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.

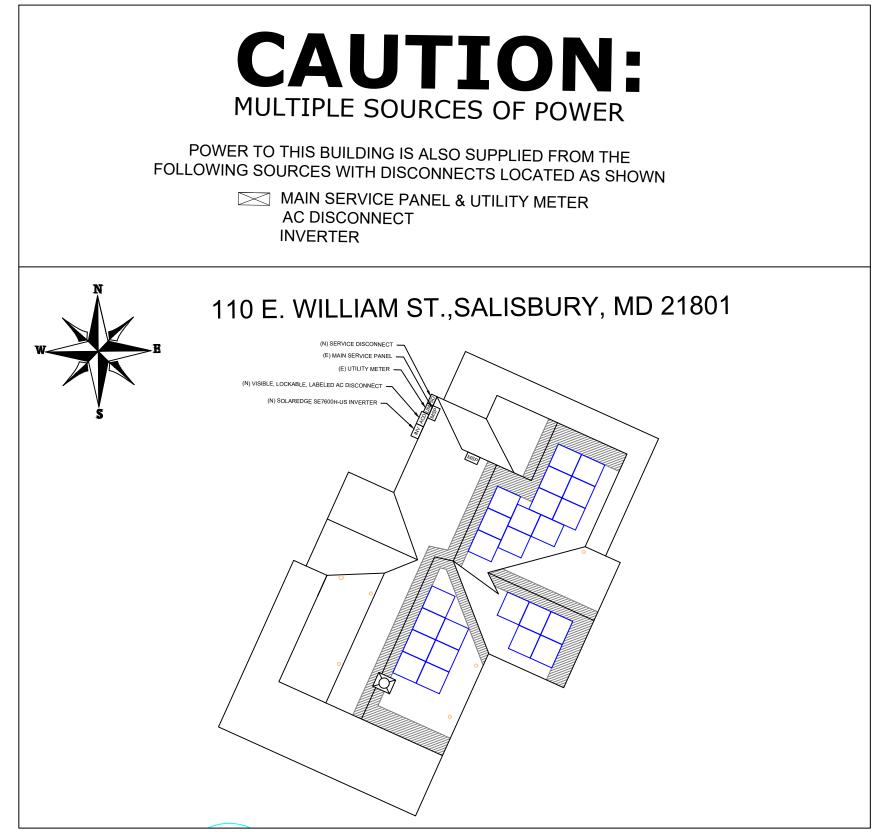
10.) THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE

IPACITY CALCULATIONS:				
	1			
	34°			
16)	0.94			
TORS	3			
310.15(B)(2)(a)	1			
	6AWG			
	65			
PACITY PER NEC 690.8(A&B)	40			
DUCTOR PER NEC TABLE				
16) X 310.15(B)(2)(a) X CIRCUIT	61.10			
nerwise less the entry for circuit conductor size				





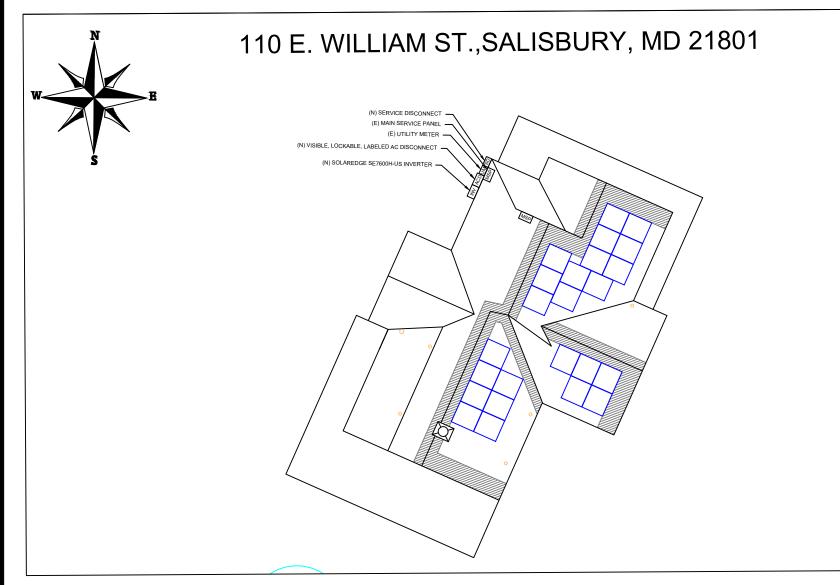




PER CODE(S): NEC 2017: 705.10 + 710.10

160 N MCC GILBERT, A PHONE: (8 TITAN SOL	<b>AR POWER</b> QUEEN RD, Z 85233, USA 08) 371-5338 <b>AR POWER</b> 3# 14480 AND 150562
	ISIONS
DESCRIPTION	DATE REV
SIGNATURE	E WITH SEAL
	03/23/2023
PROJECT NA	ME & ADDRESS
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 PH#.:(410) 845-0824
SHEE	ET SIZE
	SI B X 17"
SHEET	NUMBER
PV	′-6A

# JOB SAFETY PLAN



LOCATION OF NEAREST URGENT CARE FACILITY NAME: ADDRESS:

PHONE NUMBER:

# NOTES:

· INSTALLER SHALL DRAW IN DESIGNATED SAFETY AREA AROUND HOME

OF NEAREST URGENT CARE FACILITY RELATIVE TO THE JOB SITE **BEFORE STARTING WORK.** 

PRINT NAME	INITIAL	YES	NO

PER CODE(S): NEC 2017: 705.10 + 710.10

# · INSTALLER SHALL UPDATE NAME, ADDRESS, AND PHONE NUMBER







# HY-DH108F

Fire Resistance

#### High conversion efficiency

Module efficiency up to 21.0% achieved through advanced cell technology and manufacturing process

Excellent weak light performance

More power output in weak light condition, such as cloudy, morning and sunset

Extended mechanical performance Ρα

Module certified to withstand extreme wind (2400 Pa) and snow loads (5400 Pa)

 $(\bigcirc$ 

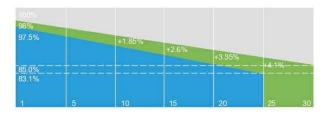
0

#### Quality guarantee

High module quality ensures long-term reliability

390-410W

HY-DH108P8 108 HALF-CELL BIFACIAL MODULE



First year power degradation

12 Years

warranty for materials and processing

warranty for extra 30 Years linear power output

Annual power degradation



info@hyperion-usa.com Producer Address: Amata City Industrial Estate, Mapyangphon Subdistrict, Pluak Daeng District, Rayong Province, Thailand

# ©Copyright 2021 HYPERION HY-DH108P8-En-V1.0

Solar Cell No. of Cells Dimensions Weight 28 Cable Cross Section Size Long frame Junction Box Output Cables Front/Back Glass Grounding holes 8 places Container 15 Max. System Voltage Short frame Mounting holes 8 places Operating Temperature Unit: mm Max. Fuse Rated Current Drain holes 8 places Front Static Load(snow,wind) Back Static Load(wind) 1134±2 30±1 Bifaciality

