

Salisbury Historic District Commission

Hearing Notification

Hearing Date: June 30, 2021

Time: 7:00 pm

Location: Zoom Video Conference

Case Number: #21-14

Commission Considering: New Parking Lot

Owner's Name: **Saint Peters Church**

Applicant Name: **Sharon Clark**

Agent/Contractor: Not Indicated on Application

Subject Property Address: 115 Saint Peters St

Historic District: Downtown

Use Category: Commercial

Chairman: Mr. Scott Saxman

HDC Staff contact: Jessica Budd
Associate Planner I
(410) 548-3170

Salisbury Historic District Commission

125 N. Division Street
Room 202
Salisbury, MD 21801
(410) 548-3170/ fax (410) 548-3107

Permit Application
\$25 Fee Received # 9511 6/14/21 (date)

Date Submitted : 6/11/21
Date Accepted as Complete : 6/14/21
Subject Location: 115 Church Street, Salisbury 21801
Application by: Sharon Clark
Applicant Address: 1722 Riverside Drive, Salisbury 21801
Applicant Phone: 410-218-8387

Case #: 21-14
Action Required By (45 days): 7/28/21
Owner Name: Vestry of Sallsbury Parish St. Peter's Church
Owner Address: 115 St. Peter's St, Salisbury 21801
Owner Phone: 410-742-5118

Work Involves: Alterations New Construction Addition Other Demolition Sign Awning Estimated Cost \$64,358

DESCRIPTION OF WORK PROPOSED (Please be specific. Attach sheet if space is inadequate) Type of material, color, dimensions, etc. must accompany application. If signs are proposed, indicate material, method of attachment, position on building, size and front lineal feet of building, size and position of all other signs on building, and a layout of the sign.

St. Peter's Episcopal Church, with funding from the Chesapeake Bay Trust, the City of Salisbury, the Community Foundation of the Eastern Shore and the Interfaith Partnership of the Chesapeake, proposes to do 2 things: 1) restore the parking lot surface, with permeable/pervious pavement, and, 2) plant and maintain a pollinator/demonstration garden for outreach to the congregation and community regarding conservation landscaping and related practices. (Please see the attached Estimate submitted by Escapes Outdoor Living, LLC.) Metal signs indicating funding sources will be installed on the brick wall opposite the garden (Please see attached page.), similar to the one in our Courtyard (photo attached). (PTO>)

Are there any easements or deed restrictions for the exterior of this property? If yes, submit a letter from the easement holder stating their approval of the proposed work. Yes No

Do you intend to apply for Federal or State Rehabilitation Tax Credits? If yes, have you contacted Maryland Historical Trust staff? Yes No

If you have checked "Yes" to either of the above questions, please provide a copy of your approval letter from the Maryland Historic Trust along with this application.

See Reverse Side for DOCUMENTS REQUIRED TO BE FILED WITH APPLICATION

All required documents must be submitted to the City Planner, Department of Infrastructure and Development at least 30 days prior to the next public meeting. Failure to include all the required attachments and/or failure of the applicant or his/her authorized representative to appear at the scheduled meeting may result in postponement of the application until the next regular scheduled meeting. If an application is denied, the same application cannot be resubmitted for one year from date of such action. Please be advised that members of the Salisbury Historic District Commission or staff, may visit the subject property prior to the scheduled meeting date to familiarize themselves with the project.

The Salisbury Historic District Commission Rules and Regulations and Design Guidelines are available for review in the office of the Department of Infrastructure and Development for the City of Salisbury as well as on the city's website: www.ci.salisbury.md.us.

I, or my authorized representative, will appear at the meeting of the Salisbury Historic District Commission on X June 30, 2021 (date).

I hereby certify that the owner of the subject premises has been fully informed of the alterations herein proposed and that said owner is in full agreement with this proposal.

Applicant's Signature Sharon R. Clark Date 6/11/2021

Remarks: We are grateful to be part of the Historic District.

Jessie Bell 6/14/21
Application Processor (Date)

Amanda Pollack 6/14/21
Secretary, S.H.D.C. (Date)

St. Peter's Episcopal Church Permit Application: Description of Work Proposed, continued.

St. Peter's Parking Lot, 2450 square feet, will be expanded to add 2 additional parking spaces, on East and West side of lot, using permeable paver installation, in order to reduce run-off of polluted water to the Wicomico River, and on to the Chesapeake Bay. (Please see attached sheet.)

Contractor (Escapes Outdoor Living, LLC) will excavate area to a depth of 12 inches and dispose material off site. He will compact sub-grade and install geotextile materials, install 9 inches of clean base stone and compact in 6 inch layers to 95% Proctor Density, #2 and #57. During the base installation, he'll install drainage pipes to get excess water to nearby drainage grate (protected during excavation). He'll level the base using a laser level, install screed bedding stone of 1 inch, then lay pavers, Hanover Permeable Paver 4.5x9 inch Gettysburg Grey for the lot with Limestone for lot lines (Potomac Valley Brick, 303 Bowl Drive, Salisbury), which were marked by a surveyor pending approval by the City of Salisbury. He'll then tamp the pavers into the bedding stone and fill joints between the pavers with #8 grey stone. (All concrete paver installation adheres to ICPI specifications.)

In order to protect the adjacent building, "Old City Hall," the contractor will construct a parking lot curb, Hanover Ammons Wall, (Please see attached sheet.) on the East and South side, approximately 6 inches high and 77 feet long in an L shape.

In order to protect the adjacent church wall from water seepage, after a 12 foot trench is dug next to it and it is cleaned by Escapes, a second contractor, Peninsula Roofing (PR), with the consult of Becker Morgan engineers, will waterproof the wall with Soprema Coating (Please see attached sheet.) as recommended by Becker Morgan. PR will roll the coating, install reinforcing fabric at any cracks and/or changes in direction, apply an additional coating, install the drain fabric over the wall coating, then secure the top edge of the drain fabric with 050 aluminum counter flashing. For safety, a step back will be dug 8 feet from the building at ½ height. After waterproofing is complete, Escapes will compact and backfill the area with soil, and reinstall the gutter against the wall.

The pollinator garden was installed in late May, displayed at the recent 3rd Friday event, and will be repaired after installation of the parking lot is complete. Permanent signage will be added for education.

Plans are to share the entire project with the congregation of St. Peter's Church and with the community at 3rd Friday events and the National Folk Festival, when educational seminars on conservation landscaping and associated practices, will be offered twice each day.

Dedication ceremony, with church and public officials, is planned for July 11, 2021.
Chesapeake Bay Trust final report is due by February 1, 2022.



December 14, 2020

Mr. David Michaud
Rector
St. Peter's Episcopal Church
115 St. Peter's Street
Salisbury, MD 21801

Dear Mr. Michaud:

The Chesapeake Bay Trust (the Trust) thanks the St. Peter's Episcopal Church for your proposal to the Outreach and Restoration Award Program. The Trust received a high level of requests, over \$3.9 million in requests for \$1.2 million available in this round of the program. I am pleased to report approval of \$64,358 for the removal of impervious surface and replacement with permeable pavement, installation of native plantings, and associated outreach efforts at St. Peter's Episcopal Church.

Your award will be distributed as detailed in the award agreement attached. The payment(s) are contingent on key elements that are required prior to the release of each payment as described in your award agreement. **Please carefully read your award agreement** and contact the Trust if you have questions.

The signed award agreement, and any other contingencies, and status and final reports must be submitted by logging into the Chesapeake Bay Trust Online System accessed through the link https://www.grantrequest.com/SID_1520 with the same username and password used when you applied. The Trust reserves the right to cancel the award and apply funds to other projects if the requirements of the award agreement are not met by the due dates.

If you should have any questions regarding our decision, please feel free to contact the Program Officer Nguyen Le at (410) 974-2941 ext. 110. The Chesapeake Bay Trust greatly appreciates the time you invested in the proposal development and looks forward to working with you in the future.

Sincerely,

A handwritten signature in black ink that reads "Jana Davis".