Electrical Characteristics

Maximum Power at STC (Pmax)	410W	405W	400W	
Optimum Operating Voltage (Vmp)	31.45V	31.21V	31.01V	
Optimum Operating Current (Imp)	13.04A	12.98A	12.90A	
Open Circuit Voltage (Voc)	37.32V	37.23V	37.07V	
Short Circuit Current (Isc)	13.95A	13.87A	13.79A	
Module Efficiency	21.0%	20.7%	20.5%	
Operating Module Temperature	-40 °C to +85	°C	Maximum S	Series F
Maximum System Voltage	1500 V DC (IE	EC)	Power Tole	erance

#### NMOT

Maximum Power at NMOT (Pmax)	309.4W	305.8W	302.2W	
Optimum Operating Voltage (Vmp)	29.2V	29.0V	28.8V	
Optimum Operating Current (Imp)	10.67A	10.63A	10.58A	
Open Circuit Voltage (Voc)	35.21V	35.00V	34.77V	
Short Circuit Current (Isc)	11.22A	11.18A	11.13A	

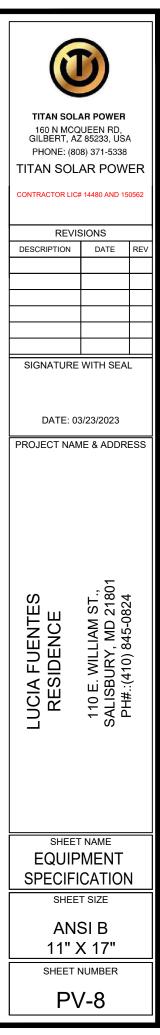
## Irradiance 800 W/m<sup>2</sup>, ambient temperature 20 °C, AM=1.5, wind speed 1 m/s.

5%	15%	25%	
425W	466W	506W	Ci
31.41V	31.41V	31.40V	16
13.59A	14.88A	16.18A	14
37.22V	37.23V	37.23V	12
14.48A	15.86A	17.24A	(E)
21.68%	23.74%	25.81%	• •
21.00/0	23.1470	23.0176	
	425W 31.41V 13.59A 37.22V 14.48A	425W         466W           31.41V         31.41V           13.59A         14.88A           37.22V         37.23V           14.48A         15.86A	425W         466W         506W           31.41V         31.41V         31.40V           13.59A         14.88A         16.18A           37.22V         37.23V         37.23V           14.48A         15.86A         17.24A

### **Temperature Characteristics**

Nominal Module Operating Temperature (NMOT)	42 ± 2 °C
Nominal Cell Operating Temperature	45 ± 2 °C
Temperature Coefficient of Pmax	-0.36%/°C
Temperature Coefficient of Voc	-0.304%/°C
Temperature Coefficient of Isc	0.050%/°C

			aracterist	ics
	Mono PERC 18	z mm		
	108 (6 × 18)	005.1		
	1722±2 × 1134±	:2 × 35±11	nm 	
	22.6kg (±3%) 4mm <sup>2</sup> (IEC), 12 A	WG(UL)		
	IP68 rated (3 by		is)	
	Portrait: (-)350 r in length or cust 2.0mm AR Temp 2.0mm Semi-tem	nm and (+ omized ler	160 mm igth	
	36 pcs/Pallet, 9	36 pcs/ 40'	HQ	
	0	perating	Paramete	ers
	DC 1500V			
	-40 C ~+85 C			
	30A			
d)	5400Pa(112lb/ft	2)		
	2400Pa(50lb/ft2)			
	70%±10%			
	UL Type 29			
	395W	390V	V	
	30.84V	30.64	V	
	12.81A	12.73	A	
	36.98V	36.85	V	
	13.70A	13.61	A	
-	20.2%	20.09	6	
	ise Rating	25 A		
e		0/+5	vv	
	298.5W	294.8		
	28.6V	28.4		
	10.53A 34.61V	10.47 34.43		
	11.08A	54.43 11.02		
	11.00A	11.02		
on	t)			
011	( <b>)</b>			
Cur	rent-Voltage & Pov	ver-Voltage	Curve (410S	)
_				450
		1		400
		/7		300
				250 2
		/		200 mg
	X			100
1			11	- 50
		20 8e (V)	30	40 40
_	1090 W/m <sup>2</sup> 800 W/m <sup>2</sup>		2 W/mF ==== 2 06 W/m <sup>2</sup>	



# **Single Phase Inverter** with HD-Wave Technology

# for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US



# Optimized installation with HD-Wave technology

- I Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- I Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- Fixed voltage inverter for longer strings
- *I* Integrated arc fault protection and rapid shutdown for NEC 2014, NEC 2017 and NEC 2020 per article 690.11 and 690.12

- / UL1741 SA certified, for CPUC Rule 21 grid compliance
- / Small, lightweight, and easy to install both outdoors or indoors
- / Built-in module-level monitoring
- / Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)



**NVERTERS** 

# / Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/ SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER		SEXXXXH-XXXXBXX4						
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage MinNomMax. (211 - 240 - 264)	×	<b>v</b>	~	<ul> <li></li> </ul>	~	~	1	Vac
AC Output Voltage MinNomMax. (183 - 208 - 229)	2	~	-	~	2	-	1	Vac
AC Frequency (Nominal)		59.3 - 60 - 60.5%						
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	2	Ŧ	48.5	A
Power Factor			1	Adjustable - 0.85 to	0.85			
GFDI Threshold				1				A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds				Yes				
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750			15500	W
Transformer-less, Ungrounded				Yes				
Maximum Input Voltage				480			-	Vdc
Nominal DC Input Voltage			380			400	0	Vdc
Maximum Input Current @240V <sup>2)</sup>	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V <sup>(2)</sup>	=	9	5.	13.5		-	27	Adc
Max. Input Short Circuit Current				45				Adc
Reverse-Polarity Protection				Yes				
Ground-Fault Isolation Detection				600ko Sensitivity				
Maximum Inverter Efficiency	99			g	9.2			%
CEC Weighted Efficiency	-			99			99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption				< 2,5				W

For other regional settings please contact SolarEdge support
 A higher current source may be used; the inverter will limit its input current to the values stated

solaredge.com



TITAN SOLAR POWER 160 N MCQUEEN RD, GILBERT, AZ 85233, USA PHONE: (808) 371-5338

TITAN SOLAR POWER

#### CONTRACTOR LIC# 14480 AND 150562

REVIS	SIONS	
DESCRIPTION	DATE	REV
SIGNATURE	WITH SEAI	L
DATE: 03	8/23/2023	
PROJECT NAM	IE & ADDRI	ESS
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 PH# ·(410) 845-0824	
EQUIP		1
SHEE	T SIZE	
ANS 11" >	SI B { 17"	
SHEET N	NUMBER	
P∖	/-9	

# / Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/ SE7600H-US / SE10000H-US / SE11400H-US

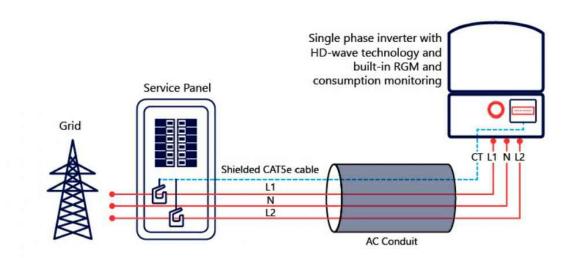
SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US SE11400H-US	
		RS485, Ethernet	, ZigBee (optional), C	ellular (optional)		
			0.1			
	Optional					
	With the SetApp mobile application using Built-in Wi-Fi Access Point for Local Connection				cal Connection	
	Automatic Rapid Shutdown upon AC Grid Disconnect					
	UL1741, UL1741 SA, UL1699B, CSA C222, Canadian AFCI according to T.I.L. M-07					
	IEEE1547, Rule 21, Rule 14 (HI)					
			FCC Part 15 Class B			
IONS						
	1"	Maximum / 14-6 AV	VG		1" Maximum /14-4 AWG	
	1" Maxir	mum / 1-2 strings / 1	4-6 AWG		1'' Maximum / 1-3 strings / 14-6 AWG	
	17.7 x	14.6 x 6.8 / 450 x 37	′0 x 174		21.3 x 14.6 x 7.3 / 540 x 370 x 185	in / mm
22 /	10	25.1/11.4	26.2	/ 11.9	38.8 / 17.6	lb / kg
	<	25			<50	dBA
-			Natural Convection			
		-4(	0 to +140 / -40 to +6	0(4)		*F/*C
		NEMA 4	X (Inverter with Safet	y Switch)		
	IONS	With the SetA UL1741, U IONS 17" Maxir 17.7 x 22 / 10	RS485, Ethemet           With the SetApp mobile applicatio           Automatic Rapic           UL1741, UL1741 SA, UL1699B,           IEEE           IONS           1" Maximum / 14-6 AV           1" Maximum / 14-6 AV           1" Maximum / 14-6 AV           22 / 10           22 / 10           25	RS485, Ethemet, ZigBee (optional), C Optional <sup>c3</sup> With the SetApp mobile application using Built-in Wi-Fi Automatic Rapid Shutdown upon AC UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadiar IEEE1547, Rule 21, Rule 14 FCC Part 15 Class B IONS 1'' Maximum / 14-6 AWG 1'' Maximum / 14-6 AWG 1'' Maximum / 1-2 strings / 14-6 AWG 17.7 x 14.6 x 6.8 / 450 x 370 x 174 22 / 10 25.1 / 11.4 26.2 < 25 Natural Convection -40 to +140 / -40 to +6	RS485, Ethemet, ZigBee (optional), Cellular (optional)         Optional <sup>(3)</sup> With the SetApp mobile application using Built-in Wi-Fi Access Point for Lo         Automatic Rapid Shutdown upon AC Grid Disconnect         UL1741, UL1741 SA, UL1699B, CSA C222, Canadian AFCI according to         UL1741, UL1741 SA, UL1699B, CSA C222, Canadian AFCI according to         IEEE1547, Rule 21, Rule 14 (HI)         FCC Part 15 Class B         IONS         17. Maximum / 14-6 AWG         17.7 x 14.6 x 6.8 / 450 x 370 x 174         22 / 10         25.1 / 11.4	RS485, Ethernet, ZigBee (optional), Cellular (optional)         Optional®         Optional®         With the SetApp mobile application using Built-in WI-Fi Access Point for Local Connection         Automatic Rapid Shutdown upon AC Grid Disconnect         UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M-07         IEEE1547, Rule 21, Rule 14 (HI)         FCC Part 15 Class B         IONS         1" Maximum / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         1" Maximum / 1-3 strings / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         1" Maximum / 1-3 strings / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         1" Maximum / 1-2 strings / 14-6 AWG         22 / 10       25.1 / 11.4       26.2 / 11.9       38.8 / 17.6       38.8 / 17.6       <50

(3) Inverter with Revenue Grade Meter P/N: SExxxH-US000BNC4; Inverter with Revenue Grade Production and Consumption Meter P/N: SExxxH-US000BNI4. For consumption metering, current transformers should be ordered separately: SEACT0750-200NA-20 or SEACT0750-400NA-20. 20 units per box

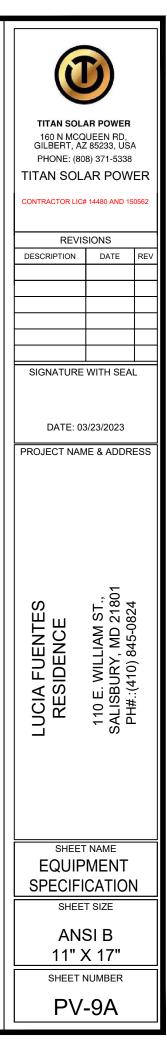
(4) Full power up to at least 50°C / 122°F; for power de-rating information refer to: https://www.solaredge.com/sites/default/files/se-temperature-derating-note-na.pdf

# How to Enable Consumption Monitoring

By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills



© SolarEdge Technologies, Inc. All rights reserved. SOLAREDGE, the SolarEdge logo, OPTIMIZED BY SOLAREDGE are trademarks or registered trademarks of SolarEdge Technologies, Inc. All other trademarks mentioned herein are trademarks of their respective owners. Date: 12/2020/V01/ENG NAM. Subject to change without notice.



# **Power Optimizer** For Residential Installations

# S440 / S500 / S500B



# POWER OPTIMIZE フ

# Enabling PV power optimization at the module level

- Specifically designed to work with SolarEdge residential inverters
- I Detects abnormal PV connector behavior, preventing potential safety issues\*
- Module-level voltage shutdown for installer and firefighter safety
- Superior efficiency (99.5%)

- Mitigates all types of module mismatch loss, from manufacturing tolerance to partial shading
- Faster installations with simplified cable management and easy assembly using a single bolt
- Flexible system design for maximum space utilization
- Compatible with bifacial PV modules

# **/** Power Optimizer For Residential Installations S440 / S500 / S500B

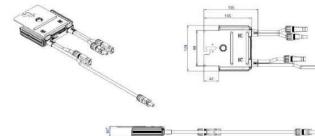
	S440	S500	S500B	UNI
INPUT				
Rated Input DC Power <sup>(1)</sup>	440		500	W
Absolute Maximum Input Voltage (Voc)	60	)	125	Vdc
MPPT Operating Range	8-	60	12.5 - 105	Vdc
Maximum Short Circuit Current (Isc) of Connected PV Module	14.5		15	Adc
Maximum Efficiency		99.5		%
Weighted Efficiency	98.6		%	
Overvoltage Category				
OUTPUT DURING OPERTION				
Maximum Output Current		15		Adc
Maximum Output Voltage	60 80		Vdc	
OUTPUT DURING STANDBY (POWER OPTIMIZER D	SCONNECTED FROM	INVERTER OR INVERT	TER OFF)	
Safety Output Voltage per Power Optimizer		1 ± 0.1		Vdc
STANDARD COMPLIANCE <sup>(2)</sup>				
EMC	FCC Part 15 Class I	B, IEC61000-6-2, IEC61000-6-3,	CISPR11, EN-55011	
Safety	IEC62109-1 (class II safety), UL1741			
Material		UL94 V-0, UV Resistant		l.
RoHS		Yes		
Fire Safety		VDE-AR-E 2100-712:2013-05		
INSTALLATION SPECIFICATIONS				
Maximum Allowed System Voltage		1000		Vdc
Dimensions (W x L x H)	129 x 15	5 x 30	129 x 155 x 45	mm
Weight (including cables)		655		gr
Input Connector		MC4 <sup>(3)</sup>		
Input Wire Length		0.1		m
Output Connector		MC4		
Output Wire Length		(+) 2.3, (-) 0.10		m
Operating Temperature Range <sup>(4)</sup>		-40 to +85		°C
Protection Rating		IP68		
Relative Humidity		0-100		%

(1) Rated power of the module at STC will not exceed the Power Optimizer Rated Input DC Power. Modules with up to +5% power tolerance are allowed (2) For details about CE compliance, see <u>Declaration of Conformity – CE</u>.
 (3) For other connector types please contact SolarEdge.