Jana Davis, Ph.D.
Executive Director

Award #: 18616
Project Leader: Dr. Sharon Clark



→ St. Peter's Street

St. Peter's Episcopal Church
115 Church St.
Salisbury 71801

"City"
Hall ↓

Pollinator
Garden ↓

"Signs"
attached
(2) to
wall ↓

Wall to
be water-
proofed. ↓

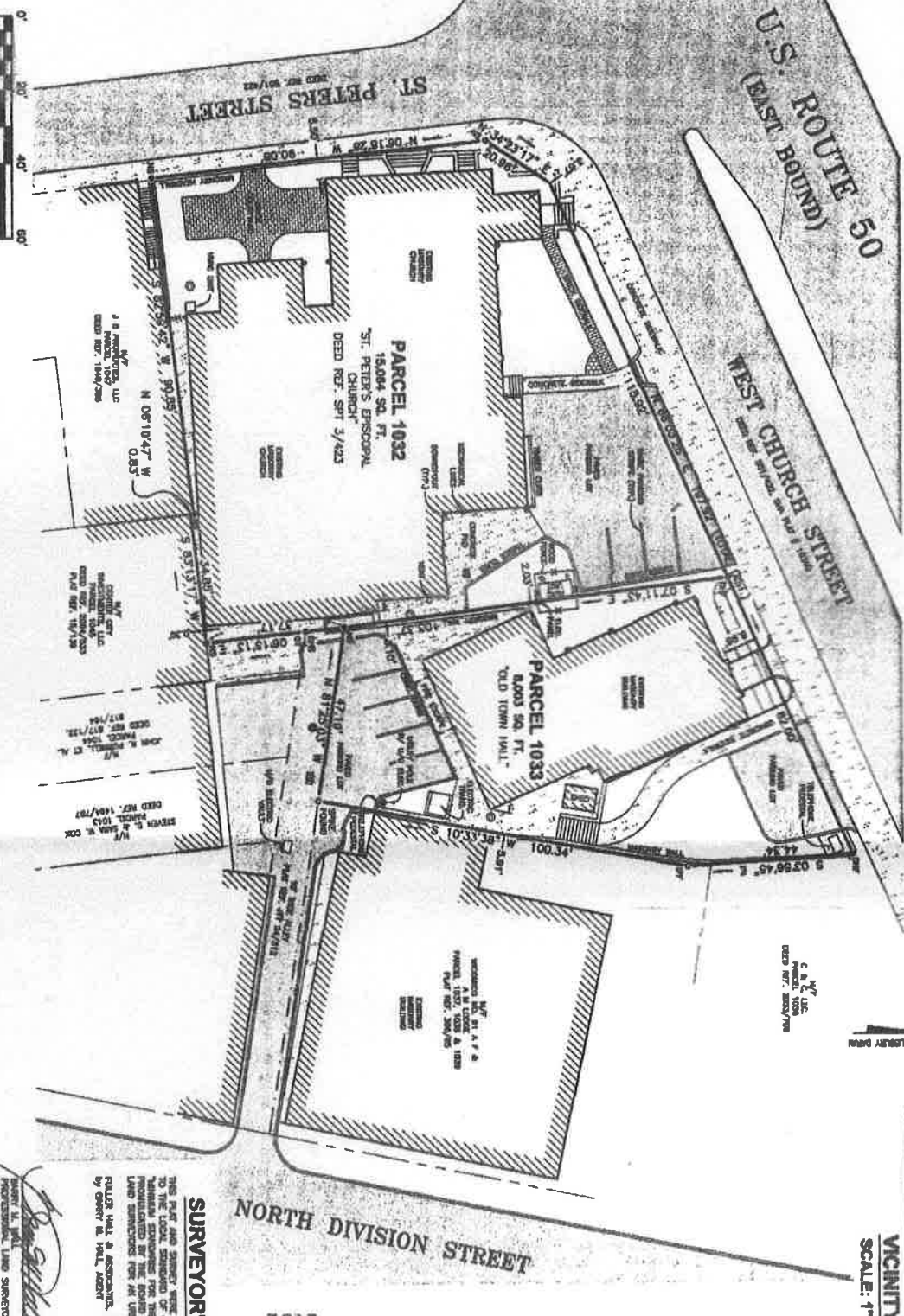
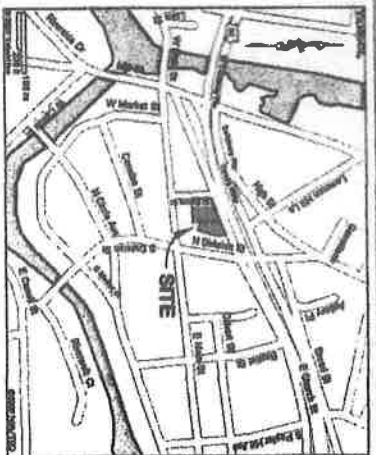
Parking lot surface to be
replaced with permeable
material (a 450 sq. ft.)

SITE DATA

- OWNER: VESTRY OF SALISBURY PARISH
A.K.A. ST. PETER'S EPISCOPAL CHURCH
110 ST. PETERS STREET
SALISBURY, MD 21801
 - PROPERTY MAP NO.: MAP 107, GRID 14, PARCEL 1032
 - DEED REFERENCE: DEED REF. SPT 3/423
 - AREA OF LOT: 14,897.4 SQ. FT.
 - OWNER/DEVELOPER: FULLER HALL & ASSOCIATES, INC.
3000 MERRITT MILL ROAD
SALISBURY, MD 21804
PHONE 410-572-8833
FAX 410-341-3970
 - DEED REFERENCE: MAP 107, GRID 14, PARCEL 1033
 - DEED REFERENCE: MAP 2890/119
 - AREA OF LOT: 6,297.2 SQ. FT.
1. GOOD JOHN FEALA, FLOOD INSURANCE RATE MAP 24000 D002 B, PAGES 2 OF 4, WITH AN EFFECTIVE DATE OF SEPTEMBER 28, 1984, THIS SITE IS LOCATED WITHIN FLOOD ZONE C, AREA OF MINIMAL FLOODING.
2. NO TITLE SEARCH OR INVESTIGATION WAS PROVIDED FOR USE.
3. OTHER THAN SHOWN, THIS SURVEY DOES NOT VERIFY THE EXISTENCE OR NONEXISTENCE OF RIGHTS-OF-WAY OR EASEMENTS.

LEGEND

- PROPERTY LINE
- ADJACENT LOTS
- CONCRETE FOUNDATION
- PAVED ASPHALT DRIVE
- IRON GATE
- GALVANIZED IRON FENCE
- CASTER CONCREMENT
- SEWER COVERAGE
- SEWER MANHOLE
- IRON PIPE FOUND
- 1" DIA. GALV. STEEL BOUND
- 2" DIA. DRILL-HOLE BIT



SURVEYOR'S STATEMENT

THIS PLAN AND SURVEY WERE PREPARED UNDER MY SUPERVISION, TO THE LOCAL JURISDICTION OF CARE, AND SUBSTANTIALLY MEET THE NECESSARY STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS PROVIDED BY THE BOARD OF PROFESSIONAL LAND SURVEYORS FOR AN UNDIVIDED CLASS SURVEY.

FULLER HALL & ASSOCIATES, INC.
By GERRY B. HALL, SURVEYOR

NO. 1100
DATE

Recorded for Book: JUNE 11 2019
Number of Pages: 15
Date: 9/30
Gerry B. Hall

BOUNDARY SURVEY
OF THE LANDS OF
VESTRY OF SALISBURY PARISH
A.K.A. ST. PETER'S EPISCOPAL CHURCH PROPERTY &
THE OLD TOWN HALL PROPERTY
SALISBURY ELECTION DISTRICT, CITY OF SALISBURY
WICOMCO COUNTY, MARYLAND

REVISIONS	
DATE	REVISED FOR:



Fuller Hall & ASSOCIATES, INC.
3003 MERRITT MILL ROAD
SALISBURY, MARYLAND 21804
PHONE: 410-572-8833
FAX: 410-341-3970

MAN SSA 1856 0454
PT19183

St. Peter's Site Map and Parking Lot Locations

115 St. Peter's St, Salisbury MD 21801



Current project ↖

Lot 1

Lot 2

Lot 3

Lots 1 & 2 are current priority for pervious pavers.

MIDMAP TOIT



ST. PETERS STREET

U.S. ROUTE 50
(EAST BOUND)

WEST CHURCH STREET

PARCEL 1032
18,064 SQ. FT.
"ST. PETER'S EPISCOPAL
CHURCH"
DEED REF. SPT 3/423

PARCEL 1033
14,803 SQ. FT.
"WILD HORNET HALL"

2.0 PARCELS
PARCEL 1043
DEED REF. 1444/200

0.7
CENTRE CITY
DEVELOPMENT, LLC
PARCEL 1044
DEED REF. 2884/133
PLAT REF. 14/128

JOHN R. WHEELER, ET AL.
PARCEL 1044
DEED REF. 817/128
817/128

STEVEN A. & BINA W. DEK
PARCEL 1044
DEED REF. 1444/200

2500

2545

236

24

20

200

200

200

200

200

Optim
Area

Escapes Outdoor Living LLC

721 BURNING TREE CIR

SALISBURY, MD 21801

(443)235-9228

ericsembell@gmail.com

Estimate

ESTIMATE # 3175

DATE 04/19/2021

ADDRESS

St. Peter's Episcopal Church

115 St. Peters St

Salisbury, MD 21801

PLEASE DETACH TOP PORTION AND RETURN WITH YOUR PAYMENT.

ACTIVITY

AMOUNT

Hardscape

43,375.00

St. Peters Parking Lot Expansion to add 2 Additional Parking Spaces

Permeable Paver Installation

Does not include parking area walkway to front door

New Parking Spaces to be on East and West Side of Lot

• Have Miss Utility mark all lines

• Have Surveyor mark for additional parking spaces and get approved by City of Salisbury

• Mark out hardscape area with owner before any work begins

• Excavate area to a depth of 12 inches as needed, dispose off site

• Keep dogwood tree but remove all other bushes to expand parking lot

• Paver parking area- 2450 sqft total, including parking area only

• Compact sub-grade and install geotextile material

• Install 9 inches of clean base stone and compact in 6" layers to 95% Proctor Density, #2 and #57

• During base installation install drainage pipes to get excess water to nearby drainage grate

• Base is leveled using laser level

• Screed bedding stone of 1 inch

• Lay pavers, Hanover Permeable Paver 4.5x9 Gettysburg Grey for lot with Limestone for parking lot

lines, Marked by Surveyor and pending approval by City of Salisbury

• Paver samples can be viewed at Potomac Valley Brick on Northwood Drive in Salisbury, MD (303 Bowl Drive), www.nicolock.com

• Compact pavers into bedding stone with tamper

• Fill joints between pavers with #8 grey stone

• All concrete paver installation adheres to ICPI specifications

Hardscape

2,965.00

Install Hanver Ammons Wall for parking lot curb on East side and South side, estimated 77' in L shape 6" height

Grading

2,900.00

Basement Waterproofing with Excavator Digging

- Mark all lines using Miss Utility and City Services to locate drainage where possible

- Excavate 12' trench against South side of parking area in main church building with excavator

- Leave debris onsite for future use

- Step wall back for safety reasons, will need to be dug back 8' from building at 1/2 height

- Waterproofing will be completed by Peninsula Roofing- See below and attached

- Compact and backfill area with existing soil, *if existing soil is not useable see below

Cleanup

350.00

Clean and powerwash wall to prep for Peninsula Roofing

Hardscape

0.00

Any repairs done to wall surface are billed at \$40/hour plus materials if completed by Escapes Outdoor Living, LLC

ACTIVITY

AMOUNT

Contracted

Waterproofing done by Peninsula Roofing

5,100.00

Becker Morgan recommended the Soprema fluid applied system with a drain fabric on top. It can be sprayed or rolled with reinforcing mesh applied at large cracks, corners, and other changes of direction.

To install this we would complete the following:

- Roll apply the specified Soprema coating.
- Install reinforcing fabric at any cracks and/or changes in direction.
- Apply an additional coat of the Soprema Coating
- Install the drain fabric over the wall coating.
- Secure the top edge of the drain fabric with 050 aluminum counter flashing.

Our cost for this work is \$5100

Hardscape

Re install gutter against wall of building we are sealing

2,200.00

Hardscape

GRADING/FINISH WORK

0.00

- Irrigation renovation or drainage is \$40/hr plus materials
- LED Outdoor lighting is \$40/hr plus materials, most systems run around \$200-\$250 per fixture installed
- Sod is installed at \$.40 per square foot
- Fill dirt is delivered and installed at \$300/dump truck load
- Topsoil is delivered and installed at \$425/dump truck load

Hardscape

*Actual pricing may vary depending on final design or any unforeseen objects that we may contact underground (electric lines, irrigation lines, septic or drainfield lines, etc). Precautions are made to avoid such instances however, any such objects that we can repair are billed at an hourly rate of \$35/hr plus materials. Any concrete that is poured due to soil pumping during excavation is billed at \$35/hr plus materials. Any permits or work associated with permits is billed at \$35/hr plus any city/county/state incurred costs. Homeowner will be contacted for any additional cost that may incur.

0.00

Before the project starts a 1/3 down payment is due to cover some of the pavers and other material expenses. A second 1/3 is due during the project. The final amount with any adjustments is due after completion.

MDA LIC. NO. 27797, MDAF 0575, MHIC # 133138
DDA LIC. NO. 13845, DE LIC. NO. 2015606998

TOTAL

\$56,890.00

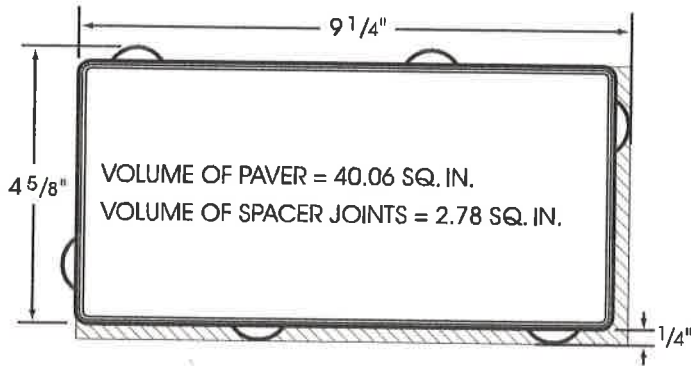
Accepted By

Accepted Date

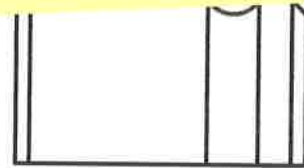
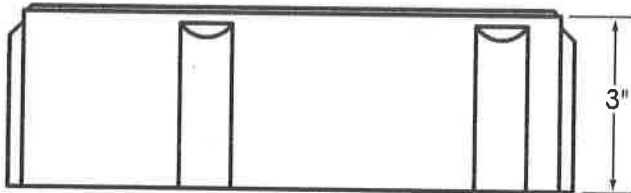
PERMEABLE PAVING UNIT

Permeable 4 1/2" x 9"

4 5/8" x 9 1/4" x 3"



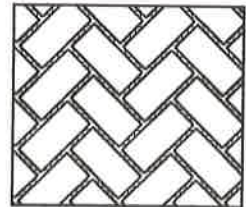
5.8% OPEN AREA PER UNIT



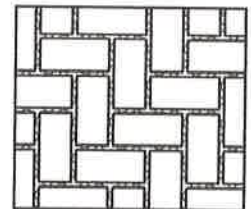
Contractor =
Escapes Outdoor
Living, LLC
(Eric Senkbeil)

PEDESTRIAN VS. VEHICULAR USAGE COMPARISON

	HANOVER® PRODUCT	PEDESTRIAN USE	LIGHT VEHICULAR USE	MODERATE VEHICULAR USE
		use by persons on foot and any mobility impaired persons using a wheelchair	pedestrian use & low speed, low volume residential and light commercial vehicular use	pedestrian use & low speed, moderate volume residential and moderate commercial vehicular use
		MINIMUM THICKNESS	MINIMUM THICKNESS	MINIMUM THICKNESS
PERMEABLE PAVING UNITS	Aqua-Loc®	3"	3"	3"
	EcoGrid®	4"	4"	NO MODERATE VEHICULAR USE
	Permeable 4" x 8"	3"	3"	3"
	PERMEABLE 4 1/2" X 9"	3"	3"	3"
	Permeable 4 1/2" x 9" Scored	3"	3"	3"
	Permeable 3 1/4" x 18"	4"	NO LIGHT VEHICULAR USE	NO MODERATE VEHICULAR USE
	Permeable 12" x 18"	3"	NO LIGHT VEHICULAR USE	NO MODERATE VEHICULAR USE



45° Herringbone

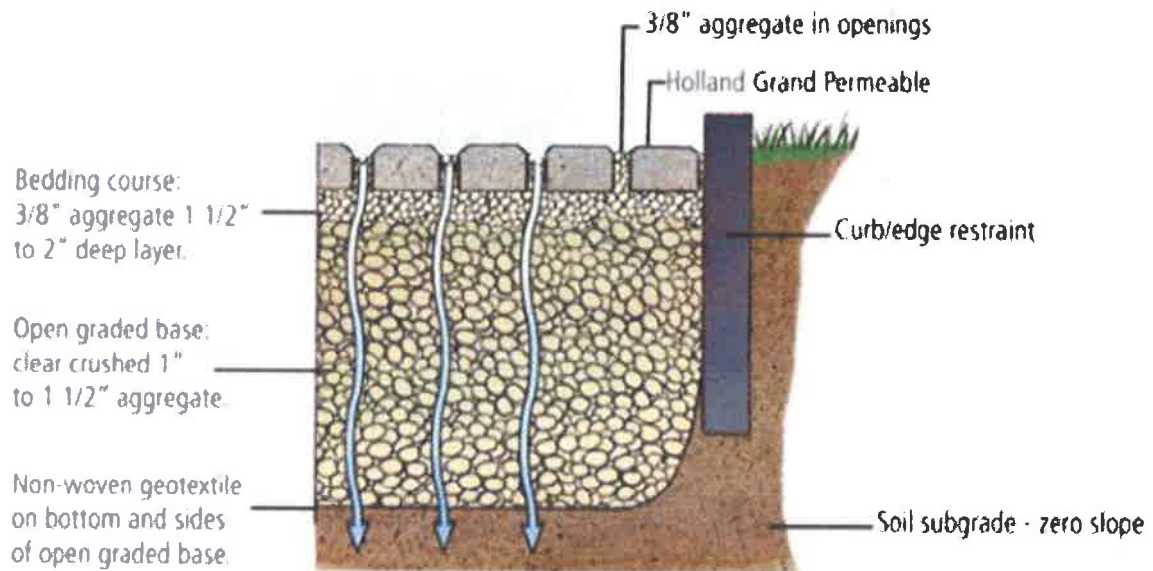


90° Herringbone

Please Note: Sizes shown are nominal. Products are made to fit metric modules. Overall dimensions include one spacer.

HANOVER®
Architectural Products
5000 Hanover Road, Hanover, PA 17331
717.637.0500 fax 717.637.7145
www.hanoverpavers.com

Typical Permeable Paver Installation



Waterproofing recommended by Becker Morgan,
 Contracted by Peninsula Roofing.



COLPHENE® LMBARR

WHEN CONSTRUCTION CALLS FOR A MONOLITHIC WATERPROOFING BARRIER

COLPHENE LM BARR is a single component, liquid applied, mechanically curing, elastomeric waterproofing membrane. COLPHENE LM BARR is a non-solvent, one-part waterproofing membrane. It can also be used in between slab applications, use COLPHENE LM BARR to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. COLPHENE LM BARR is available in both spray and trowel grades.

SYSTEM ADVANTAGES

- The first and only spray grade STPE waterproofing membrane on the market making installation fast and easy with very minimal preparation work - truly a time saving solution
- Polyether/STPE technology combines the best of both worlds - provides persistent adhesion to concrete while allowing movement of the building with extremely high elongation properties
- One pass application up to 120 mils (3.0 mm)
- Moisture cure allows COLPHENE LM BARR to bond to "green" concrete which allows you to coat the concrete sooner as opposed to emulsion-type or cutback products which can blister with moisture
- High solids content - meaning this product won't shrink or pull away from the concrete - i.e. 120 mils is 120 mils
- Fast cure reduces construction sequencing time by reducing backfill wait times
- Rain safe in minutes

INNOVATION

ABSOLUTE STPE TECHNOLOGY

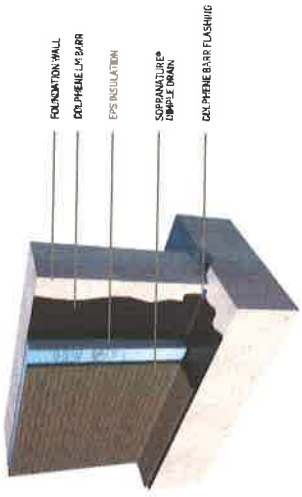
It's not just waterproofing, it's a system. That's why we've developed Absolute STPE Technology. It's a single component, liquid applied, mechanically curing, elastomeric waterproofing membrane. It can also be used in between slab applications, use COLPHENE LM BARR to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. COLPHENE LM BARR is available in both spray and trowel grades.

SUCCESS STORY

At Becker Morgan, we've been a leader in the waterproofing industry for over 25 years. We've worked on some of the most challenging projects in the industry, and we've always been there to help our clients solve their problems. Our Absolute STPE Technology is the result of our years of experience and innovation. It's a single component, liquid applied, mechanically curing, elastomeric waterproofing membrane. It can also be used in between slab applications, use COLPHENE LM BARR to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. COLPHENE LM BARR is available in both spray and trowel grades.



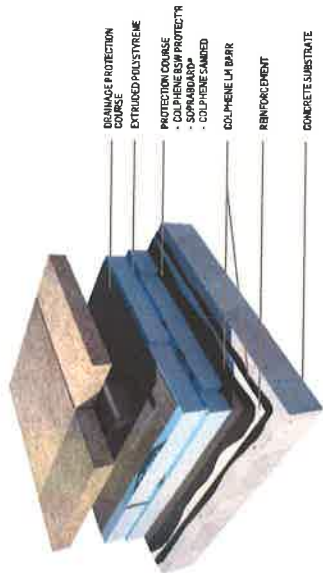
BELOW GRADE ASSEMBLY



PRODUCTS AND SIZES AVAILABLE

<p>COLPHENE LM BARR</p> <p>COLPHENE LM BARR is a single component, liquid applied, mechanically curing, elastomeric waterproofing membrane. It can also be used in between slab applications, use COLPHENE LM BARR to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. COLPHENE LM BARR is available in both spray and trowel grades.</p>	<p>COLPHENE LM BARR FLASHING</p> <p>COLPHENE LM BARR FLASHING is a single component, liquid applied, mechanically curing, elastomeric waterproofing membrane. It can also be used in between slab applications, use COLPHENE LM BARR FLASHING to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. COLPHENE LM BARR FLASHING is available in both spray and trowel grades.</p>	<p>POLYFLEECE FLASHING</p> <p>Polyfleece Flashing is a non-solvent, one-part waterproofing membrane. It can also be used in between slab applications, use POLYFLEECE FLASHING to waterproof planar boxes, sinking pantries, pizza ovens and green roof systems. POLYFLEECE FLASHING is available in both spray and trowel grades.</p>
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PLAZA DECK ASSEMBLY



TESTING & APPROVALS

Meets the testing and performance requirements of:

- ASTM D 5985 - Standard Test Method for Hydrostatic Pressure Resistance of Waterproofing Membranes
- ASTM C 836 - Standard Specification for High Solids Content Cold Liquid-Applied Elastomeric Waterproofing Membrane for Use with Separate Wearing Course



INNOVATION SINCE 1908

SOPREMA has over 100 years of experience in the waterproofing industry, providing innovative solutions for more than 100 countries. SOPREMA is a leader in the waterproofing industry, providing innovative solutions for more than 100 countries. SOPREMA is a leader in the waterproofing industry, providing innovative solutions for more than 100 countries.