(4) For ambient temperature above + 70°C power de-rating is applied. Refer to Power Optimizers Temperature De-Rating Technical Note for details.

PV System Design U Inverter <sup>(5)</sup>	Jsing a SolarEdge	SolarEdge Home Wave Single Phase	Three Phase SExxK-RWB	Three Phase for 230/400V Grid	Three Phase for 277/480V Grid	
Minimum String Length	S440, S500	8	9	16	18	
(Power Optimizers)	S500B	6	8	1	4	
Maximum String Length (Po	ower Optimizers)	25	20	5	50	
Maximum Continuous Pow	er per String	5700	5625	11250	12750	W
Maximum Allowed Connec (Permitted only when the powe less than 2,000W)		Seel®	See <sup>(6)</sup>	13500	15000	W
Parallel Strings of Different	Lengths or Orientations		Ye	25		0

(5) It is not allowed to mix S-series and P-series Power Optimizers in new installations.(6) If the inverter's rated AC power < maximum nominal power per string, then the maximum power per string will be able to reach up to the inverters maximum input DC power.</li> Refer to Application Note: Single String Design Guidelines.



\* 45mm for \$500B

© SolarEdge Technologies, Ltd. All rights reserved. SOLAREDGE, the SolarEdge logo, OPTIMIZED BY SOLAREDGE are trademarks or registered trademarks of SolarEdge Technologies, Inc All other trademarks mentioned herein are trademarks of their respective owners. Date: September 22, 2022 DS-000091-ENG. Subject to change without notice.

\* Functionality subject to inverter model and firmware version





TITAN SOLAR POWER 160 N MCQUEEN RD, GILBERT, AZ 85233, USA PHONE: (808) 371-5338

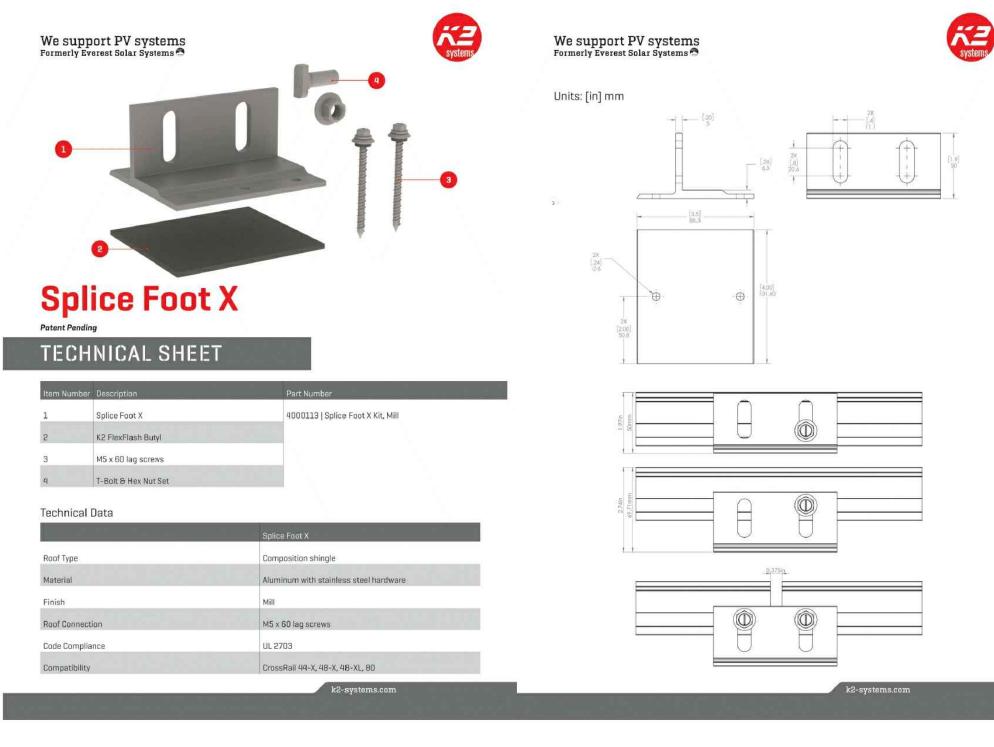
TITAN SOLAR POWER

#### CONTRACTOR LIC# 14480 AND 150562

REVIS	SIONS		
DESCRIPTION	DATE	REV	
SIGNATURE DATE: 03	WITH SEAI 3/23/2023	L	
PROJECT NAM	IE & ADDRI	ESS	
LUCIA FUENTES RESIDENCE 110 E. WILLIAM ST., SALISBURY, MD 21801 PH#.:(410) 845-0824			
SHEET NAME EQUIPMENT SPECIFICATION			
SHEET SIZE			
ANSI B			
11" X 17"			
SHEET NUMBER			
PV-10			

EDO

(ERoHS



160 N MCO GILBERT, A	AR POWER QUEEN RD, Z 85233, USA		
	08) 371-5338 AR POWER		
_	# 14480 AND 150562		
CONTRACTOR ER	# 14400 AND 150502		
REV	ISIONS		
DESCRIPTION	DATE REV		
	1		
	+		
	WITH SEAL		
DATE: 0	03/23/2023		
PROJECT NA	ME & ADDRESS		
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 PH#.:(410) 845-0824		
SHEET NAME EQUIPMENT			
SPECIFICATION			
SHEE	SHEET SIZE		
ANSI B 11" X 17"			
SHEET NUMBER			
PV-11			

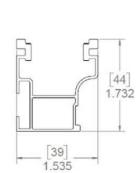


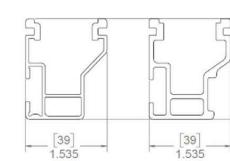
# CONNECTING STRENGTH

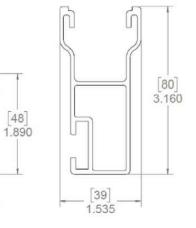
# CONNECTING STRENGTH



Units: [mm] in







## Technical Data

	CrossRail System
Roof Type	Composition shingle, tile, standing seam
Material	High corrosion resistance stainless steel and high grade aluminum
Flexibility	Modular construction, suitable for any system size, height adjustable
PV Modules	For all common module types
Module Orientation	Portrait and landscape
Roof Connection	Drill connection into rafter
Structural Validity	IBC compliant, stamped engineering letters available for all solar states
Warranty	25 years

# CROSSRAIL 44-X



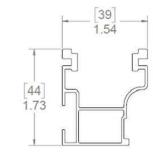
# **Mechanical Properties**

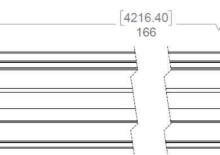
	CrossRail 44-X
Material	6000 Series Aluminum
Ultimate Tensile Strength	37.7 ksi (260 MPa)
Yield Strength	34.8 ksi (240 MPa)
Weight	0.47 lbs/ft (0.699 kg/m)
Finish	Mill or Dark Anodized