ROOFING WATERPROOFING WALLS CIVIL ENGINEERING



SOPREMA is an industry leader in providing innovative solutions for waterproofing walls, roofs, and civil engineering applications. SOPREMA is an industry leader in providing innovative solutions for waterproofing walls, roofs, and civil engineering applications.

1-800-368-2515 | 877-668-0214



COLPHENE

COLPHENE® LM BARR
UNIVERSAL WATERPROOFING BARRIER

ADDITIONAL
EXPERIENCE



STANDARD 487/2017



Hanover Ammons Wall



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fire pit

firepit

steps

chapel

chapel stone wall

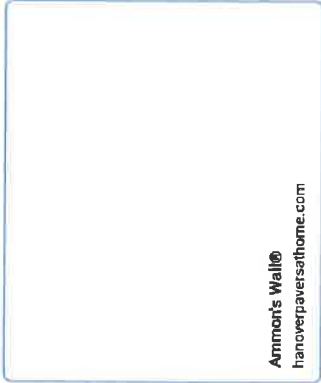
patio

brick

bullnose

paver

hanover archi



Ammon's Wall® hanoverpavers.com

Ammon's Wall® hanoverpaversathome.com

Ammon's Wall® hanoverpaversathome.com

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Hanover Chapel Stone L westviewconcrete.com

Across

HANOVER® ARCHITECTURAL hanoverpavers.com

Ammon's Wall® hanoverpavers.com

Contractor = Escapes Outdoor Living, LLC

Being created by Signs By Tomorrow and
installed on East side of Church wall,
(Similar to Courtyard sign, attached)

Sign #1

**Funds for the Outreach and Restoration
of our Parking Lot and Gardens
were provide by
The Chesapeake Bay Trust
in 2021.**

Sign #2

St. Peter's is Caring for Creation

**In 2021 a pervious surface parking lot and native pollinator garden
were installed in this area.**

**This allows rainfall to filter naturally through the soil instead of
flowing off hard pavement and creating**

**more runoff into the Wicomico River. It provides the natural
treatment of 1,584 gallons of stormwater
per 1-inch storm event resulting in 0.03 lbs. of phosphorus, 31.46 lbs.
of sediment**

and 0.72 lbs. of nitrogen removed annually.

**The garden attracts to downtown a number of pollinator species
including
bees and butterflies.**

For more information go to www.stpeterschurch.net

Linda Abbott <lindaabbott6@comcast.net>

2/19/2021 7:34 PM

Plaque

To Matthew Heim <matthew@interfaithchesapeake.org> • Sharon Clark <seripper@comcast.net> • sketcham@lowershorelandtrust.org

Took awhile to find in photos.....

Sent from my iPhone



Current signage in Courtyard.



- IMG_0117.JPG (4 MB)



St. Peter's
Episcopal Church



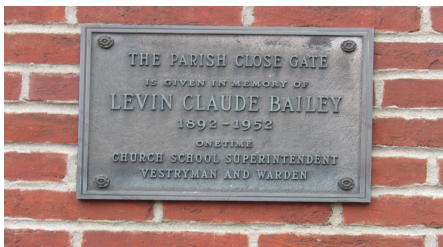
Welcomes You
stpeterschurch.net

Hanging on St. Peter's Street.



Place for new signs
#1 and #2

Signs currently attached to St. Peter's Episcopal Church



Salisbury Historic District Commission

STAFF FINDINGS

Meeting Date: June 30, 2021

Case Number:	21-14
Commission Considering:	New Parking Lot
Owner's Name:	St. Peter's Episcopal Church
Applicant Name:	Sharon Clark
Agent/Contractor:	None Indicated
Subject Property Address:	115 St. Peter's Street
Historic District:	Downtown Historic District
Use Category:	Exempt Commercial
Zoning Classification:	Central Business District
Structure / Site Description:	
Built Date:	1924
Enclosed Area:	8,050 sq ft
Lot Size:	15,064 sq ft
Number of Stories:	Not Indicated
Wicomico County Historic Survey on file:	Yes
Contributing Structure:	Yes 2/24/2016
Nearby Properties on County Survey:	Yes
Including but not limited to:	
➤ First National Bank	
➤ White and Leonard Building	

Explanation of Request: The applicant is requesting the Salisbury Historic District Commission approve their request to update the parking lot and install some signage.

Relevant Historic, Archeological and Architectural Features of the Surrounding Area:

The property in question is located within the Newtown Historic District. The majority of the structures in the surrounding area, which includes Broad, North Division and Chestnut Streets, consist of churches of various dominations. The area is zoned *Office and Service Residential* which explains why a lawyer’s office exists at 115 Broad Street and an engineer’s office is located at 226 N. Division Street. The Salisbury Historic District Commission approved 316 N. Division St. for new gutters, 325 N. Division St. for a storm door installation, 324 N. Division St. for multiple exterior alterations, 602 N. Division St. for sign face replacement and 325 Broad St. for new gutters, and installation of aluminum window trim. A majority of the houses in this District range in age and were built starting in the late 1850’s to the late 1920’s. There’s a mix of architectural styles in the surrounding area with no prevalence to any specific style.

Neighboring Properties which have been deemed Contributing/Non-Contributing:

House #	Street Name	Hearing Date	Contributing	Non-Contributing
202	W. Main Street	8/27/14	Not Determined – approved on consent docket	
205	W. Main Street (Metropolitan Magazine)	9/28/11	X	
213	W. Main Street	1/25/12	X	
218	W. Main Street (Vernon Powell Bldg.)	11/19/14	X	
222	W. Main Street (The Carriage House)	4/23/14	X	

Areas of Historic Guidelines to be considered:

Guideline 33: Walkways, Driveways, and Parking Lots

Walkways, driveways, and parking lots are integral features within all of Salisbury’s historic districts. Their location, materials, and overall appearance on the property and within the streetscape is a historic feature that contributes to the district as a whole and should be retained and preserved. Historic Districts where single-family residences are converted to multi-family. Within the Historic District are small surface parking areas for religious buildings and a few commercial properties. Surface parking areas are not contributing features, but impact the character of the historic district.

- a. Avoid altering the original layout, size, dimensions, textures, and materials of historic walkways and driveways.
- b. Walkways and driveways that have fallen into disrepair should be repaired rather than replaced wherever possible

- c. Concrete is the recommended material for new sidewalk construction. The material and pattern of the exiting sidewalk within the block should be maintained.
- d. Establishing a new pattern using concrete pavers, red or yellow brick may be appropriate if it is compatible with the historic quality of the street and will be reviewed on a case-by-case basis.
- e. Sidewalks must provide curb cuts per code and ADA guidelines.
- f. Historic walkways which have been lost or altered may be restored based on existing documentation of the original design, or if no documentation is available, a new feature may be designed to be compatible with the overall historic layout of the property. The new design should be compatible with the location, configuration, dimension, scale, materials, and color of the historic property and the surrounding district.
- g. Walkway and driveway materials and colors should be consistent with those used historically, including brick, flagstone, and gravel. Concrete and asphalt are other options which are potentially appropriate.
- h. Construction of new parking lots for subdivided residential properties should be avoided, or located at the rear or side of the property. Provide a landscaped buffer to screen the parking area from view. Plant material should be no more than 42" in height in order to screen the vehicles but still allow for visual access into and from the lots.
- i. For commercial or institutional parking, the overall effect on the character of the surrounding area must be considered. Locate parking lots away from the primary elevations – the rear or side of the property is usually ideal. Provide a landscaped buffer to screen the parking area from view. Plant material should be no more than 42" in height in order to screen the vehicles but still allow for visual access into and from the lots.

Evaluation Criteria:

Pursuant to Section 17.52.040 A & B of the Salisbury Zoning Code, it is the duty of the Historic District Commission to review all applications to construct, alter, reconstruct, move or demolish any structure within a Historic District whenever the exterior appearance of such structure is affected, and to approve or reject said application. In reviewing an application and plans, the Commission should give consideration to review criteria, and may make a determination as to which of said Criteria are applicable.

Staff Findings Prepared By: Jessica Budd

Infrastructure and Development
125 N Division Street, Suite 202
Salisbury, MD 21801
(410) 548-3170
Date: June 15, 2021

Real Property Data Search

Search Result for WICOMICO COUNTY

[View Map](#)

[View GroundRent Redemption](#)

[View GroundRent Registration](#)

Special Tax Recapture: None

Account Identifier: District - 09 Account Number - 061274

Owner Information

Owner Name: ST PETERS EPISCOPAL CHURCH Use: EXEMPT COMMERCIAL
 Principal Residence: NO
 Mailing Address: C/O ST PETERS VESTRY Deed Reference:
 115 ST PETERS ST
 SALISBURY MD 21801

Location & Structure Information

Premises Address: 115 ST PETERS ST Legal Description: BL-1 L-9 15,064 SQFT
 SALISBURY 21801-0000 115 ST PETERS STREET
 B/S VESTRY OF SALIS PAR

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0107	0014	1032	21003.23	0000		1	9	2021	Plat Ref: 0015/ 0930

Town: SALISBURY

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1924	8,050 SF		15,064 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
		CLASSROOM	/	C3			

Value Information

	Base Value	Value	Phase-in Assessments	
		As of	As of	As of
		01/01/2021	07/01/2020	07/01/2021
Land:	225,900	225,900		
Improvements	536,100	475,200		
Total:	762,000	701,100	762,000	701,100
Preferential Land:	0	0		

Transfer Information

Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments:	Class	07/01/2020	07/01/2021
County:	700	762,000.00	701,100.00
State:	700	762,000.00	701,100.00
Municipal:	700	762,000.00 701,100.00	762,000.00 701,100.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: No Application

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application Date:

WI-145

Salisbury Historic District

Architectural Survey File

This is the architectural survey file for this MIHP record. The survey file is organized reverse-chronological (that is, with the latest material on top). It contains all MIHP inventory forms, National Register nomination forms, determinations of eligibility (DOE) forms, and accompanying documentation such as photographs and maps.

Users should be aware that additional undigitized material about this property may be found in on-site architectural reports, copies of HABS/HAER or other documentation, drawings, and the “vertical files” at the MHT Library in Crownsville. The vertical files may include newspaper clippings, field notes, draft versions of forms and architectural reports, photographs, maps, and drawings. Researchers who need a thorough understanding of this property should plan to visit the MHT Library as part of their research project; look at the MHT web site (mht.maryland.gov) for details about how to make an appointment.

All material is property of the Maryland Historical Trust.

Last Updated: 08-29-2003

MARYLAND HISTORICAL TRUST
DETERMINATION OF ELIGIBILITY FORM

NR Eligible: yes no

Property Name: Salisbury Historic District Inventory Number: WI-145
Address: _____ City: Salisbury Zip Code: _____
County: Wicomico USGS Topographic Map: Salisbury
Owner: _____ Is the property being evaluated a district? yes
Tax Parcel Number: _____ Tax Map Number: _____ Tax Account ID Number: _____
Project: Section 106 Agency: HUD/CD
Site visit by MHT staff: no yes Name: _____ Date: _____
Is the property is located within a historic district? yes no

If the property is within a district District Inventory Number: _____
NR-listed district yes Eligible district yes Name of District: _____
Preparer's Recommendation: Contributing resource yes no Non-contributing but eligible in another context yes

If the property is not within a district (or the property is a district) Preparer's Recommendation: Eligible yes no

Criteria: A B C D Considerations: A B C D E F G None

Documentation on the property/district is presented in:
federal files

Description of Property and Eligibility Determination: *(Use continuation sheet if necessary and attach map and photo)*

Prepared by: P. Fennell HUD/CD Date Prepared: 05/26/1983

MARYLAND HISTORICAL TRUST REVIEW	
Eligibility recommended <input checked="" type="checkbox"/>	Eligibility not recommended <input type="checkbox"/>
Criteria: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D	Considerations: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> None
MHT Comments	
Reviewer, Office of Preservation Services	Date
<u>Carla Burzyk (keeper)</u>	<u>June 02, 1983</u>
Reviewer, NR Program	Date

Maryland Historical Trust State Historic Sites Inventory Form

1. Name (indicate preferred name)

historic SALISBURY HISTORIC DISTRICT

and/or common

2. Location

street & number Multiple Streets ___ not for publication

city, town Salisbury ___ vicinity of congressional district

state Maryland county Wicomico

3. Classification

Category	Ownership	Status	Present Use	
<input checked="" type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input checked="" type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input checked="" type="checkbox"/> private residence
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment	<input checked="" type="checkbox"/> religious
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input checked="" type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input type="checkbox"/> not applicable	<input type="checkbox"/> no	<input type="checkbox"/> military	<input type="checkbox"/> other:

4. Owner of Property (give names and mailing addresses of all owners)

name Multiple Owners

street & number telephone no.:

city, town Salisbury state and zip code Maryland

5. Location of Legal Description

courthouse, registry of deeds, etc. Wicomico County Courthouse liber

street & number folio

city, town Salisbury state Maryland

6. Representation in Existing Historical Surveys

title

date ___ federal ___ state ___ county ___ local

depository for survey records

city, town state

7. Description

Survey No. WI-145

Condition

excellent

good

fair

deteriorated

ruins

unexposed

Check one

unaltered

altered

Check one

original site

moved

date of move _____

Prepare both a summary paragraph and a general description of the resource and its various elements as it exists today.

8. Significance

Survey No. WI-145

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

Specific dates	Builder/Architect
check: Applicable Criteria: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D and/or Applicable Exception: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G	
Level of Significance: <input type="checkbox"/> national <input type="checkbox"/> state <input type="checkbox"/> local	

Prepare both a summary paragraph of significance and a general statement of history and support.

9. Major Bibliographical References

Survey No. WI-145

See Description

10. Geographical Data

Acreege of nominated property _____

Quadrangle name _____

Quadrangle scale _____

UTM References do NOT complete UTM references

A
 Zone Easting Northing

B
 Zone Easting Northing

C

D

E

F

G

H

Verbal boundary description and justification

List all states and counties for properties overlapping state or county boundaries

state	code	county	code

state	code	county	code

11. Form Prepared By

name/title Kennedy Smith- Downtown Historic District Commission
 Kim Kimlin- Maryland Historical Trust

organization _____ date _____

street & number _____ telephone _____

city or town _____ state _____

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust
 Shaw House
 21 State Circle
 Annapolis, Maryland 21401
 (301) 269-2438

Downtown Historic District
City of Salisbury
Wicomico County, Maryland

Location: The Downtown Historic District in Salisbury, Maryland is located south of U.S. Route 50 and north of the East Branch of the Wicomico River. It includes the following street addresses:

- | | |
|-----------------------------|----------------------------|
| 100-509 W. Main Street | 100-block W. Lake Street |
| 100-218 E. Main Street | 105,221 Camden Street |
| 100-block S. Baptist Street | 200 E. Church Street |
| 200 Poplar Hill Avenue | 121 E. Market Street |
| 100-block W. Market Street | 104-126 N. Division Street |
| 201 Small Street | 100-block W. Church Street |

Representation in Existing Surveys: All properties are included in the locally-executed "Downtown Historic District Survey" prepared for the Downtown Historic District Commission.

Description: The district is located north of the East Branch of the Wicomico River. Portions of the southeastern quadrant of the district were once part of Humphrey's Lake which was reclaimed early in this century. The district is centered along Main Street (running east-west) and Division Street (running north-south), with smaller streets (Lake, Small, Mill, West Market, St. Peter's, Baptist, and Poplar Hill) intersecting Main Street.

Architectural density is high in the district, especially on West Main Street, with most of the buildings bordering directly onto the sidewalk and sharing bearing walls with neighboring buildings. On Main Street west of the river are several buildings, including a large warehouse, that front onto both Main Street and the Wicomico River. The segment of Main Street between West Market and Division Streets was closed to vehicular traffic, paved with brick, and landscaped in the mid-1960s. This segment is known as the "Plaza," and is flanked by tightly-packed commercial buildings. Three segments of buildings on East Main Street (the 100-block and 200-block on the south side, and the 200-block on the north side) are continuous units, later in date, but similar in scale, density, setback, and building materials to the older buildings on the Plaza. The 100-block on the north side of E. Main Street, however, has two large government buildings, the Wicomico County Courthouse and the Federal Building, which are set back from the street and relatively monumental in massing.

A major factor contributing to the district's cohesiveness is its physical orientation around Main Street and Division Street. Most of the buildings front onto Main Street and are one block in depth, with rear entrances on Camden, Church, and E. Market Streets.

The areas beyond these secondary streets lack cohesiveness and visual order. Along West Main Street are numerous two and three story vernacular commercial and Victorian commercial buildings. Several warehouses are located on the west side of the district and front onto both W. Main Street and the Wicomico River. Storefronts have been added to the street facades of several of the warehouses. The row of two and three story buildings on the south side of E. Main Street dates from the first quarter of the 20th Century. These classically-detailed buildings continue to serve their historic role as offices for lawyers and other professionals. Anchoring the east end of the district are two vernacular commercial buildings dating from the same early 20th Century period. These are the former shirt factory, which has been converted to retail use, and the former Red Star bus terminal. Brief descriptions of the most notable buildings in the district follow:

- 1). Wicomico County Courthouse E. Main St. and N. Division St.
Photos 2 and 4
1878; three-story Victorian Gothic, red brick with mousetooth beltcourses between Tudor-arched windows; bell tower, slate roof and front porch. Large 1936 brick addition at rear with concrete classical detailing;
- 2). Thomas R. Young Music Co. W. Main St. and W. Market St.
Photos 18 and 19
1887; three-story Victorian commercial, red-brick upper facade above ground floor granite piers framing large display windows with painted oak base panels and sashes. Upper floor windows are capped with limestone segmental arches. Elaborate corner entrance and roofline cornice;
- 3). "Old Synagogue Building" W. Main St. and W. Market St.
Photos 19 and 20
1892; two-story Victorian Gothic, red-brick with limestone beltcourses between elaborate pointed-arch, second story windows. Corner entrance is capped with a projecting turret; restoration of first story currently underway;
- 4). G & K Warehouse 318 W. Main St.
Photo 22
1889; three-story vernacular warehouse fronting onto both Main Street and the Wicomico River. Third story was added c. 1900. Six bays of segmental-arched windows stretch across the Main St. facade;
- 5). Bridge Control Tower W. Main St. and Wicomico River
Photo 23
1927; two-story Classical Revival tower with engaged corner pilasters resting on granite plinths. Copper roof is trimmed with a delicate dentil molding;

- 6). Wicomico Hotel Main St. and Division St.
Photo 3
c. 1915; seven-story Classical Revival brick hotel converted to offices with first-story storefronts. Engaged limestone pilasters separate the bays on the first story and support a limestone cornice above the storefronts. Seventh floor is elaborately trimmed with a limestone beltcourse, window surrounds and a large bracket-supported cornice. Prominent location, imposing size;
- 7). Old City Hall 110 W. Church St.
1893; two-story Victorian Gothic brick building with large, limestone-trimmed windows, steep slate roof, assymetrical massing, and an imposing bell tower capped with pointed turret;
- 8). St. Peter's Episcopal Church St. Peter's St. and W. Church St.
Photo 1
1887, 1923; brown brick basilica with Romanesque and Italianate detailing. Central sanctuary is flanked by buttressing side-aisles and pierced with large stained-glass clerestory windows. Entrance is provided by an adjoining belfry which extends above the roofline of the sanctuary. The church was modeled after the design of the Church of the Annunciation in Philadelphia. The congregation has worshipped at this corner site since 1768;
- 9). Maryland National Bank 200 W. Main St.
Photo 14
1929; two-story Art Deco bank with limestone facing, engaged corner pilasters, and a central opening with lotus-motif metal grille over glass within a frame of dark scagliola. Geometric ornamentation in shallow relief;
- 10). Shirt Factory E. Main St. and Poplar Hill Avenue
Photos 8 and 9
c. 1930; two-story commercial vernacular factory building with stucco-faced, first-story facade and red brick upper wall finish. Stretching 250 feet along E. Main Street, the building is divided into bays by brick piers;
- 11). Hayman's Pharmacy 501-507 W. Main Street
Photo 26
1930; two-story brick commercial vernacular structure fronting onto both W. Main Street and Lake Street, with an imposing corner entrance, flat surface detailing, and brick cornice;

Intrusions in the district include buildings that have suffered a severe loss of integrity through alteration and buildings that were built after the period of significance. Also intrusive is the non-historic open space, including the brick plaza in front of the Courthouse, vacant lots and parking lots.