# **Sectional Properties**

	CrossRail 44-X
Sx	0.1490 in3 (0.3785 cm3)
Sy	0.1450 in3 (0.3683 cm3)
A (X-Section)	0.4050 in2 (1.0287 cm2

# Units: [mm] in





#### Notes:

- Structural values and span charts determined in accordance with Aluminum Design Mathematical Structural values and span charts determined in accordance with Aluminum Design Mathematical Structural Values and Structura Values and Structural Values and Structura
- UL2703 Listed System for Fire and Bonding

Systems	160 N GILBER PHONE TITAN S	SOLAR POWER MCQUEEN RD, T, AZ 85233, US E: (808) 371-5338 GOLAR POW R LIC# 14480 AND 11	A /ER
		EVISIONS	
	DESCRIPTIO		REV
	DESCRIPTION	JN DATE	KEV.
	SIGNATI	JRE WITH SEA	
	SIGNAT		
	DAT	E: 03/23/2023	
	PROJECT	NAME & ADDR	ESS
		<del>~</del>	
	LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 2180 DUM (110) 015 0001	F T1#(4 I U) 043-U024
Manual and ASCE 7-16	EQU	IEET NAME JIPMENT	N
		HEET SIZE	•
		NSI B	
ms.com	11	" X 17"	
	SHE	ET NUMBER	
	_	N / 4 O	
		V-12	

#### intertek Total Quality. Assured

Intertek 3933 US Route 11 Cortland, NY 13045 Telephone: 607-753-7311 www.intertek.com

Subject: ETL Evaluation of SolarEdge Products to Rapid Shutdown Requirements

To, whom it may concern

This letter represents the testing results of the below listed products to the requirements contained in the following standards:

The evaluation was done on the PV Rapid Shutdown System (PVRSS), and covers installations consisting of optimizers and inverters with part numbers listed below.

The testing done has verified that controlled conductors are limited to: • Not more than 30 volts and 240 voltamperes within 30 seconds of rapid shutdown initiation

outside the array. • Not more than 80 volts and 240 voltamperes within 30 seconds of rapid shutdown initiation

inside the array.

The rapid shutdown initiation is performed by either disconnecting the AC feed to the inverter, or - if the inverter DC Safety switch is readily accessible - by turning off the DC Safety switch.

#### Applicable products:

(1) Power optimizers: PB followed by 001 to 350; followed by -AOB or -TFI. OP followed by 001 to 500; followed by -LV, -MV, -IV or -EV. P followed by 001 to 1100. SP followed by 001 to 350. When optimizers are connected to 2 or more modules in series, the max input voltage may exceed 80V. Following the implementation of the NEC 2017 rapid shutdown value of 80V max inside of the array at the beginning of 2019, modules exceeding this combined input max voltage will be required to use optimizers with parallel inputs. Also meeting NEC 2020 rapid shutdown requirement.

(2) 1 -PH Inverters

SE3000A-US / SE3800A-US / SE5000A-US / SE6000A-US / SE7600A-US / SE10000A-US / SE11400A-US / SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US / SE10000H-US / SE11400H-US when the following label is labeled on the side of the inverter:

Inverter part number may be followed by a suffix.

(3) 3 -PH Inverters

# intertek

Total Quality Assured

Intertek 3933 US Route 11 Cortland, NY 13045 Telephone: 607-753-7311 www.intertek.com SE9KUS / SE10KUS / SE14.4KUS/ SE16.7kUS / SE17.3kUS / SE20KUS/ SE24KUS / SE30KUS / SE33.3KUS / SE40KUS / SE43.2KUS / SE50KUS / SE66.6KUS / SE80KUS / SE85KUS / SE100KUS / SE120KUS; when the following label is labeled on the side of the inverter:

Please note, this Letter Report does not represent authorization for the use of any Intertek certification marks.

Brand Name(s)	SolarEdge
Relevant Standard(s)	UL 1741, UL 1741 CRD for rapid shutdown
	National Electric Code, 2020, Section 690.12 requirement for rapid shutdown
Verification Issuing Office	3933 US Route 11, Cortland, NY 13045

NRTL Disclaimer, Different for each NRTL – Example: "This Verification is for the exclusive use of NRTL's Client and is provided pursuant to the agreement between NRTL and its Client. NRTL's responsibility and lability are limited to the terms and conditions of the agreement. NRTL assumes no lability to any party, other than to the Client in accordance with the agreement, for any loss, experse or damage occasioned by the use of this Verification. Only the Client is authorized to capy or distribute this Verification. Any use of the NRTL name or one of its marks for the sale or advertisement of the tested material, product or service must first be approved in writing by NRTL. The observations and test results referenced from this Verification are levelant only to the sample tested. This Verification by itself does not imply that the material, product, or service us is or has ever been under an NRTL certification program."

Signature:

Name: Mukund Rana Position: Staff Engineer Date:5/17/2021

# Intertek Total Quality. Assured.

Date	Engineer / Reviewer	Descr
5/17/2021 G104683664CRT	Dishant Patel	Addeo SE80k
	Mukund Rana	Updat to 960
		Updat Code, shutd Sectio



CONTRACTOR LIC# 14480 AND 150562

REVIS	SIONS		
DESCRIPTION	DATE	REV	
SIGNATURE DATE: 03	WITH SEA 3/23/2023	L	
PROJECT NAM		ESS	
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 PH# ·(410) 845-0824		
SHEET NAME EQUIPMENT SPECIFICATION			
SHEET SIZE			
ANSI B 11" X 17"			
SHEET NUMBER			

**PV-13** 

Intertek 3933 US Route 11 Cortland, NY 13045 Telephone: 607-753-7311 www.intertek.com

#### ription

ed New 3-PH Inverter model SE50KUS, KUS, SE85KUS and SE120KUS.

ted Power optimizers from "P followed by 001 0" to "P followed by 001 to 1100"

ted NEC standard from "National Electric , 2017, Section 690.12 requirement for rapid down" To "National Electric Code, 2020, ion 690.12 requirement for rapid shutdown"

# RECOMMENDED OCPD SIZE PER GRID:

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	Unit
OUTPUT								
Rated AC Power Output	3000	3800 @ 240∨ 3300 @ 208∨	5000	6000@240V 5000@208V	7600	10000	11400	VA
Max AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000@240V 5000@208V	7600	10000	11400	VA
AC Output Voltage MinNomMax.(183 - 208 - 229)	80	~	-	~	lel.	( <del></del> )	-	Vac
AC Output Voltage MinNomMax.(211-240-264)	~	1	~	~	V	~	~	Vac
AC Frequency (Nominal)				59.3 - 60 - 60.5 <sup>1</sup>				Hz
Maximum Continuous Output Current 208V	158	16	3	25	≂:	120	( <del>1</del> 7)	A
Maximum Continuous Output Current 240V	12.5	16	21	25	32	42	47.5	А
Max. output fault current and duration @208V	ಷ್)	17.5/20	2.5.1	27.5/20	تع 1	193	121	A/ms
Max. output fault current and duration @240V	14/20	17.5/20	23/20	27.5/20	40/20	56.6	/ 20	A/ms
Inrush current AC (Peak/ Duration)		2.8/20 3.45/20		/ 20	Aac (rms)/ ms			
Max. output overcurrent protection	3	35 48 55 80		0	Α			

	D	
TITAN SOLAR POWER 160 N MCQUEEN RD, GILBERT, AZ 85233, USA PHONE: (808) 371-5338 TITAN SOLAR POWER		
CONTRACTOR LIC	# 14480 AND 15	0562
	SIONS	
DESCRIPTION	DATE	REV
SIGNATURE	WITH SEA	L
DATE: 0	3/23/2023	
PROJECT NAM	/IE & ADDR	ESS
LUCIA FUENTES RESIDENCE	110 E. WILLIAM ST., SALISBURY, MD 21801 DH# -0100 805-0820	
SHEET NAME EQUIPMENT SPECIFICATION		
ANSI B 11" X 17"		
SHEET NUMBER		
PV	-14	

# Salisbury Historic District Commission

# **STAFF FINDINGS**

# Meeting of June 28, 2023

Case Number:	#23-14
<b>Commission Considering:</b>	Solar Panels
Owner Name: Owners Address:	Lucia Fuentes 110 E William St. Salisbury, MD 21801
Applicant Name:	Kadeidra Jarrett
Applicant's Address:	525 W Baseline Road Mesa, AZ 85210
Agent/Contractor:	Titan Solar Panel
Subject Property Address:	110 E William St
Historic District:	Newtown Historic District
Use Category:	Residential
Zoning Classification:	R - 8
Structure / Site Description:	
Built Date:	1920
Enclosed Area:	2,792 sq. ft.
Lot Size:	6,958 sq. ft.
Number of Stories:	2
Contributing Structure:	Contributing 8/22/2012

Wicomico County Historic Survey on file:	No
Nearby Properties on County Survey:	Yes

#### **Including but not limited to:**

112 E William St- J Clarence Parker House 106 E William St- Albert W Lankford House

**Explanation of Request:** The applicant is seeking approval to install 24 solar panels on the roof of the house.

## Areas of Historic Guidelines to be considered:

#### **Guideline 31: Solar Panels**

a. Solar panels should be installed in a location that minimizes their visibility as much as possible. Flat roofs, and rear sloping roofs are the best candidates.

#### **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Infrastructure and Development 125 N Division Street, Suite 202 Salisbury, MD 21801 (410) 548-3170 Date: June 6, 2023

	_	OCCUREDO COUNT

View Map		View GroundRent Redemption					<b>Your GroundRest Registration</b>				
Special Tax Recayture 10	14										
Account Identifier		District - Di-	Account Nan	Ber -009019							
			0	wher information	•						
Danier Name:		FLENTED O	COTTLUCA	3	Une	Burther		RESIDENTIAL VER			
falling Address:		110 E WELD				Principal Residence Deed Reference			/64121/ 08038		
			Location	& Structure Info	mution						
Vanises Address		TTO E WILLP BALIBBLRY			Legil De	ecrytten		A MIR SOFT THE E WILLIAM CITY OF SALE	87		
Tage Grid: Parce	Registerhead	Build	Evision.	Bectlox	Block	Lati	Assessment Year:		Plat No.		
tees Enlishory											
Primary Structure Bull	Above Dr 3.762 SF	wile Living Area		Pickled Rateland	. Area		Property Land Area	0	eanly Lies		
Balament	Type	Extension	Quality	Publical Bath	Garage	Last	Notice of Major Impro	distantia in the			
I ND	STANDARD UNIT	BDMD/	3	314							
			v	alue Information							
		Base Value	Value								
				As all childhadada		of Aniatiza		As of energiess			
and .		17,800		17,400		0.00000					
improvements		TE.800		118,000							
Futati		87,800		136,400	10	4,047		120,238			
Preferential Land		3		0							
			Tra	rater Informatio	n						
				Date: 00100011			Prise 200,000				
Type: WM/II LEMOTH IMPROVED Deed1: /01121/ DODI											
Seller, Shirk IVC Date: 01/10/008 Type: RMX8141H1141RPROVED Deed1.701839 00310					Price: \$110,000						
Beller 2RPEL H WERKER			Date: 10			Pile 181.000					
Type ARMILLENGTH IMPR				1861/00018			Gee 43				
			Exe	nption Informati	an						
Partial Exempt Assessment	-	Class			01/01/20	ir.		0101202			
County		000			0.00						
Itala		1000			0.00						
Participal		000			8.08(0.80	-		0.00(0.00			
Epecial Tax Recapitant: No											
			Inclusion and an	d Application Info	unitation .						
	atue: No Application										

Honesement' Tax Credit Application Batus: No Application

Date

# Salisbury Historic District Commission

# **Hearing Notification**

Date:	June 28, 2023				
Time:	7:00 pm				
Location:	Government Office Building 125 N Division St. Room 301 Salisbury, MD 21801				
Case Number:	#23-15				
Commission Considering:	Alterations				
Owner's Name:	Red Brick Holdings LLC				
Applicant Name: Applicant's Address:	Bret Davis 318 W Carroll St Salisbury, MD 21801				
Agent/Contractor:	None Indicated				
Subject Property Address:	117 W Main St				
Historic District:	Downtown				
Use Category:	Commercial				
Zoning Classification:	CBD				
Chairman:	Scott Saxman, Chairman				
HDC Staff contact:	Jessica Budd Associate Planner I (410) 548-3170				

Permit Application \$50 Fee Received <u>\$//6/13</u> (date)
<b>Case #</b> : 23-15
Action Required By (45 days): 7/9/23
Owner Name:       Red Brick Holdings LLC         Owner Address:       318 W. Carroll Street Suite A Salisbury, ME         Owner Phone:       410-844-4160         Owner Email:       bdavis@davis-strategic.com
Addition Other Awning Estimated Cost ific. Attach sheet if space is inadequate) Type of tion. If signs are proposed, indicate material, lineal feet of building, size and position of all

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work.  $\__Yes\__X$ No

Do you intend to apply for Federal or Sta	ate Rehabilitation Tax Credits? If yes, have you contacted
Maryland Historical Trust staff? Ve	
If you have checked "Yes" to either of th	he above questions, please provide a copy of your approval
	d Historic Trust along with this application.

# See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the City's website: www.ci.salisbury.md.us.

I, or	my a	uthoriz	ed rep	resentative,	will appear	at the	meeting of	the	Salisbury	Historic	District (	Commissio	on
on_	6	128	12023	3	124.7	ate).	-		-				

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature 5/5/2023 Date Application Processor Secretary, S.H.D.C.

117 Facade Restoration Scope of Work

- All facade trim and wood is replaced in kind with Azek.

- Underhang will be replaced with tongue and groove wood slats (Picture attached)

- New facade color, as well as side color. (Roycroft Suede main side color, Naval for bump outs and front + panels, trim is ramie) This is light tan with a strong blue accent that will make it pop and some light color for accent trim colors

- Frame side opening flush to masonry. Install tongue and groove wood ceiling overhead matching the front. On sides of the entrance install paneling matching the front of building shaker style.