Nearly all of the Plaza buildings have been altered on the first story with modern storefronts and signage. The buildings on West Main Street west of the Plaza are, with only two exceptions, original in appearance; however, these buildings have not been maintained as well as those on the Plaza and E. Main Street. The buildings east of the Plaza, generally retain their integrity and are in good condition. Several buildings in the district have recently been rehabilitated including the following: the former shirt factory on E. Main Street, which has been converted to a retail outlet center, Kuhn's Jeweler's (107 W. Main Street), the A.F. & A.M. Lodge (110 Division Street), 229 W. Main Street, and the City Hall Museum and Cultural Center (110 E. Church Street). A number of other rehabilitation projects are currently underway or proposed.

Boundary Justification: The Downtown Historic District is bounded by U.S. Route 301 on the north, modern development and parking lots on the east and south, and vacant lots and a residential area on the west.

Verbal Boundary Description: The boundaries of the district are shown on the attached map entitled "Downtown Historic District".

Significance: The Downtown Historic District in Salisbury, Maryland, is significant in the areas of architecture, commerce and government. Numerous commercial and public buildings which were constructed during the district's period of significance, 1878 to the 1930s, remain intact and in good condition. Architecture in the district conforms to the general stylistic conditions of the period, ranging from the 1878 Victorian Gothic Courthouse to the two Art Deco bank buildings on the Plaza. The district is characterized by Victorian, Classical Revival and vernacular commercial buildings. From the early 18th Century, Salisbury, by virtue of its location at the head of the Wicomico River served as the primary shipping point for agricultural products from the hinterland. The Pennsylvania Railroad provided a second means of transport in the 19th Century and connected Salisbury to nearby towns and cities, and Philadelphia. Concurrent with its development as a shipping center, the city expanded as a service center for the surrounding agrarian region. Eleven years after Wicomico County was created in 1867, the Courthouse was completed in Salisbury, the new county seat. The downtown became the center for municipal and county business and, following the construction of the Federal Building in 1926, several regional offices for federal agencies were established in the City as well. In summary, the district is the visual expression of the City's historical development, from the construction of warehouses for river-based enterprises, to the development of a self-supportive retail cluster, to the construction of law offices and key government buildings, and to the development of several small-scale industries.

History and Support: When the City of Salisbury was incorporated in 1732, the current downtown area was locally known as "Handy's Landing," a dock area. The presence of the Wicomico River and Humphrey's Lake, adjoining the river on the east, was a valuable asset and the docks became an important spot for local trade. According to City records five streets had been laid out by 1817: Dividing Street (dividing Somerset and Worcester Counties), Somerset and Worcester Road (connecting the two counties), Bridge Street, Back Street, and Church Street. Although no buildings survive from this early era, these streets remain, now known respectively as Division Street, Isabella Street, Main Street, Camden Street and Church Street.

In the mid-19th Century, the downtown area attained local and regional prominence. The dock area, whose growth was recognized by the designation of Dock Street in the 1830s, became an important transportation mode, and even as rail transport developed later in the century, the water transport business continued to prosper in Salisbury (~~to the present~~). Initially, farm and marine products were the primary cargoes, but by the 1840s, a number of flour, lumber and lime mills had developed in the area expanding the base of goods exported from Salisbury. Retail shops were constructed along Bridge Street (Main Street) between Division and Dock Streets, forming a corridor of densely-packed, two-story frame buildings. North of Church Street was Isabella Street which was the core of the residential area.

The 1860s and 1870s were years of tremendous change for the area. In 1860 a disastrous fire completely destroyed the City's commercial center. Buildings were rebuilt immediately following the previous pattern. In 1867, the creation of Wicomico County from portions of Worcester and Somerset Counties, and the selection of Salisbury as its county seat spurred another period of active growth. By 1878, the new County has raised \$25,000.00 for the construction of a courthouse and it was built at the corner of E. Main Street and Division Street.

The Sanborn Insurance Maps of 1885 show the area as a well-populated and thriving one, with residential and commercial buildings along Main Street. In 1886, however, another fire again destroyed all of the buildings in the downtown area with the exception of the Courthouse (~~see Photo 2~~). This time more fire-resistant construction materials, such as brick, stone and iron, were used in the rebuilding. By late 1887 the Wicomico Weekly News reported on several businesses reopening on Main Street including the L.W. Gunby Hardware Co, the Merchants Hotel, the Farmers and Merchants Bank, Ullman's Opera House, and about two dozen smaller businesses (~~see Photo 3~~). The Victorian Gothic-style City Hall was constructed in 1896. It housed the fire company on the first story and city offices on the second story.

In the 1910s, portions of Humphrey's Lake were reclaimed and the remainder of the lake was re-routed as a branch of the Wicomico River. Main Street was extended east beyond Division Street, and the construction of a row of buildings for law offices serving the Courthouse commenced. The erection of the seven-story Wicomico Hotel during this period reflects Salisbury's regional prominence. The Federal Building was erected on E. Main Street in 1926 and a wing was added to the Courthouse in 1936. During the 1920s and 1930s, the lots further east on Main Street were developed, primarily by the Larmar Corporation, for commercial and small-scale industrial enterprises including the shirt factory and the Red Star Bus Terminal.

Improvements in communication and transportation in the mid-20th century led to decentralization of commercial and residential activities. More specifically, two major U.S. highways, suburban housing developments and a shopping mall were constructed outside of the downtown area of Salisbury. In an attempt to compete with the mall, the downtown Plaza was created in the 1960s. The latest revitalization efforts for the downtown include the designation of a locally-zoned historic district and the establishment of a local historic district commission.

Prepared by: Ms. Kennedy Smith for the Downtown Historic District
Commission and the City of Salisbury

Edited by: Ms. Kim Kimlin, Maryland Historical Trust
21 State Circle
Annapolis, Maryland 21401
(301) 269-2438

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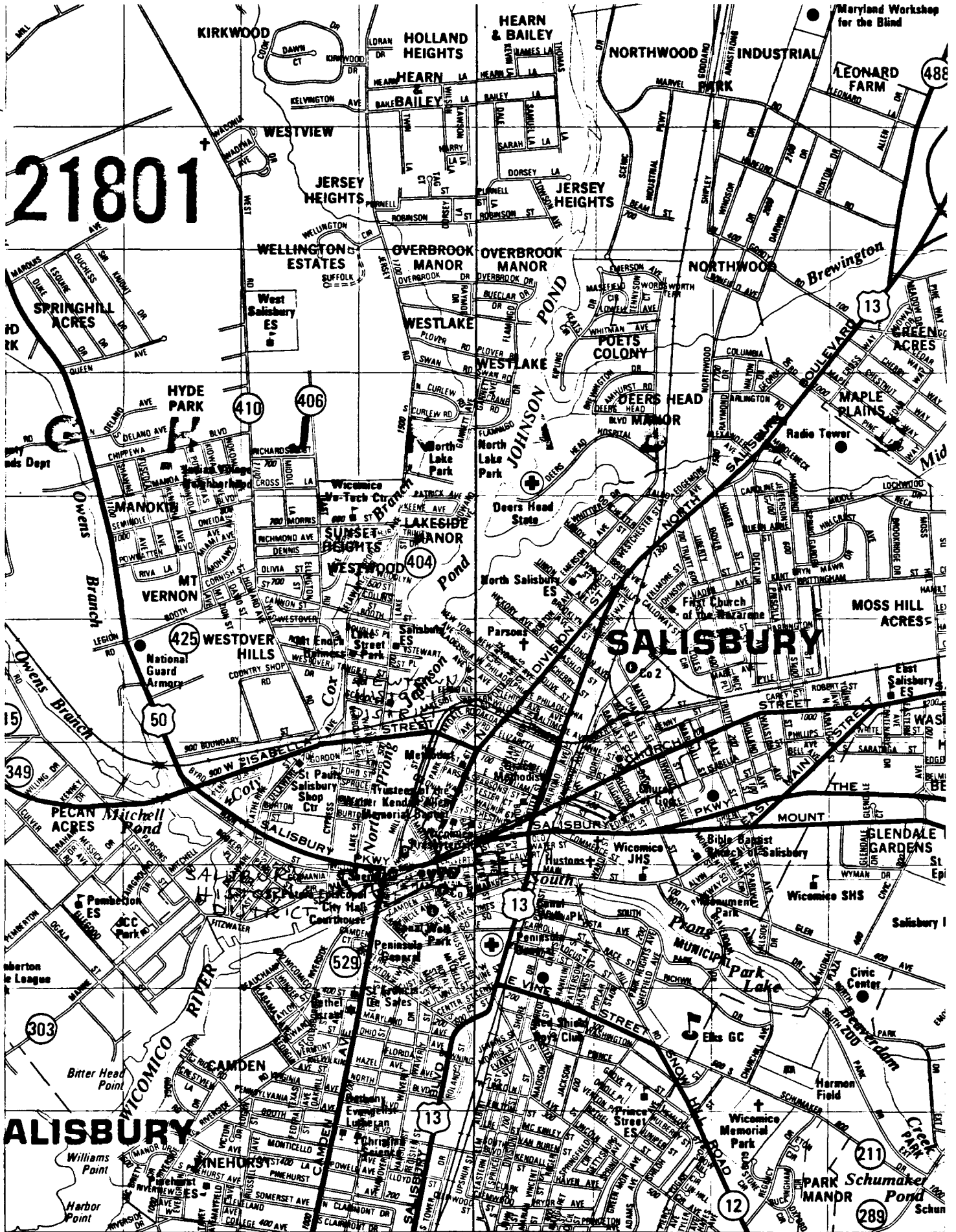
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21801



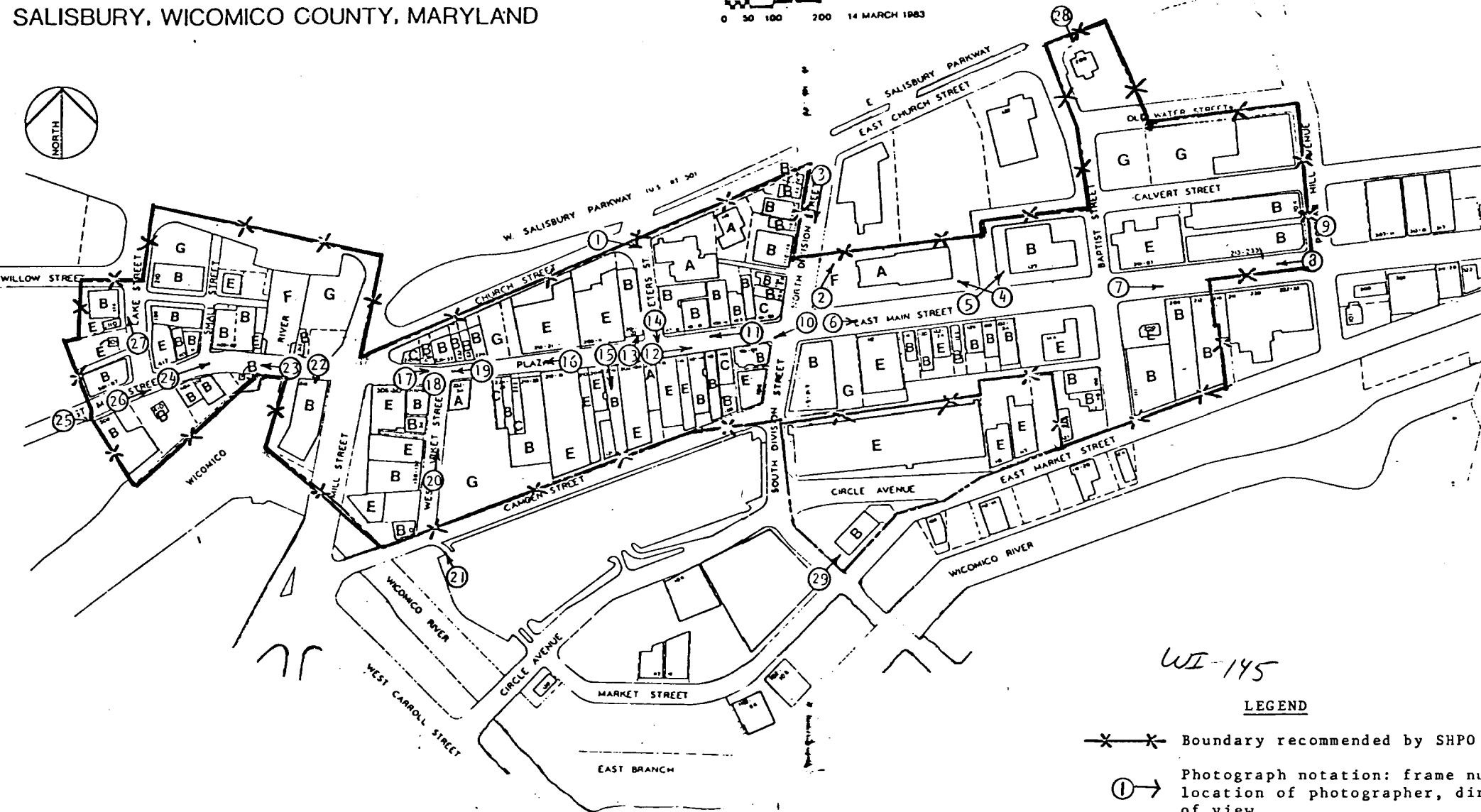
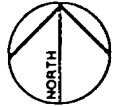
Salisbury

W1-145 Salisbury Historic District
 APC WICOMICO COUNTY STREET MAP

DOWNTOWN HISTORIC DISTRICT

SALISBURY, WICOMICO COUNTY, MARYLAND

0 50 100 200 14 MARCH 1983



WI-145

LEGEND

- Boundary recommended by SHPO
- Photograph notation: frame number, location of photographer, direction of view
- A Coding system (see reverse)

75°37'30"
38°22'30"

CAMBRIDGE 31 MI.
VIENNA 15 MI.

447000m E

LAUREL 13 MI.
DELMAR 6 MI.

35'

ROYAL OAK 9.6 MI.
CATCHPENNY 5 MI.

4246000m N

4245

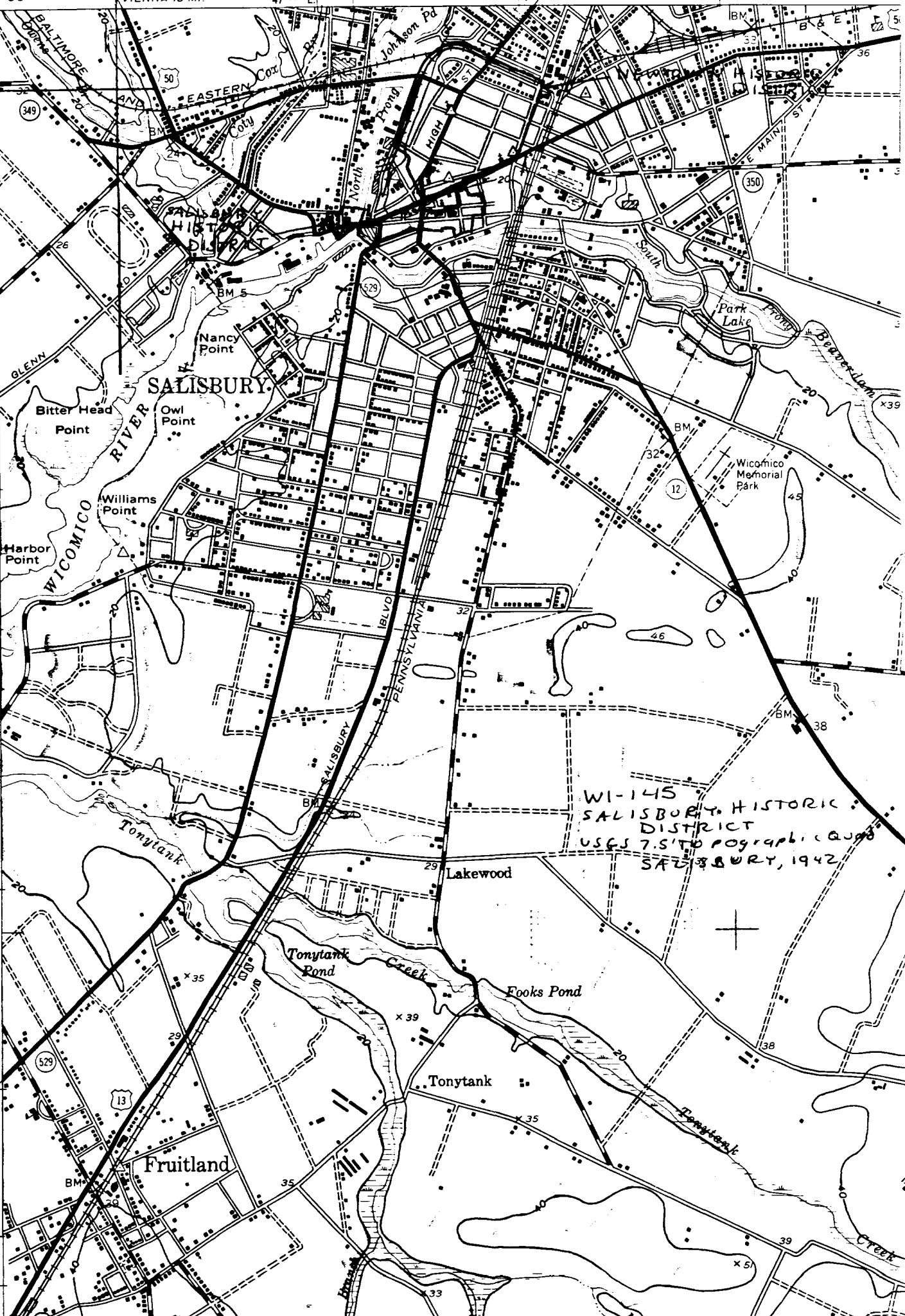
4244

4243

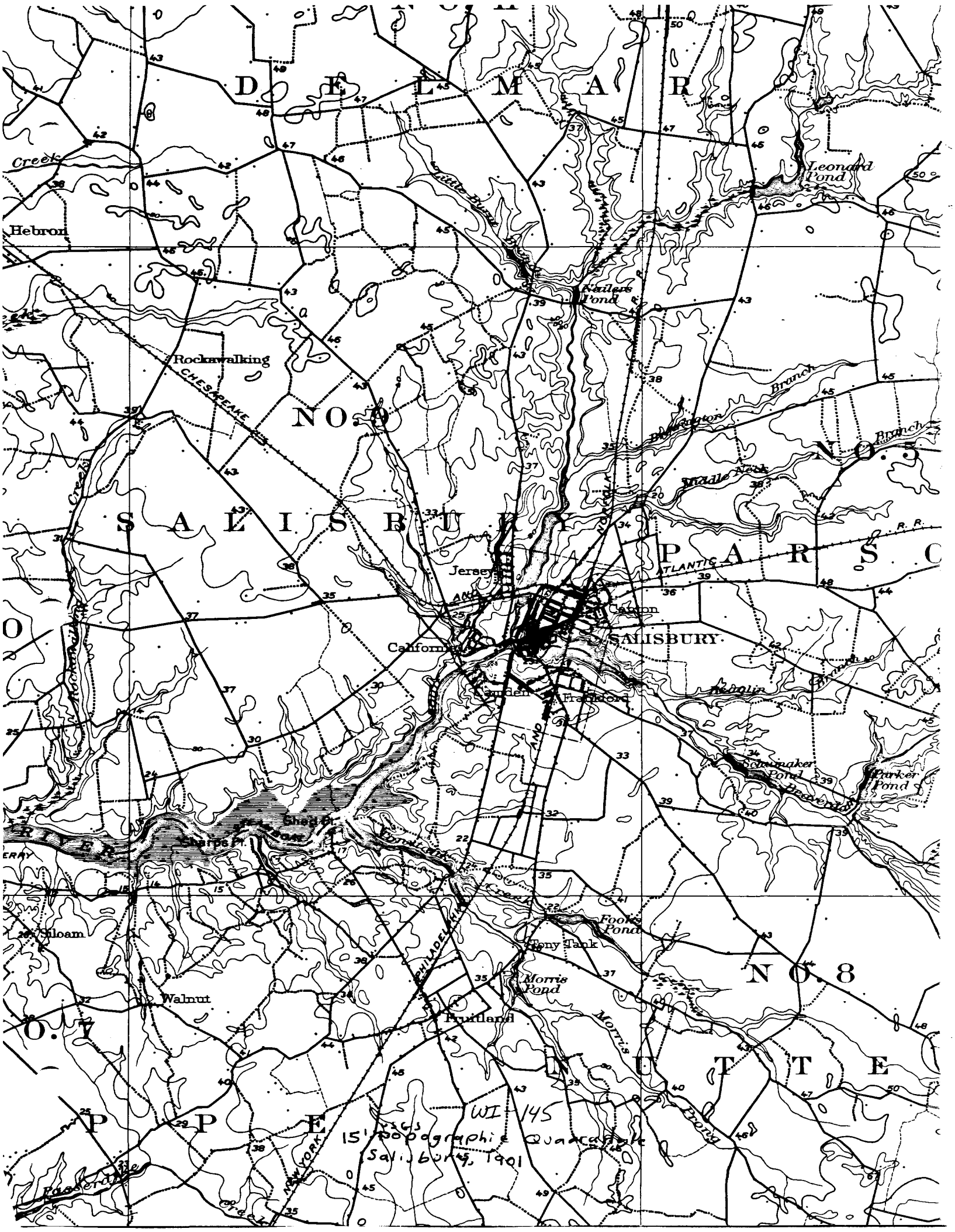
20'

PRINCESS ANNE 11 MI.
ALLEN 4.5 MI.