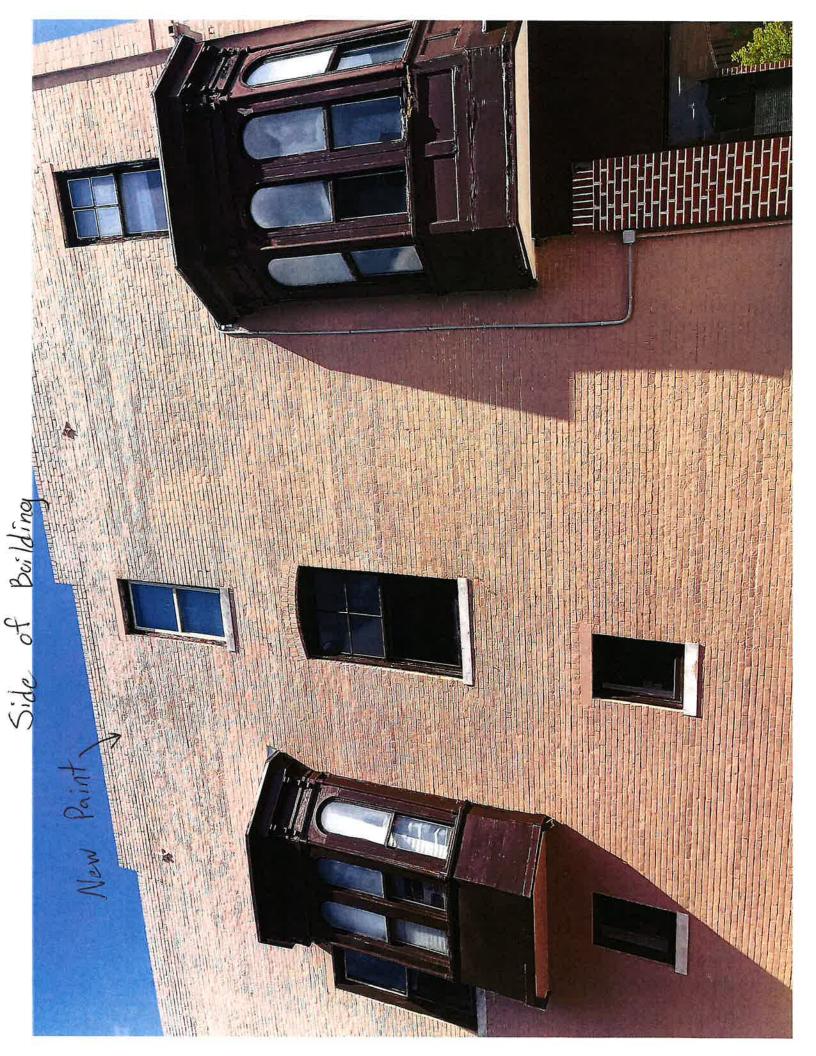
- All unpainted brick to remain unpainted
- Replace recessed lights in kind throughout with LED's
- Replace front ceramic tile flooring with white/ black hexagonal tile (Picture Attached)