PRINCESS ANNE 9 MI.
DEN 2.1 MI.



WI-145
SALISBURY HISTORIC DISTRICT
USGS 7.5 TOPOGRAPHIC QUAD
SALISBURY, 1942



D E L M A R

Creek

Hebron

Leonard Pond

Kellers Pond

Rockwalking

CHESAPEAKE

N O

Branch

Branch

S A L I S B U R Y

P A R K E R

Jersey

ATLANTIC

California

SALISBURY

London

Frankford

Abolish

Schumaker Pond

Parker Pond

ERRY

Sloam

Walnut

Fools Pond

Tony Bank

Morris Pond

Frankford

N O 8

O. T

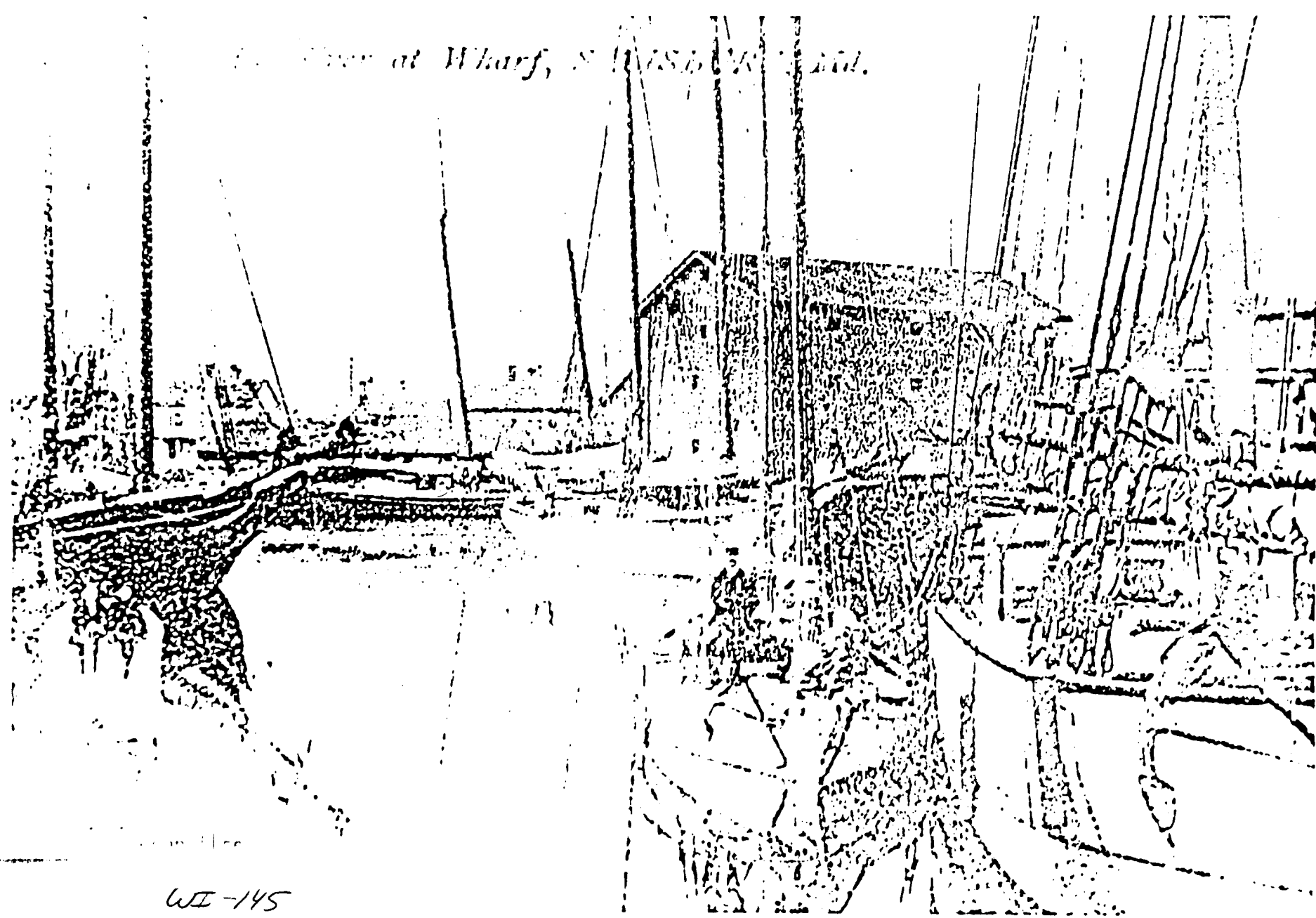
M O R R I S

P E

WI 145

15' topographie Quacagale
Salisbury, 1901

View at Wharf, S. 1856 W. 2nd.



WI-145

Photo A : Wicomico River, c. 1900



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Photo B: Main Street after



Photo C: Main Street in 1895

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PHOTO 3: Main Street, 1981.

WI-145



PHOTO 2: Main Street in 1895.

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PHOTO 4: Vernacular Victorian
storefront
(239-241 W. Main St.)

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PHOTO 5: 1910s law offices
(128-134 E. Main St.)

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PHOTO 6: Shirt Factory
(E. Main & Poplar Hill)

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PHOTO 8: 200 W. Main St., 1981.



PHOTO 1: Main Street after
1886 fire

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View on Wicomico River at Wharf, SALISBURY, Md.

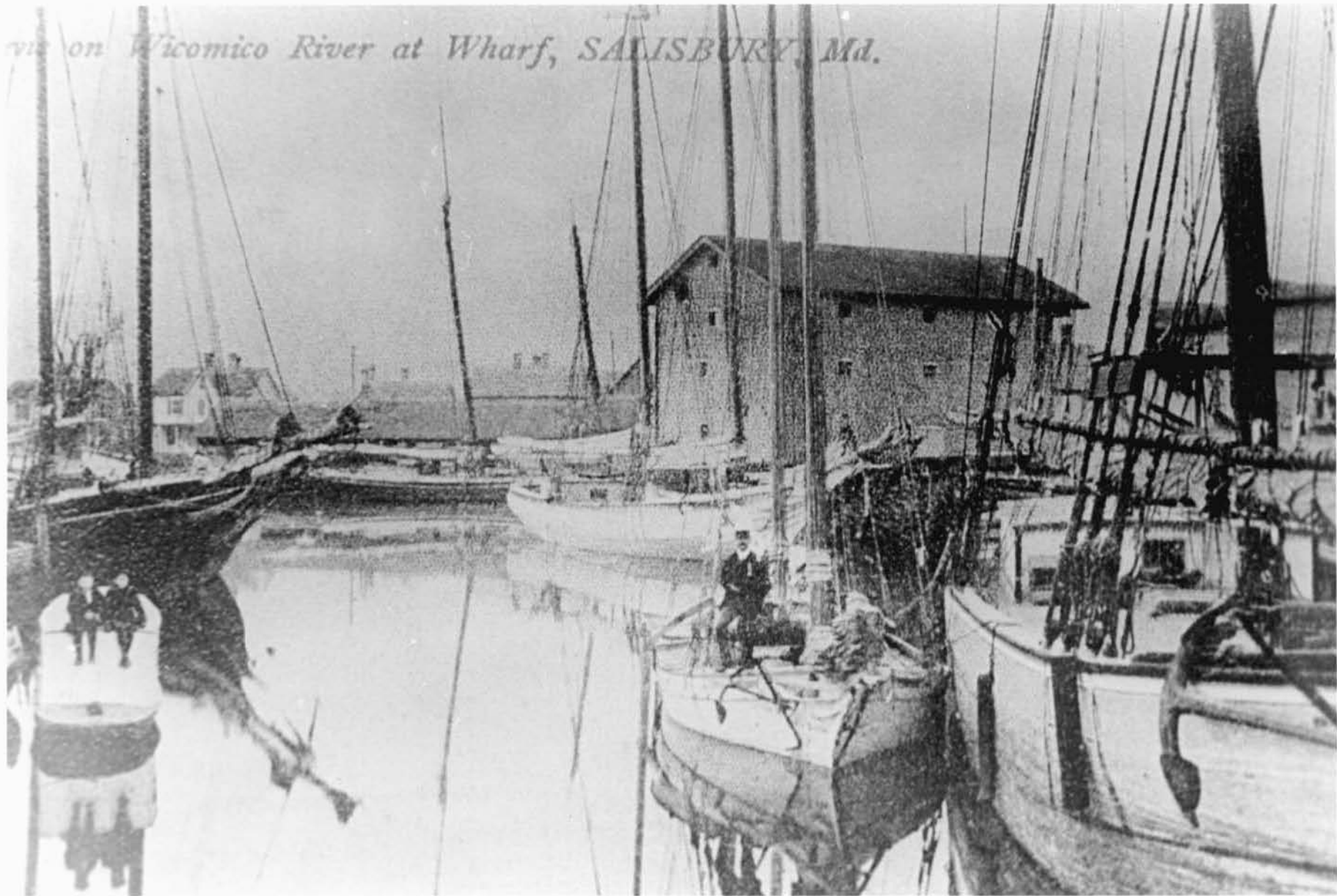


PHOTO 9: Wicomico River, c. 1900

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PHOTO 7: 232-234 W. Main St.
(top: 1888
bottom: 1981)



PHOTO 10: Boulevard Theater