# 117 West Main Photo

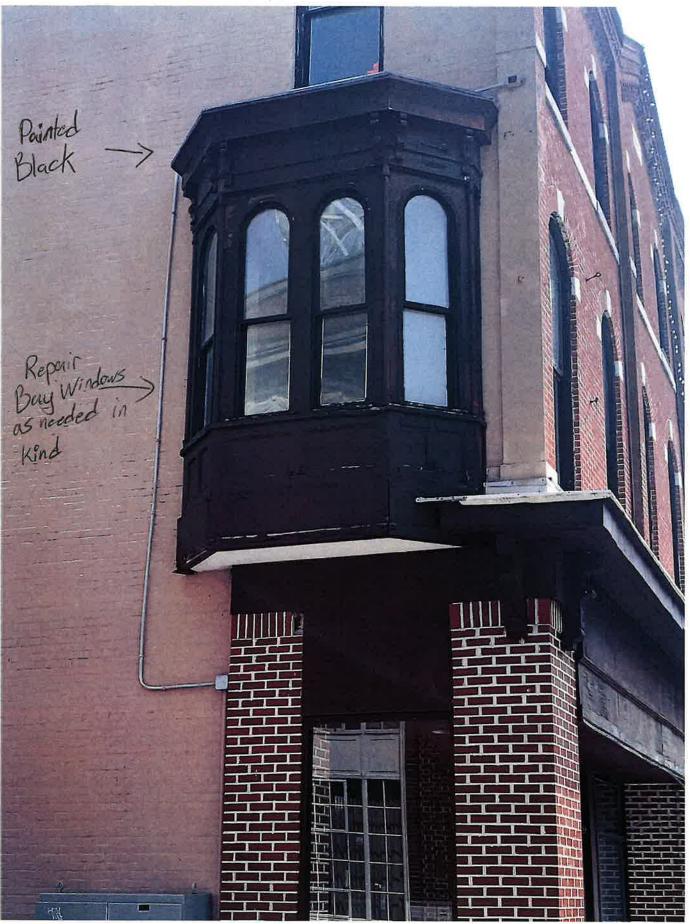


# 117 West Main Photo





117 West Min Side View



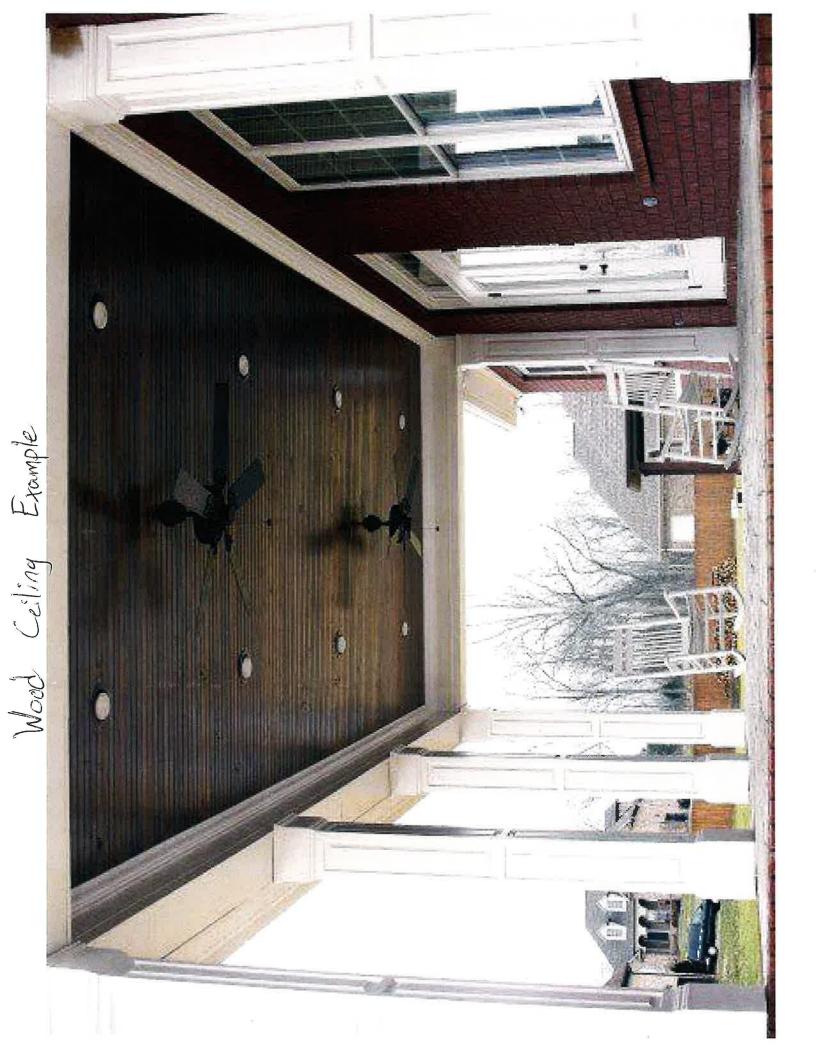


## 117 West Main Side Entrance

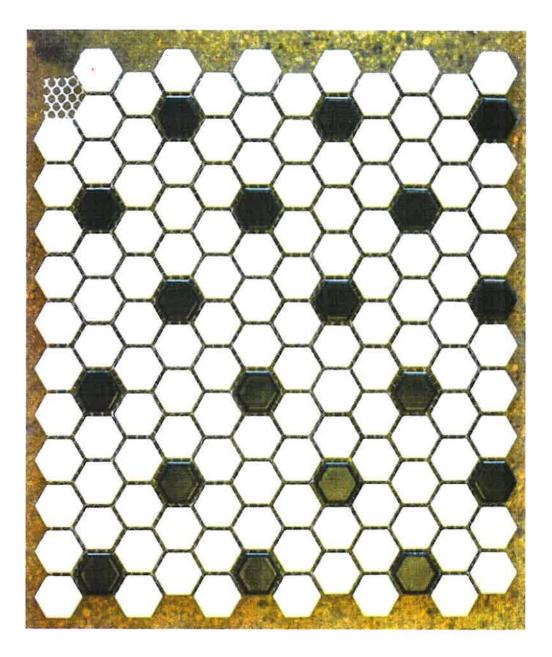


## 117 West Main St. Underhang





Tile Flooring Example



### Salisbury Historic District Commission

### **STAFF FINDINGS**

### Meeting Date: June 28, 2023

Case Number:	23-15
Commission Considering:	Alterations
Owner's Name: Owner's Address:	Brick Holdings LLC <b>318 W Carroll St. Suite A</b> Salisbury, MD 21801
Applicant Name:	Bret Davis
Agent/Contractor:	Not Indicated
Subject Property Address:	117 W Main St
Historic District:	Downtown Historic District
Use Category:	Commercial
Zoning Classification:	CBD
Structure / Site Description: Built Date: Enclosed Area: Lot Size: Number of Stories:	1887 <b>11,182 sq ft</b> 5,501 sq ft <b>Not Indicated</b>
Contributing Structure:	Contributing

### Neighboring Properties which have been deemed Contributing/Non-Contributing:

House #	Street Name	Hearing Date	Contributing	Non- Contributing
144	W Main St	1/27/2010		Х
113	W Main St	3/26/2014	Х	
111	W Main St	3/28/2012	Х	

## Wicomico County Historic Survey on file:YesNearby Properties on County Survey:YesIncluding but not limited to:Yes

- ➤ 113 W Main St
- ➢ 201 W Main St

## **Relevant Historic, Archeological and Architectural Significant Features of the Surrounding Area:**

The Downtown Historic District is the largest of Salisbury's three historic districts and encompasses the City's commercial center. The design and construction of its structures meet the City's now well-established requirement for the use of brick and stone as building materials. The district's buildings are typically two to three story brick buildings fronting on Main Street, Division Street and other streets perpendicular to Main Street.

**Explanation of Request:** The applicant is requesting the Salisbury Historic District Commission to approve their request for alterations to the façade, lighting, and Floor tiling.

### Areas of Historic Guidelines to be considered:

#### Guideline 37: Façade Configuration

As described in Section 3, there are several building types associated with commercial architecture. These forms are a character defining feature of commercial buildings and their order and arrangement must be maintained.

a. Maintain the historic compositional principles of historic commercial buildings.

b. For two- and three-part block configurations, maintain the division of the upper and lower stories.

c. Where historic features are missing, consider restoring the façade to a composition appropriate to the historic design of the building.

d. New commercial buildings should follow the same compositional layout of surrounding buildings in order to maintain the scale and pattern of the Downtown Historic District. e. Maintain the historic layout of commercial storefronts.

f. Maintain the window and door patten of the storefront. Historic entrances were typically flanked by glass display windows.

g. Improve access to upper floors in a manner sensitive to the configuration of the historic storefront. A second set of stairs to access the upper stories is often required to comply with current fire codes.

#### Guideline 41: Storefront Entrances

a. Maintain existing recessed entries.

b. Preserve decorative elements in good condition, such as trim and other woodwork. Repair or replace in-kind decorative elements in poor condition.

c. Where historically recessed entries have been closed up and made flush with the façade, consider restoring the recess.

d. On buildings whose storefronts have been altered in recent history, restoration to its historic appearance, where documentary evidence exists, or a new design may be appropriate. Work with the SHDC early in the design process when designing new storefront entrances.

#### **Evaluation Criteria:**

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd Infrastructure and Development 125 N Division Street, Suite 202 Salisbury, MD 21801 (410) 548-3170 Date: October 7, 2021

View Map	View Ground P	est Redemation					View GroundPlant Regis	hatien
Special Tax Recepture Norm	1000000	1.35.251	28					0033
Account Merdifler	District - CR Au	ount Number - D	100.02					
		0	wher info	mation				
Current Marrier	1000000	and the second of the		the			200000000000000000000000000000000000000	
Dener Kanon	RED BRICK HER	RED BRICK HOLDWEDI LLE 218 W CARROLL ST STE 1A SALDBLIKY MD 21801		Desi Principal Rasidence: Desil Raference:		COMMERCIAL PESIDENTIAL NO ANTEL INCLU		
falling Address								
		Location	& Structu	re Informa	tion			
Premises Address:	THE W MADE BY BALDBELRY 218	11.1 W MAIN ET BALISBLARY 21401-0000		Legal Description:		•	BL/1 L-8 & RL 3188 117 W MAIN ST CITY OF BALIS	
Map Disk Parcel		and the second second	Sec	rtier.	Block.	Litt	Assessment Year)	Plat No.
0107 8018 1047	21008.29	000			1	1	3021	Plat Ref.
Team SALISBURY								
Primary Structure Bull Above Grade Living Ave 1807 11,182 3F			Fickhed Basement Area		÷	Property Land Area 8,501 SF		Caranty Une
Stories Reservent Type		Exterior	Quality	PUBLICATE	-	Catage	Last Notice of Major Impr	rievenier/dis
MODE	RESIDENTIAL / RE'THL	1						
		V	alue Infor	mation				
	Rase Value		Value Photo In			Laboration		
			As at .			ALIE	An	
land	82.800		01/01/262 82.900	ņ.		07/07/9622	en	012223
marwymmente	166.400		140.800					
tural:	246.800		263,600			263,608	263	1.400
Informatial Land	0		0					
		Tre	mater into	mation				
LUC SUPPORTES		Date: D10	110001				Price: \$725,000	
		Dead1: /0	DATED DEXIN			Dee 42.		
		Date: 127	_				Price: \$55,000	
TYPE ARMIT LENGTH IMPROVED			19-99 00385	<u>.</u>			Dee d3	
Belles WHITE, EVELYN T Type: NON ARMELEMITH OTHER	0	Date: DV	13/1863				Price: 30 Dec 42	
24				formation				
Partial Exempt Assessments	Class			eretas	42		07/01/2023	
County	080			6.00				
itano:	080			6.00				
Functipal	080			0.000.00			0.00(0.00)	
Ipecal fax Recepture: Novo								
		Homestea	d Applica	tion Inform	ation			